

<b>DRAWING INDEX:</b>	<b>SITE INFORMATION</b>
A1: SITE PLAN + NOTES	<b>LEGAL</b> STRATA LOT 14, ELK PARK RC STRATA PLAN EPS1440
A2: EAST + WEST ELEVATIONS, WINDOW SCHEDULE & FLASHING DETAILS	<b>BUILDING LOT COVERAGE</b> LOT AREA= 686.50m <sup>2</sup> (7390 SQFT)
A3: NORTH + SOUTH ELEVATIONS & WINDOW DETAILS	BUILDING AREA= 31.97m <sup>2</sup> (343 SQFT) GARAGE AREA= 21.20m <sup>2</sup> (228 SQFT) VERANDA / DECK AREA= 32.33m <sup>2</sup> (348 SQFT) DECK AREA= 27.50m <sup>2</sup> (295 SQFT)
A4: LOWER + MAIN FLOOR PLAN	TOTAL AREA= 193 m <sup>2</sup> (2077 SQFT)
A5: BUILDING SECTIONS	LOT COVERAGE= 28.11%
A6: CONSTRUCTION SCHEDULE + DETAILS	
A7: ELECTRICAL PLANS + ROOF PLAN	
<b>CONSTRUCTION NOTE:</b>	<b>SITE PLAN NOTES:</b>
FRAMERS TO CONFIRM ALL ROOF BEARING HEIGHTS WITH TRUSS SUPPLIER. TRUSS SUPPLIERS CONFIRMATION SHEET INDICATING HEEL HEIGHTS AND TOP OF WALL HEIGHTS SHALL OVER RIDE ARCHITECTURAL DRAWINGS.	THIS IS NOT A LEGAL SURVEY. LOT DIMENSIONS AND GRADES ARE AS PROVIDED BY THE DEVELOPER. A SURVEYOR SHALL VERIFY ALL INFORMATION AND CONFIRM BUILDING LOCATION AND ELEVATIONS.
<b>STRUCTURAL NOTES:</b>	THE BUILDER IS RESPONSIBLE FOR THE PROTECTION OF THOSE TREES AND/OR SHRUBS WHICH ARE TO REMAIN.
* ROOF AND FLOOR TRUSS SUPPLIER/ MANUFACTURER TO SUPPLY SHOP DRAWINGS FOR ON-SITE CONSTRUCTION.	THE BUILDER IS RESPONSIBLE FOR SEEING THAT THE SITE IS LEFT CLEAN AND TIDY AT THE COMPLETION OF WORK.
* STRUCTURAL ENGINEER TO PROVIDE REVIEW OF SHOP DRAWINGS FOR FLOORS.	ALL SERVICES TO BE INSTALLED TO MEET ALL APPLICABLE CODES AND BYLAWS. ALL CONNECTIONS TO TOWN SERVICES SHALL BE IN ACCORDANCE WITH ALL REGULATIONS.
* CONFIRMATION OF SIZE OF FOOTINGS.	CONTRACTOR IS RESPONSIBLE FOR ERECTING SNOW FENCING ALONG PROPERTY LINE AND AROUND ANY AREAS INTENDED TO BE PRESERVED AS NATURAL PRIOR TO CONSTRUCTION.
* REVIEW OF FOUNDATION WALL REINFORCING FOR WALLS WITH GREATER THAN 7'-0" BACKFILL.	

**NOTES**

**GENERAL NOTES**

ALL WORK TO CONFORM TO THE CURRENT EDITION OF THE BRITISH COLUMBIA BUILDING CODE.

THE DESIGNER ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS WHICH MAY EFFECT CONSTRUCTION. THE DESIGNER SHALL ALSO NOT BE RESPONSIBLE FOR ANY VARIANCES FROM THE STRUCTURAL DESIGN AND SPECIFICATIONS OR ADJUSTMENTS REQUIRED RESULTING FROM CONDITIONS ENCOUNTERED AT THE BUILDING SITE AND IS THE SOLE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR.

ALL DOOR AND WINDOW SIZES ARE APPROXIMATE ONLY. WINDOW AND DOOR SUPPLIERS SHALL SUPPLY ROOM OPENINGS PRIOR TO ANY CONSTRUCTION.

DO NOT SCALE DRAWINGS.

CONTRACTOR TO VERIFY ALL DIMENSIONS AND INFORMATION PRIOR TO CONSTRUCTION.

REPORT ALL ERRORS OR DISCREPANCIES TO THE DESIGNER.

**SITE PLAN NOTES:**

THE BUILDER IS RESPONSIBLE FOR THE PROTECTION OF THOSE TREES AND/OR SHRUBS WHICH ARE TO REMAIN.

THE BUILDER IS RESPONSIBLE FOR SEEING THAT THE SITE IS LEFT CLEAN AND TIDY AT THE COMPLETION OF WORK.

**FIREPLACES**

ALL FIREPLACE APPLICATIONS SHALL COMPLY WITH CURRENT BUILDING CODES.

ZERO CLEARANCE TYPE METAL FIREPLACES AND METAL CHIMNEYS SHALL BE CSA APPROVED AND INSTALLED TO MANUFACTURERS SPECIFICATIONS.

FIREPLACE TO BE FINISHED TO OWNERS SPECIFICATIONS INCLUDING HEARTH AND MANTLE IF SPECIFIED.

ALL FIREPLACES ARE TO BE LUC APPROVED.

**STRUCTURAL AND FRAMING CRITERIA**

ASSUMED SOIL BEARING CAPACITY = 2000 PSF.

CONCRETE FOUNDATIONS AND SLABS ON GRADE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 30 MPa AT 28 DAYS.

BEAMS, FLOOR JOISTS, PLATES AND ROOF RAFTERS TO BE # 2 D FIR (OR BETTER), UNLESS NOTED OTHERWISE.

FRAMING LUMBER TO BE KILN DRIED SPF #2 EQUAL OR BETTER.

DIMENSIONS ARE FROM FACE OF EXTERIOR STUDS TO FACE OF PARTITION WALLS UNLESS NOTED OTHERWISE. FACE OF EXTERIOR STUD WALLS AND FOUNDATION WALL TO BE FLUSH.

JOISTS SHALL BE DOUBLED UNDER PARALLEL PARTITIONS OVER 6' LONG. JOIST PLACEMENT TO ACCOMMODATE HEATING AND PLUMBING WHEREVER POSSIBLE.

LOAD BEARING LINTELS SHALL BE 2- 2x10 (#2 D FIR) UNLESS NOTED OTHERWISE.

WOOD IN CONTACT WITH CONCRETE TO BE DAMP PROOFED WITH 6 MIL POLY OR OTHER APPROVED METHOD. SILL PLATES TO BE ANCHORED TO CONCRETE FOUNDATION WALL WITH 3/4" ANCHOR BOLTS AT MAX 8" FROM CORNERS AND 4'-0" ON OR OTHER APPROVED METHOD. EXTERIOR SILL PLATES TO BE LEVEL AND THE UNDERSIDE SEALED.

ALL FLOORS TO INCLUDE 3/4" SHEATHING TO BE GLUED AND NAILED.

FLOOR SHEATHING TO BE GLUED AND NAILED IN PLACE USING PL-400 ADHESIVE AND RING NAILS.

PROVIDE SOLID BLOCKING AT ALL P.L.A.'S (POINT LOAD ABOVE) UNLESS OTHERWISE NOTED.

**HEATING, PLUMBING, AND ELECTRICAL**

INSTALLATION OF THE HEATING SYSTEM, PLUMBING SYSTEM AND ELECTRICAL SYSTEM SHALL CONFORM TO ALL APPLICABLE CODES AND REGULATIONS IN ALL RESPECTS.

GOOD QUALITY HEAT REGISTERS AND PLUMBING FIXTURES TO BE PROVIDED AND APPROVED BY OWNERS AND MECHANICAL CONTRACTOR. LIGHTING INSTALLATION TO BE INCLUDED. OWNERS TO PROVIDE FIXTURES.

SMOKE DETECTORS TO BE PROVIDED ON EACH LEVEL.

**FOUNDATIONS**

FOUNDATION WALLS AND FOOTINGS SHALL BE CONCRETE AND CAST IN PLACE ON UNDISTURBED SOIL OR COMPACTED BASE (TO APPROVAL OF SOIL ENGINEER). BOTTOM OF FOOTING SHALL BE 4'-0" (MIN.) BELOW GRADE OR BELOW FROST LINE (AS PER LOCAL AUTHORITIES).

FOOTINGS SHALL NOT BE POURED ON FROZEN GROUND. CONCRETE SHALL BE MAINTAINED AT A TEMP OF 10-25 DEGREES CELSIUS FOR A MINIMUM OF 72 HOURS.

FOUNDATION WALLS SHALL NOT BE BACKFILLED UNTIL THE CONCRETE HAS REACHED ITS SPECIFIED 28 DAY STRENGTH.

GRADES SHOWN ON PLANS ARE ESTIMATED. WALL HEIGHTS MAY REQUIRE ADJUSTMENT TO SUIT SITE CONDITIONS.

ALL FOOTINGS AND WALLS (24" AND HIGHER) SHALL BE REINFORCED WITH 2- 15M CONTINUOUS (WALLS 3" FROM TOP) AND CORNER REINFORCING TO BE LAPPED 24" (MIN).

**INSULATION AND VENTILATION**

RECOMMENDED INSULATION VALUES ARE R-40 IN ROOF OR CEILING AND R-22 IN WALLS. MINIMUM CODE REQUIREMENTS TO BE MAINTAINED AT ALL TIMES.

6 MIL POLY VAPOUR BARRIER SHALL BE INSTALLED ON THE WARM SIDE OF INSULATION. JOINTS TO BE SEALED.

CEILING, WALL AND FLOOR INSULATION TO BE CELLULOSE BLOWN IN INSULATION.

INSTALL INSULATION STOPS AT EAVES AS REQUIRED.

WALL AND CEILING SPACES BETWEEN HOUSE AND GARAGE SHALL BE INSULATED 6 MIL POLY VAPOUR BARRIERS.

ALL ROOF SPACES SHALL BE VENTED BY SOFFIT, ROOF RIDGE VENT, OR GABLE VENTS EQUALLY DISTRIBUTED BETWEEN TOP OF ROOF SPACES AND EAVES.

ATTICS OR ROOF SPACES SHALL BE VENTED A MINIMUM OF 1/300 OF ROOF AREA (OR AS REQUIRED BY LOCAL AUTHORITIES).

ALL BATHROOM WALLS TO RECEIVE R-12 BATT INSULATION AS A SOUND BARRIER.

**FINISHING**

EXTERIOR DOORS TO BE SOLID CORE TYPE AND WEATHER-STRIPPED.

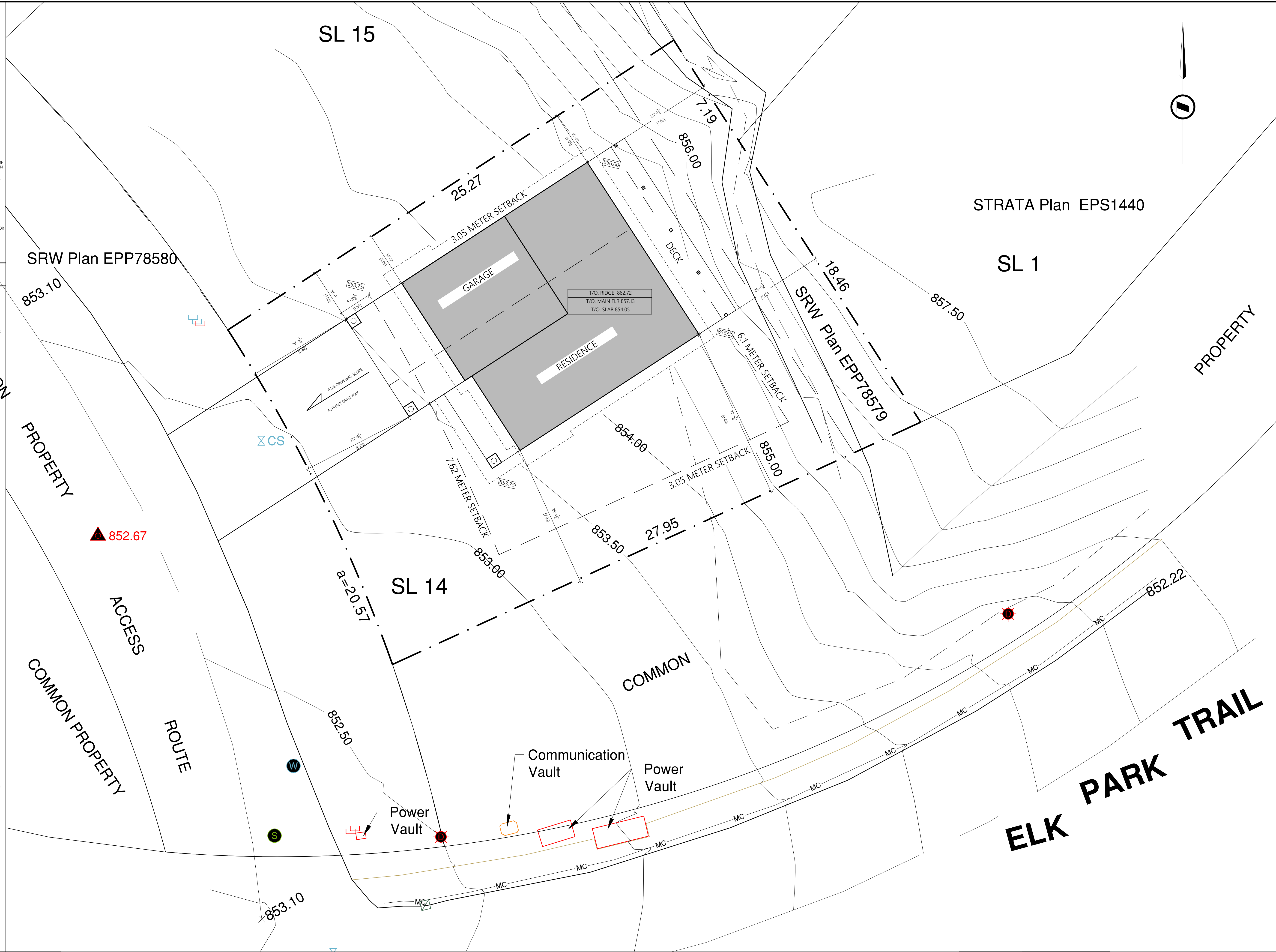
PROVIDE FLASHING AT ALL HORIZONTAL CHANGES IN EXTERIOR FINISHES AND CALK AROUND ALL UN-FLASHED EXTERIOR OPENINGS.

COAT AND CLOTHES CLOSETS TO HAVE ONE ROD AND SHELF. LINEN CLOSETS TO HAVE FIVE ADJUSTABLE SHELVES BROOM CLOSETS TO HAVE ONE SHELF.

ALL BATHROOMS TO HAVE RECESSED WALL MEDICINE CABINET OR ONE LOCKABLE DRAWER. GOOD QUALITY TOWEL BAR, SHOWER ROD, AND TOILET PAPER HOLDER.

USE MOISTURE RESISTANT GYPSUM BOARD IN BATHTUB AND/ OR SHOWER AREAS.

GOOD QUALITY DOOR HARDWARE TO BE PROVIDED AND APPROVED BY OWNERS.



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<b>PROJECT:</b>	ELK PARK RANCH
	WHITE TAIL LANE

<b>ADDRESS AND LEGAL:</b>	SL 14 ELK PARK RANCH, BC
<b>LOT:</b>	SL 14
<b>BLOCK:</b>	-----
<b>PLAN:</b>	-----

<b>DATE:</b>	08 / 30 / 2023
<b>SCALE:</b>	AS NOTED
<b>DRAWN BY:</b>	PM
<b>CHECKED BY:</b>	PM

<b>DRAWING TITLE:</b>	FRONT + RIGHT ELEVATIONS
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<b>SQUARE FOOTAGES:</b>	
MAIN FLOOR PLAN -	1001 SQ.FT.
UPPER FLOOR PLAN -	1446 SQ.FT.
TOTAL -	2447 SQ.FT.
LOWER FLOOR -	
GARAGE -	455 SQ.FT.

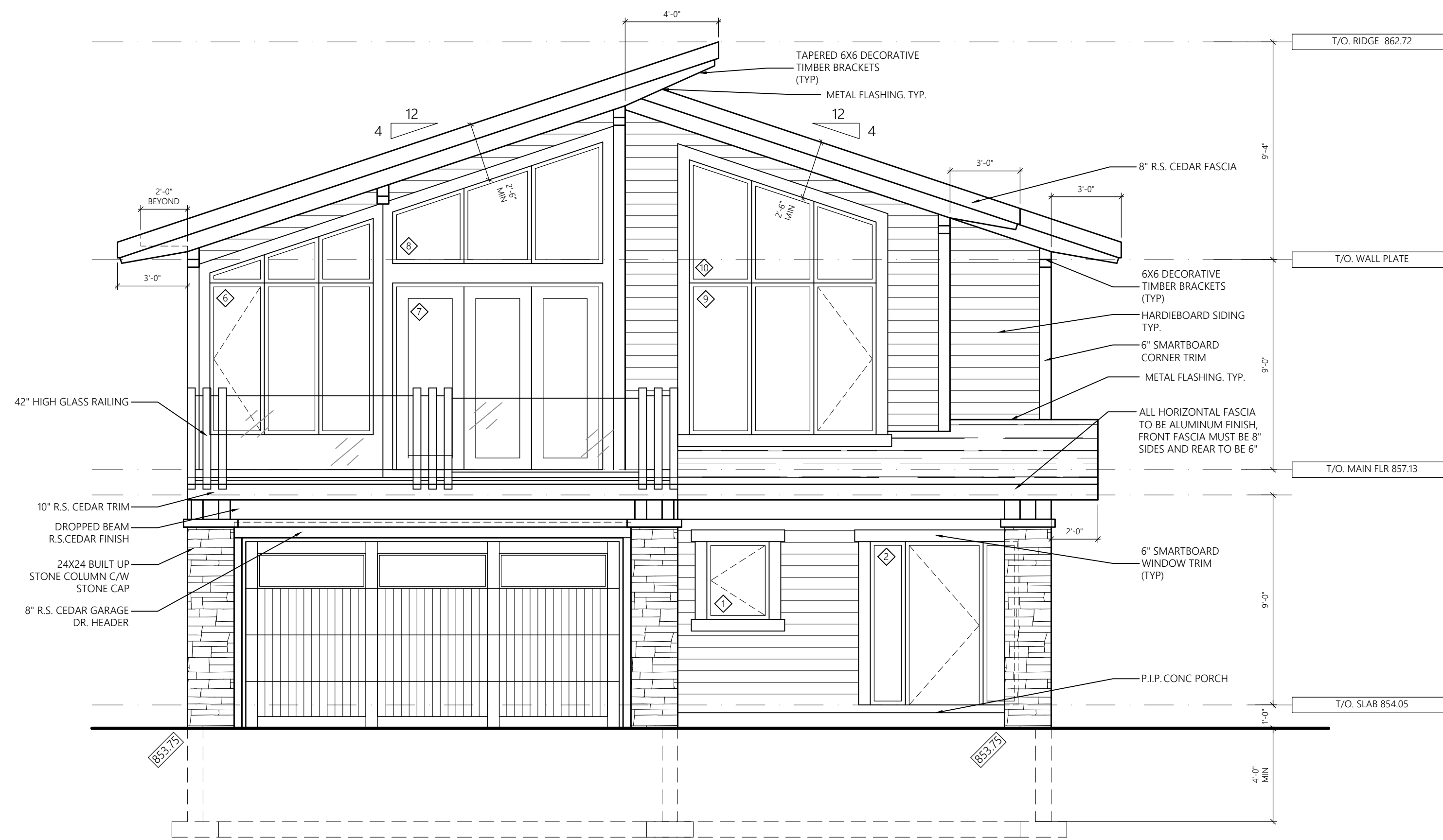
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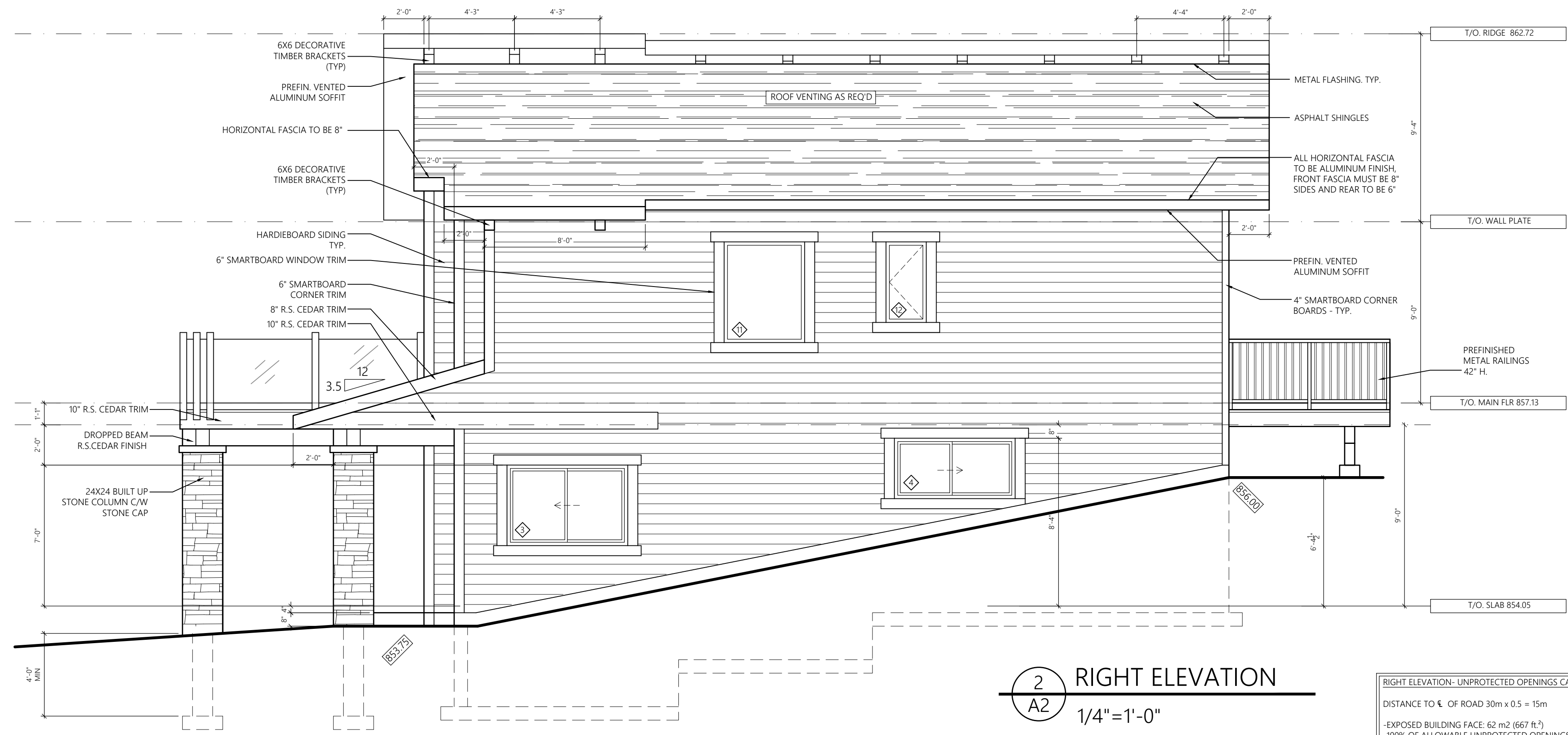
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ISSUED FOR APPROVAL	06 / 10 / 2022
<b>NO.</b>	<b>REVISION</b>
	<b>DATE</b>

<b>REVISION:</b>	2
<b>SHEET NO.:</b>	A-2



1 FRONT ELEVATION  
A2 1/4"=1'-0"



2 RIGHT ELEVATION  
A2 1/4"=1'-0"

RIGHT ELEVATION- UNPROTECTED OPENINGS CALCULATION  
 DISTANCE TO  $\epsilon$  OF ROAD 30m x 0.5 = 15m  
 -EXPOSED BUILDING FACE: 62 m<sup>2</sup> (667 ft<sup>2</sup>)  
 -100% OF ALLOWABLE UNPROTECTED OPENINGS: 62 m<sup>2</sup> (667 ft<sup>2</sup>)  
 -ACTUAL OPENINGS: 6.5 m<sup>2</sup> (70 ft<sup>2</sup>) = 10.48%

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PLAN: -----

DATE: 08 / 30 / 2023  
SCALE: AS NOTED  
DRAWN BY: PM  
CHECKED BY: PM

DRAWING TITLE:  
FRONT + RIGHT ELEVATIONS

SQUARE FOOTAGES:  
MAIN FLOOR PLAN - 1001 SQ.FT.  
UPPER FLOOR PLAN - 1446 SQ.FT.  
TOTAL - 2447 SQ.FT.  
LOWER FLOOR - GARAGE - 455 SQ.FT.

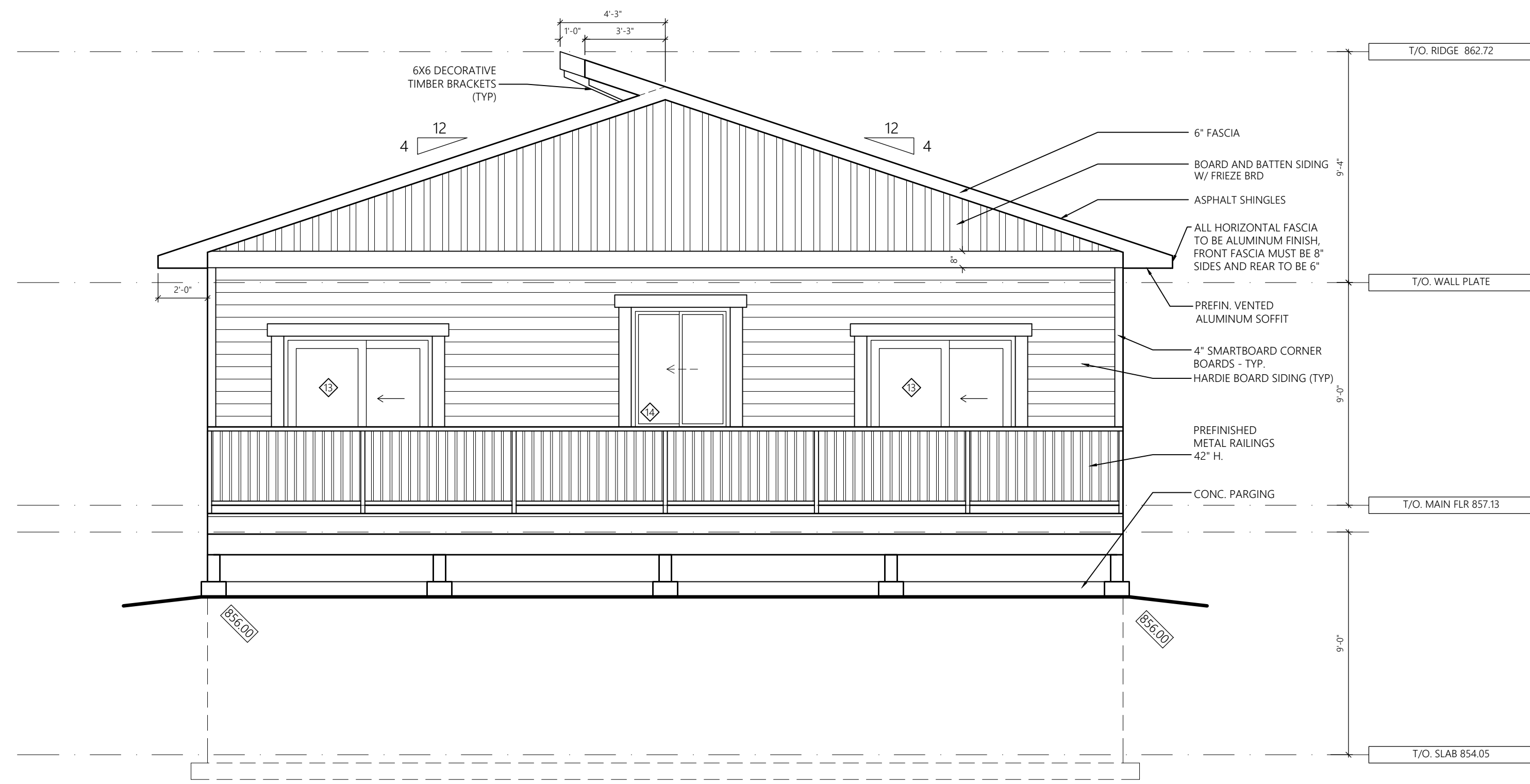
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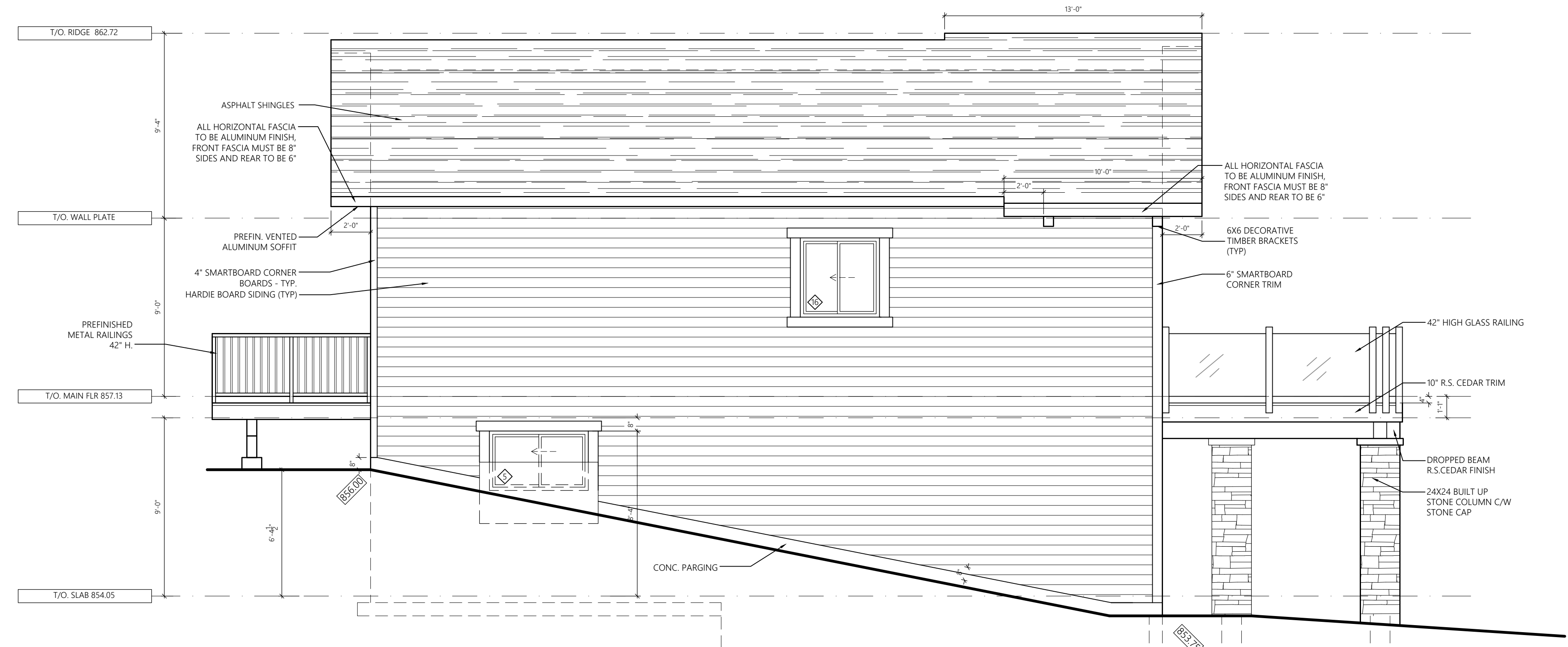
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**REAR ELEVATION- UNPROTECTED OPENINGS CALCULATION**  
 DISTANCE TO PL 7.65m x 0.5 = 3.825m  
 -EXPOSED BUILDING FACE: 43.67 m<sup>2</sup> (470 ft.<sup>2</sup>)  
 -28% OF ALLOWABLE UNPROTECTED OPENINGS: 12.22 m<sup>2</sup> (131.60 ft.<sup>2</sup>)  
 -ACTUAL OPENINGS: 9.46 m<sup>2</sup> (102 ft.<sup>2</sup>) = 21.71%

**1 REAR ELEVATION**  
 1/4"=1'-0"



**LEFT ELEVATION- UNPROTECTED OPENINGS CALCULATION**  
 DISTANCE TO PL 3.05m x 0.5 = 1.5m  
 -EXPOSED BUILDING FACE: 61.83 m<sup>2</sup> (665.60 ft.<sup>2</sup>)  
 -8% OF ALLOWABLE UNPROTECTED OPENINGS: 5 m<sup>2</sup> (53.60 ft.<sup>2</sup>)  
 -ACTUAL OPENINGS: 2.65 m<sup>2</sup> (28.50 ft.<sup>2</sup>) = 4.28%

**2 LEFT ELEVATION**  
 1/4"=1'-0"

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**DRAWING TITLE:**  
 REAR + LEFT ELEVATIONS

**SQUARE FOOTAGES:**  
 MAIN FLOOR PLAN - 1001 SQ.FT.  
 UPPER FLOOR PLAN - 1446 SQ.FT.  
 TOTAL - 2447 SQ.FT.  
 LOWER FLOOR -  
 GARAGE - 455 SQ.FT.

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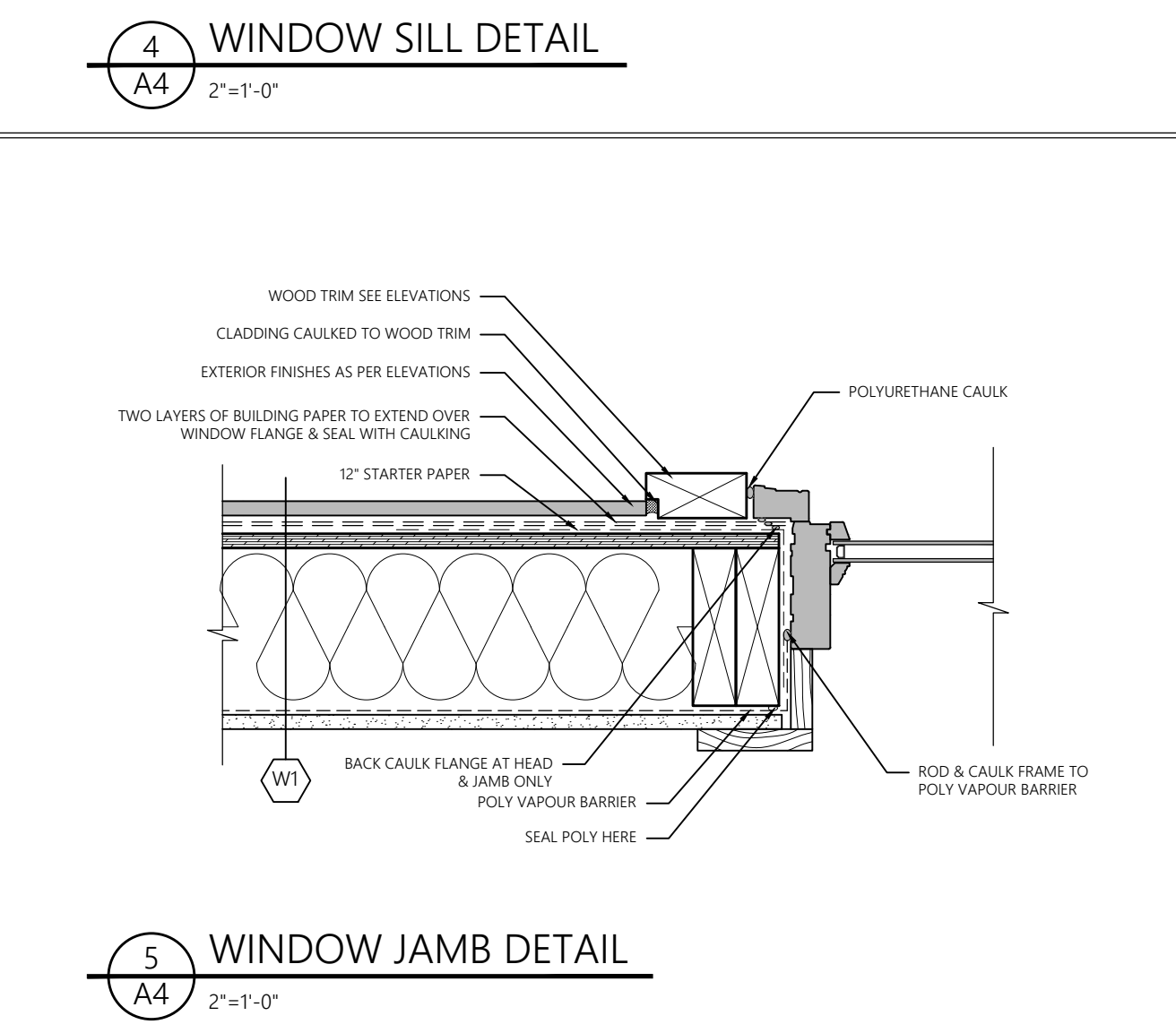
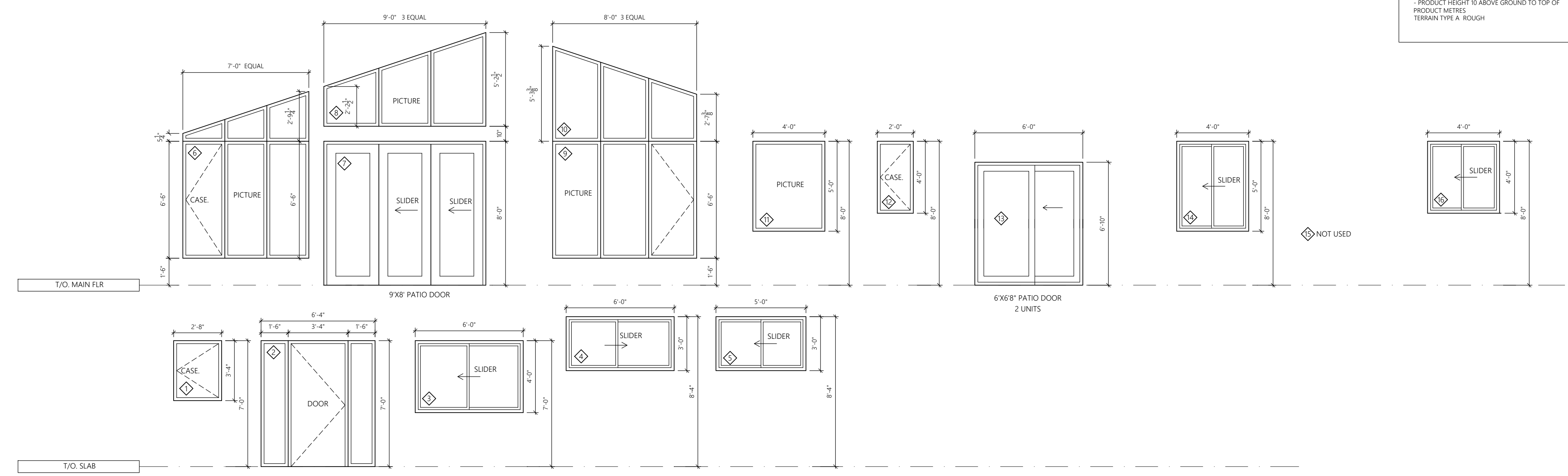
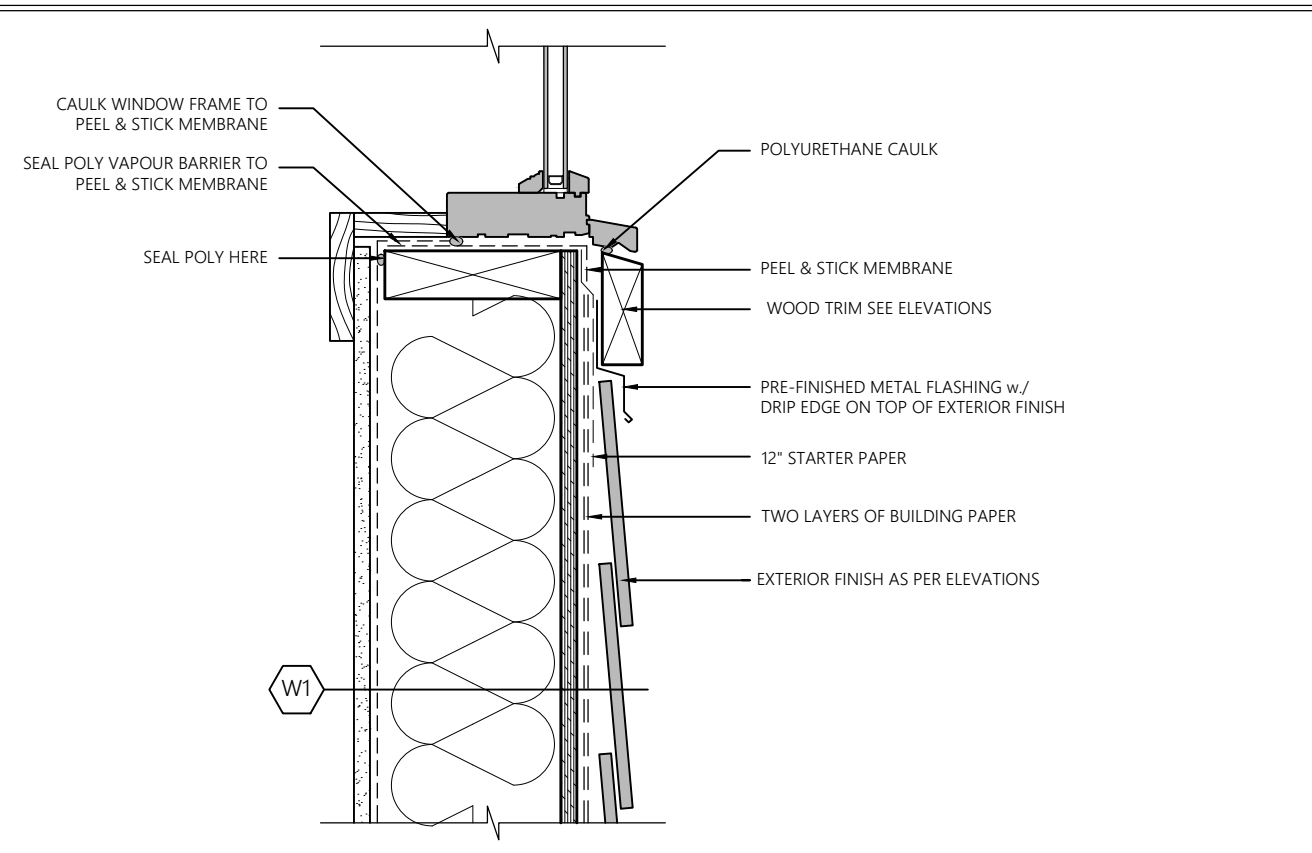
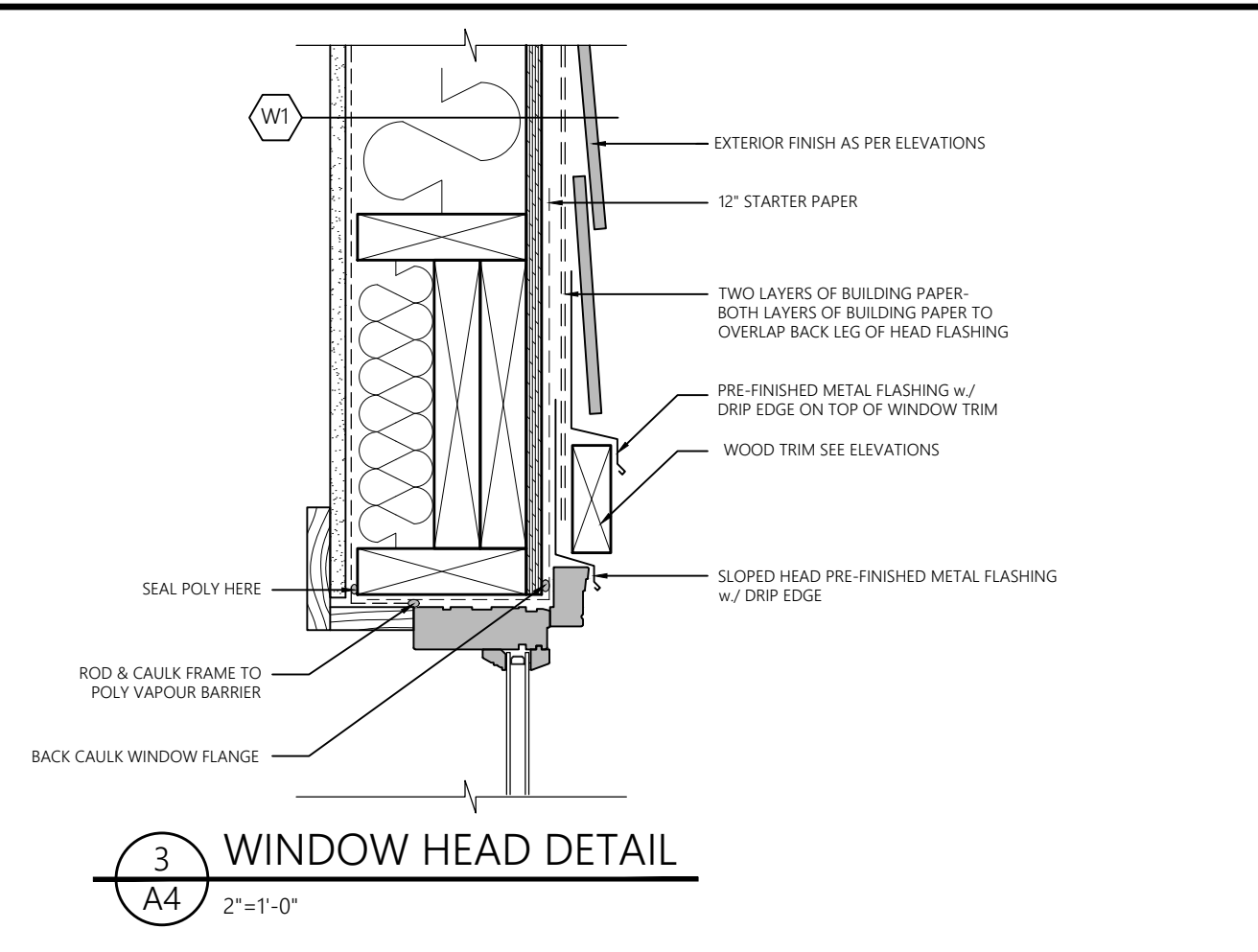
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**WINDOWS:**  
 ALL WINDOWS TO BE VINYL FRAME WINDOWS COLOUR AS PER EXTERIOR FINISHES NOTES. MANUFACTURER AND SUPPLIER TO BE DECIDED BY OWNER. USE MANUFACTURERS MANUAL FOR SPECIFICATIONS AND DETAILS. DOUBLE GLAZING UNLESS NOTED OTHERWISE. USE LOW-E FILM/ARGON-FILLED AT ALL WINDOW LOCATIONS.

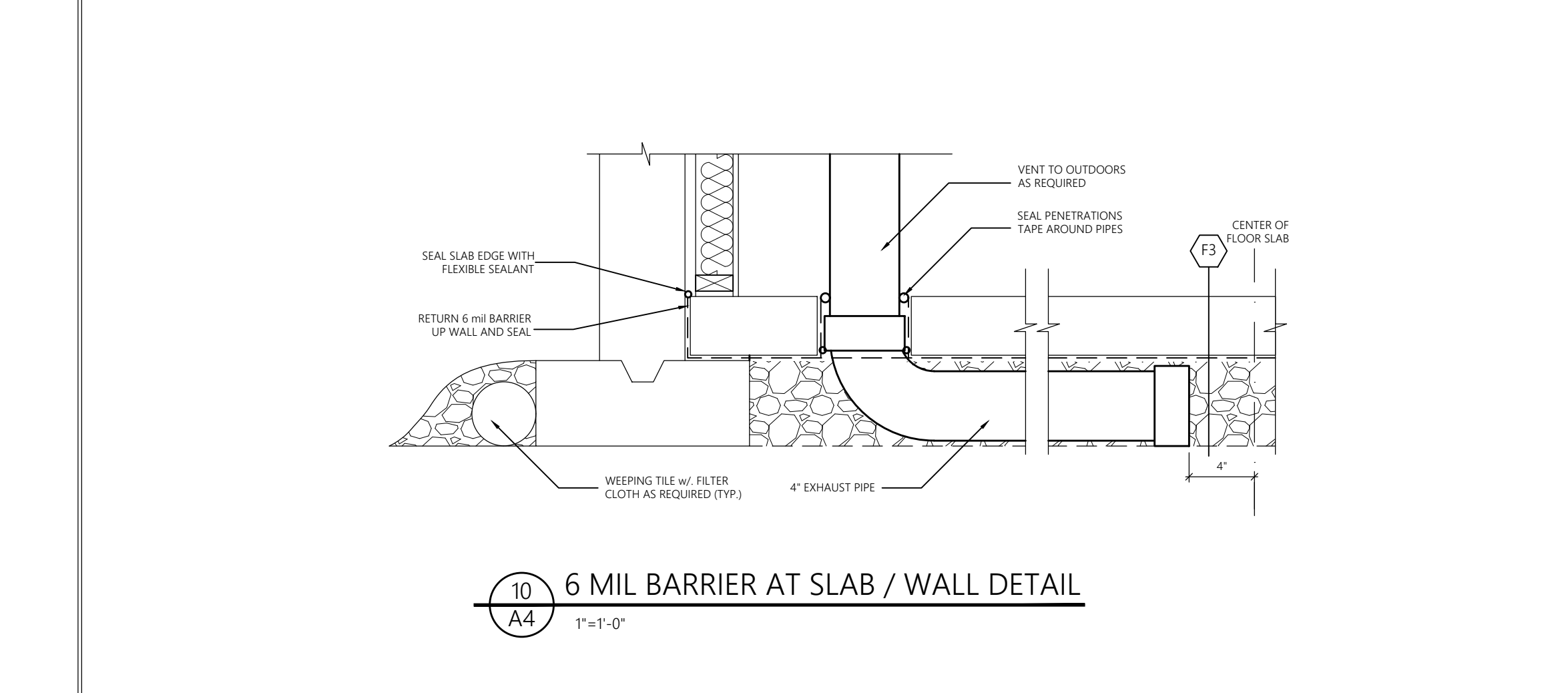
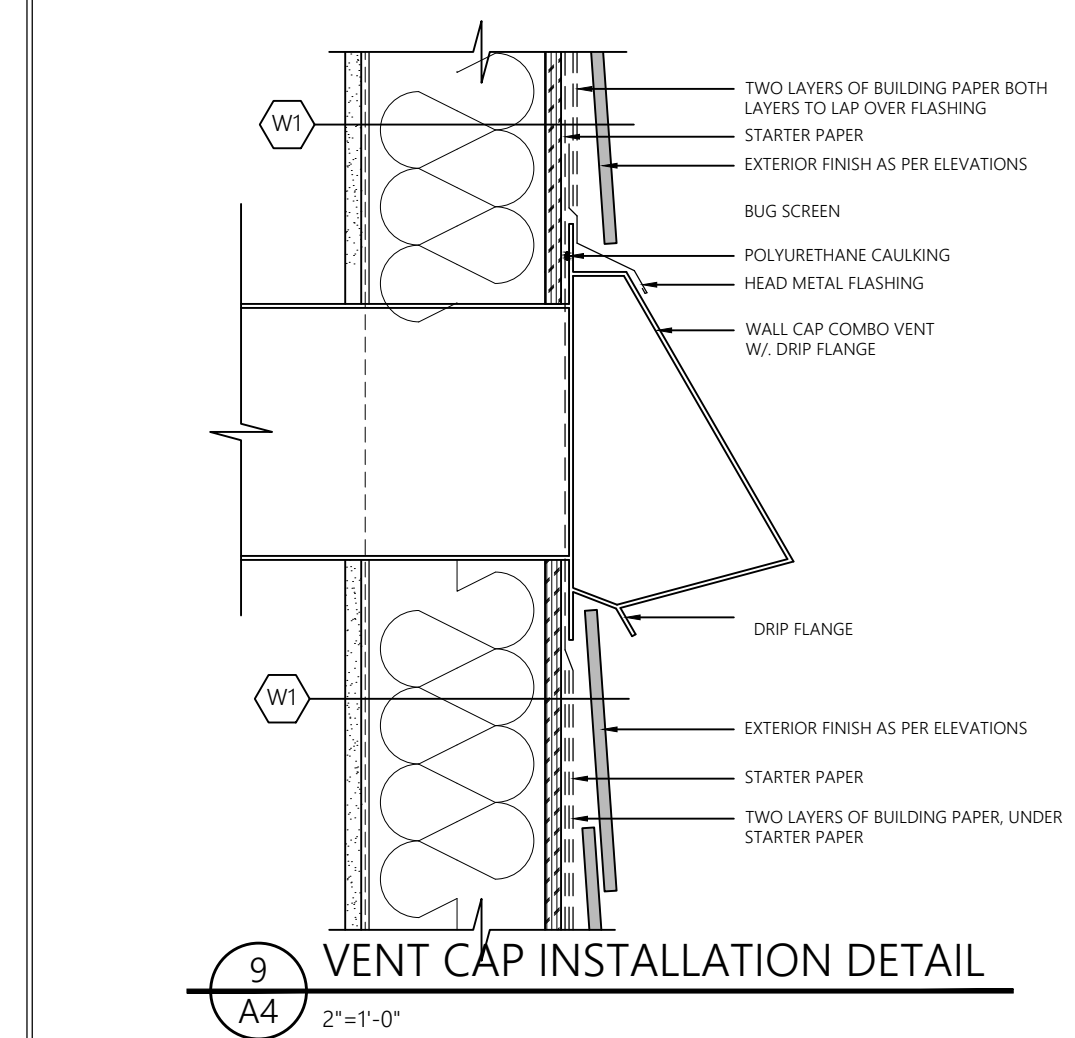
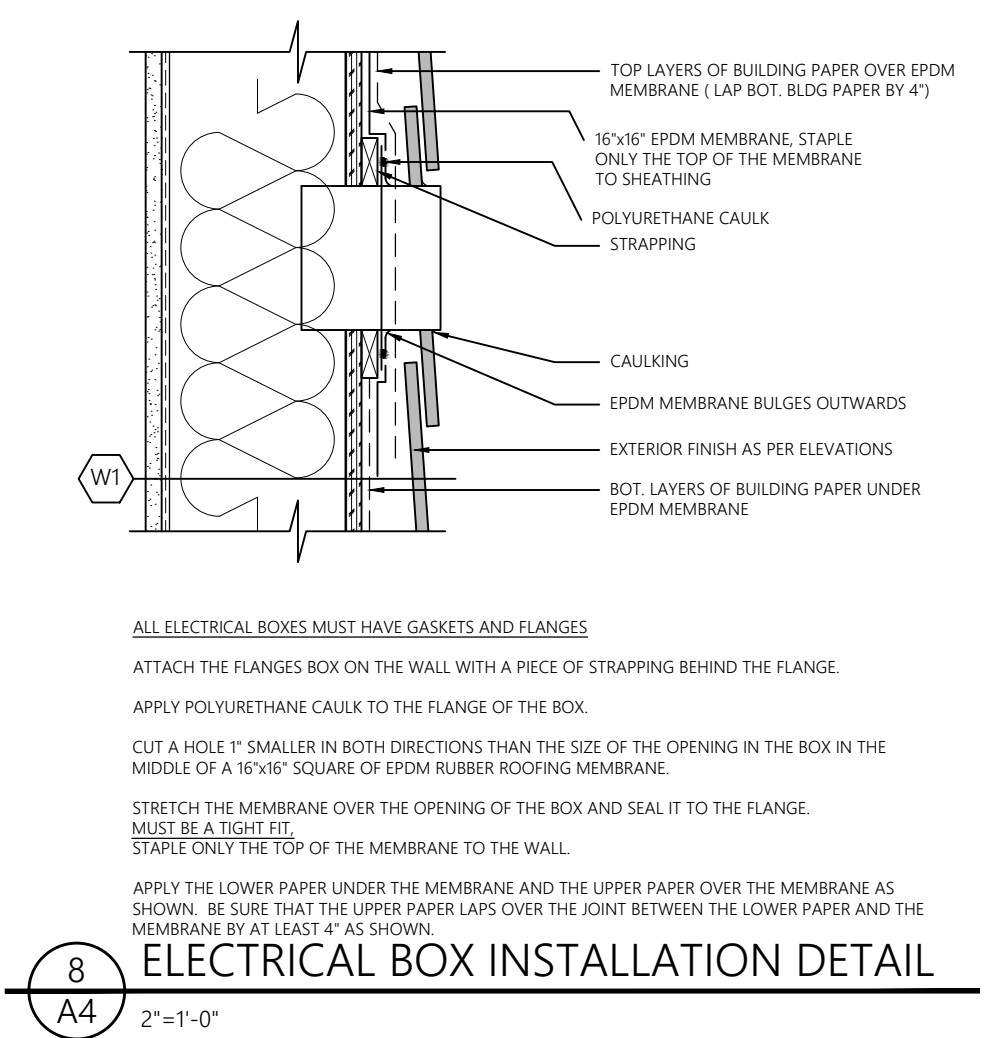
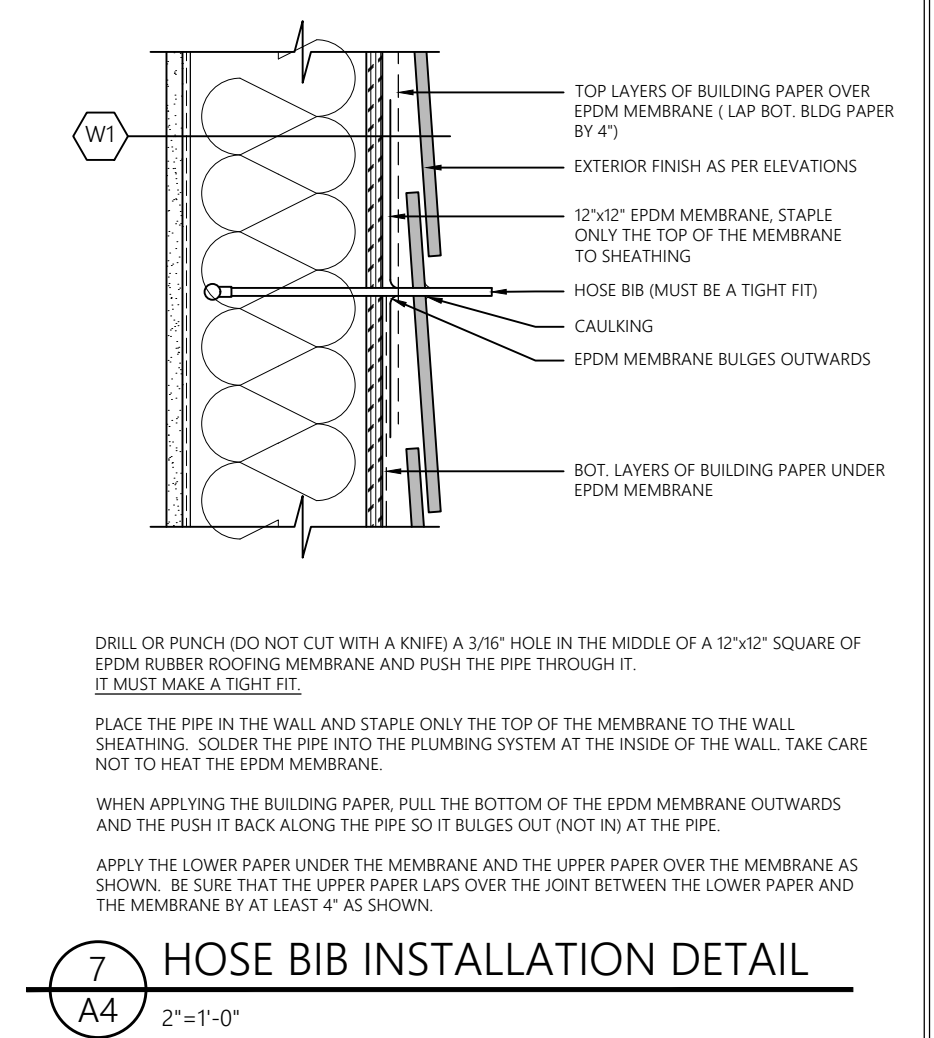
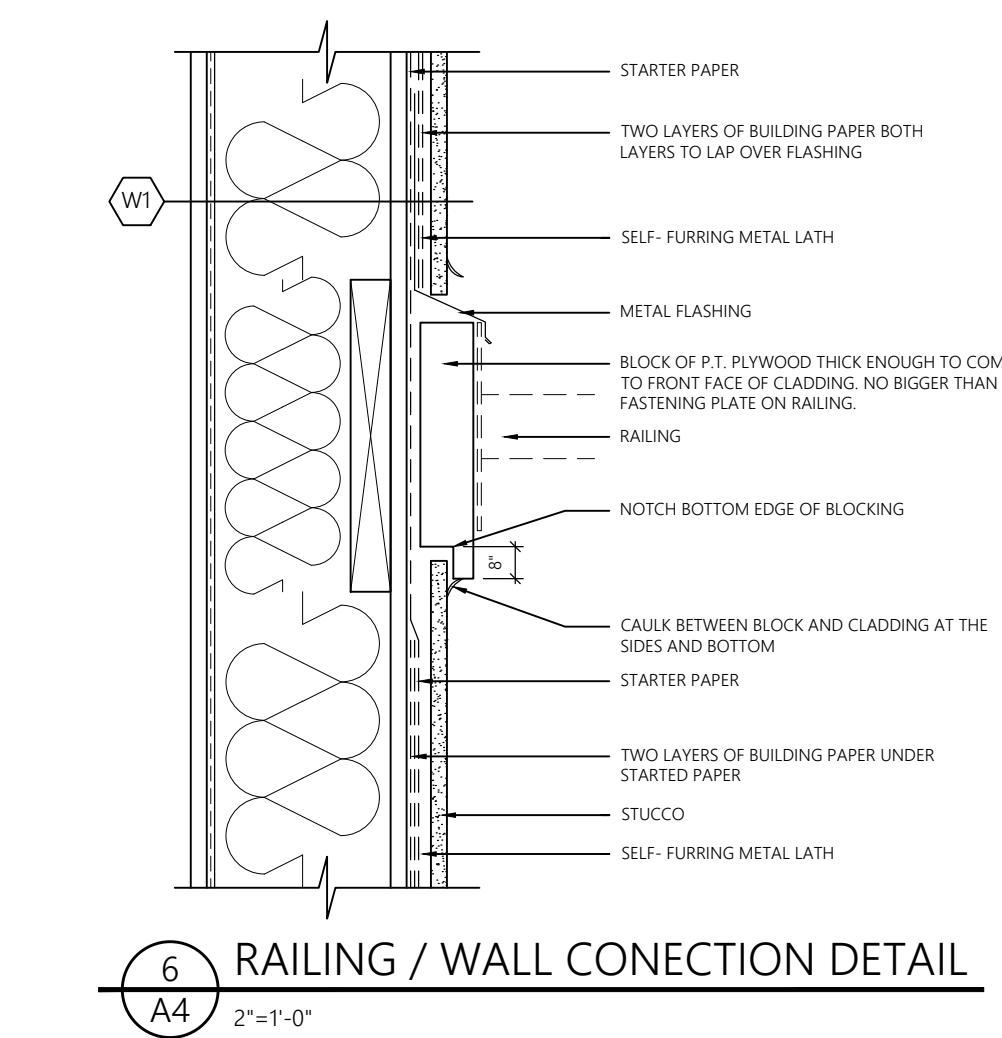
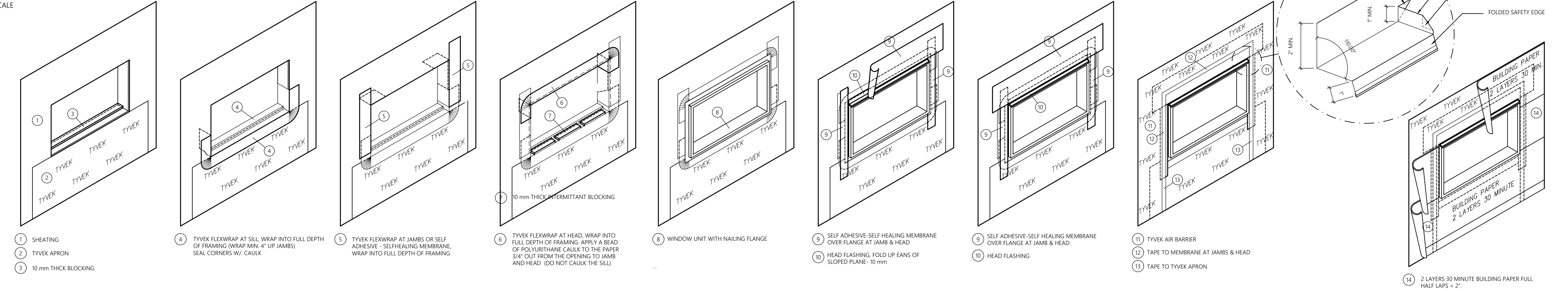
**NOTE:**  
 REFER TO ELEVATIONS FOR OPERABLE WINDOWS AND DIRECTION OF SWING.  
 \* SIZE & WINDOW FINISHES TO BE CONFIRMED BY CONTRACTOR & OWNER.  
 \* REFER TO A3 FOR TYPICAL WINDOW, JAMB, HEAD AND SILL FLASHING DETAILS.

**PERFORMANCE REQUIREMENTS:**  
 MINIMUM PERFORMANCE GRADE (PG): 15  
 MINIMUM POSITIVE DESIGN PRESSURE: 720 PA  
 MINIMUM NEGATIVE DESIGN PRESSURE: -720 PA  
 MINIMUM WATER PENETRATION RESISTANCE TEST PRESSURE: 140 PA  
 MINIMUM CANADIAN AIR INFILTRATION/EXFILTRATION: A2

WHERE: PROVINCE - BC  
 CITY - GOLDEN  
 PRODUCT HEIGHT 10 ABOVE GROUND TO TOP OF PRODUCT METRES  
 TERRAIN TYPE - ROUGH



**2 WINDOW FLASHING DETAILS**  
 NOT TO SCALE



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**DRAWING TITLE:**  
 WINDOW SCHEDULES + DETAILS

**SQUARE FOOTAGES:**  
 MAIN FLOOR PLAN - 1001 SQ.FT.  
 UPPER FLOOR PLAN - 1446 SQ.FT.  
 TOTAL - 2447 SQ.FT.  
 LOWER FLOOR - NA  
 GARAGE - 455 SQ.FT.

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ELECTRICAL LEGEND			
*OWNER/ CONTRACTOR TO CONFIRM ALL LIGHTING AND ELECTRICAL PRIOR TO INSTALLATION			
⊗	INCANDESCENT LIGHT (CEILING MOUNT)	⊕	DUPLEX RECEPTACLE
⊗	INCANDESCENT LIGHT (DOOR ACTIVATED)	⊕ GFI	RECEPTACLE (GROUND FAULT INTERCEPTOR)
⊗	INCANDESCENT LIGHT (PENDANT)	⊕ WP	DUPLEX RECEPTACLE (WEATHER PROOF)
⊗	INCANDESCENT LIGHT (WALL MOUNT)	⊕ FP	DUPLEX RECEPTACLE (FLOOR PLUG)
⊙	POT LIGHT (RECESSED)	⊕	220 VOLT RECEPTACLE
⊙ WP	POT LIGHT (RECESSED, WATERPROOF)	⊕	TELEPHONE JACK
—	TRACK LIGHTING (ON DIMMER SWITCH)	⊕	CABLE (TELEVISION) RECEPTACLE
—	UNDER CABINET LIGHTING	⊕	THERMOSTAT
⊕	SWITCH	⊕	EXHAUST FAN (MIN. 50 CFM)
⊕	3-WAY SWITCH	⊕	SMOKE DETECTOR- ELECTRICALLY INTERCONNECTED TO ALL OTHER DETECTORS
⊕	DIMMER SWITCH	⊕	CARBON MONOXIDE DETECTOR
⊕	CEILING FAN	⊕	HOSE BIB
		⊕	GAS

**FOUNDATION SCHEDULE**

**NOTE:**  
 CONCRETE TO BE IN ACCORDANCE WITH CSA A23.1, 30 MPa COMPRESSIVE STRENGTH CLASS C1 EXPOSURE 38-88 AIR ENTRAINMENT REINFORCING STEEL TO BE IN ACCORDANCE WITH CSA G305-M92, GRADE 400

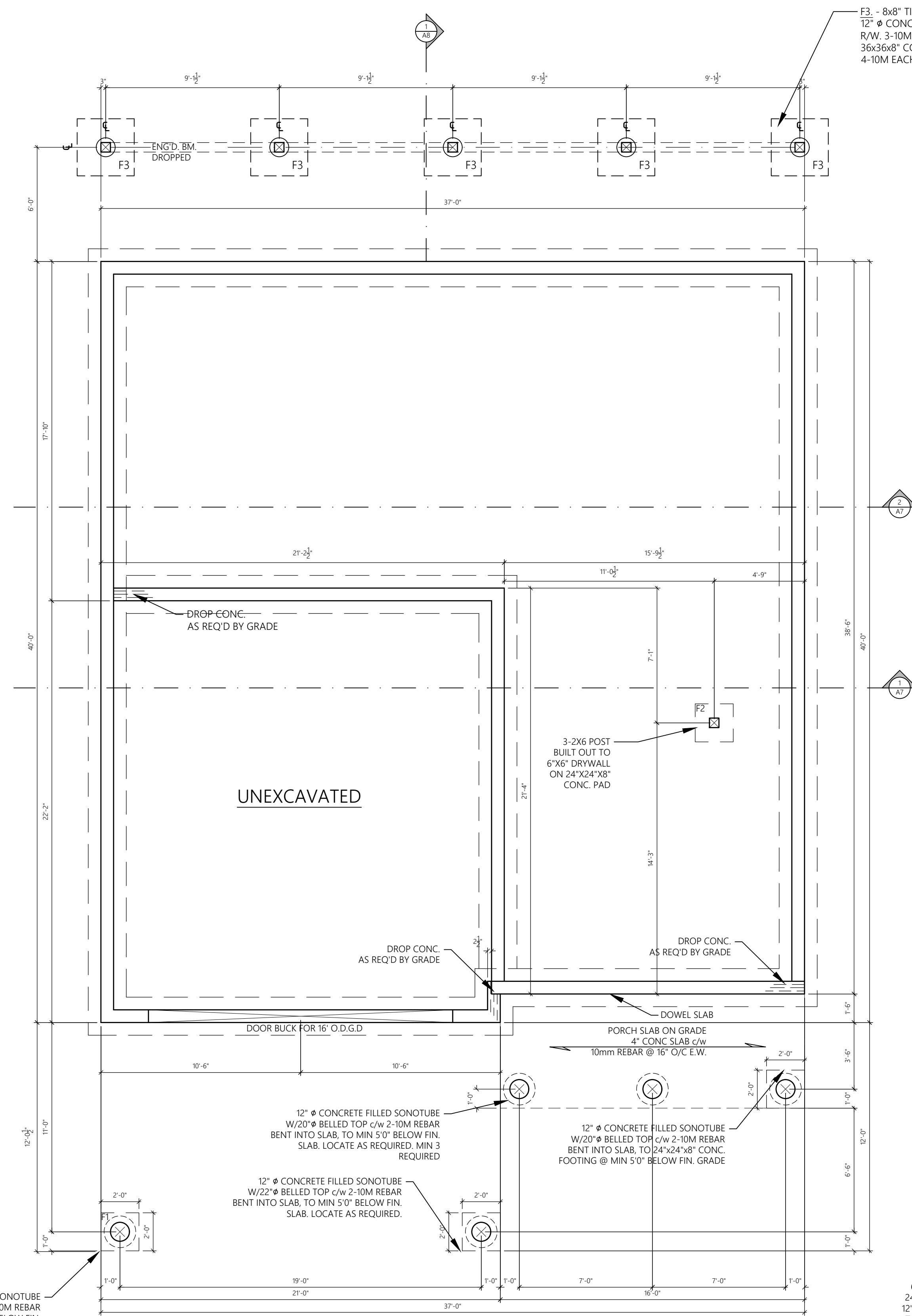
**FOUNDATION WALL AND STRIP FOOTING**  
 PARING FIRST TO CONCRETE ABOVE GRADE, DAMPROOFING TO CONCRETE BELOW GRADE EXTERIOR DAMPROOFING 6.25" OR 8" IC BLOCK WALL AS PER MANUFACTURER'S SPECS. (DOWN AS 6.25" BLOCK 24"x8" CONT. CONCRETE FOOTING R/W 2 - 10M CONT. WITH 4 MIN FROST PROTECTION)

**FOUNDATION WALL AT OUTDOOR SPACES**  
 PARING FIRST TO CONCRETE ABOVE GRADE, DAMPROOFING TO CONCRETE BELOW GRADE 30 MPa CONCRETE WALL R/W 10M VERTS @ 24" O.C. & R/W 2-10M CONT. AT TOP AND BOTTOM ON 24"x8" CONT. CONCRETE FOOTING R/W 2 - 10M CONT.

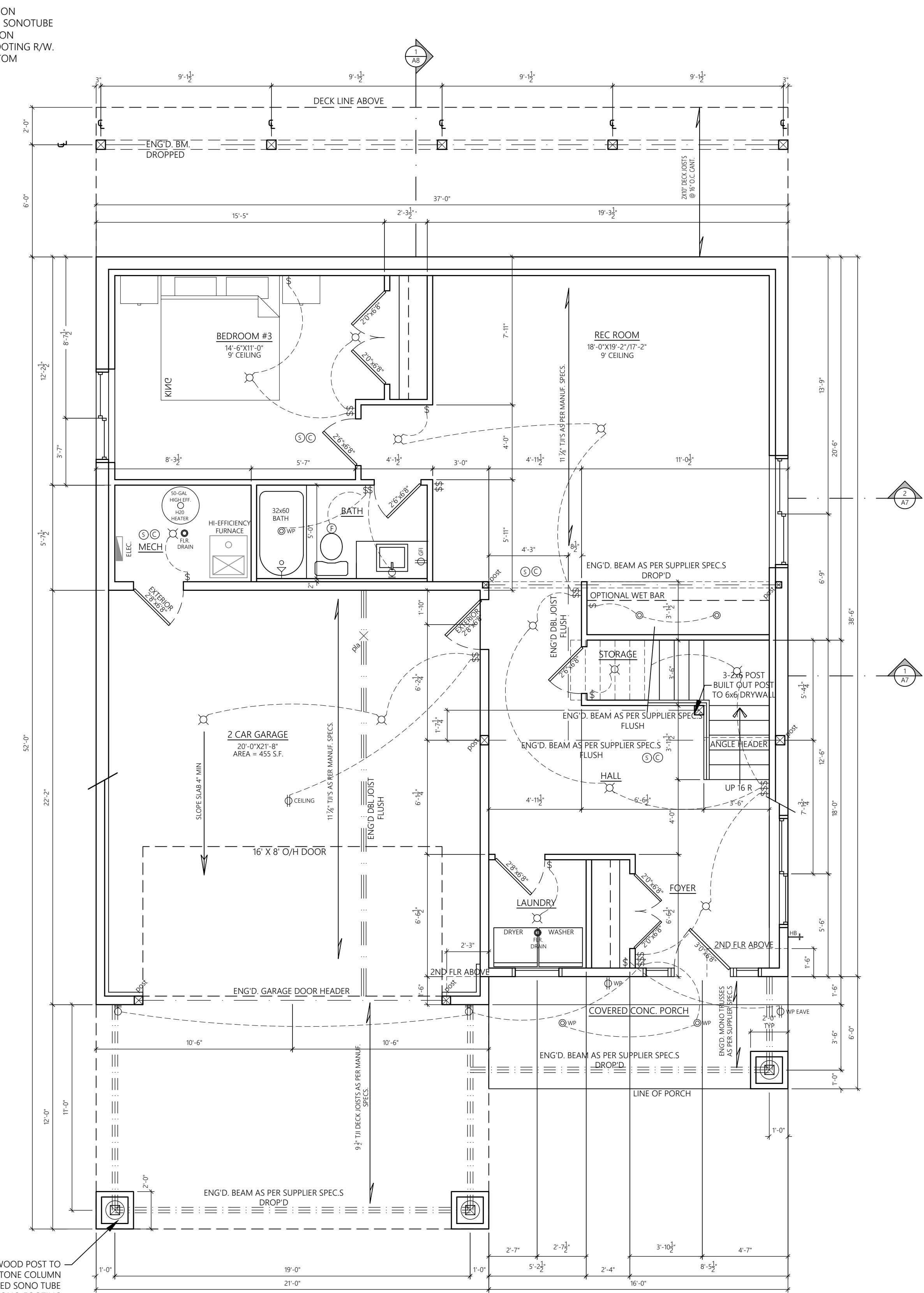
**LOWER FLOOR SLAB FINISH FLOORING**  
 4" 30 MPa CONCRETE R/W 10M AT 12" O.C. BOTHWAYS ROUGH IN HOT WATER LINES 4" RIGID INSULATION 6 MIL POLY VAPOUR BARRIER (LAPPED & TAPED) SEALED AT ALL EDGES AND SLAB PENETRATIONS WITH FLEXIBLE SEALANT NOT LESS THAN 6" COURSE, CLEAN GRANULAR MATERIAL CONTAINING NOT MORE THAN 10% OF MATERIAL THAT WILL PASS THROUGH A 4mm SIEVE

**GARAGE FLOOR SLAB**  
 8" 30 MPa CONCRETE SLAB (SLOPE TO DRAIN) R/W 10M AT 12" O.C. BOTHWAYS ROUGH IN HOT WATER LINES 4" RIGID INSULATION 6 MIL POLY VAPOUR BARRIER (LAPPED & TAPED) SEALED AT ALL EDGES AND SLAB PENETRATIONS WITH FLEXIBLE SEALANT NOT LESS THAN 6" COURSE, CLEAN GRANULAR MATERIAL CONTAINING NOT MORE THAN 10% OF MATERIAL THAT WILL PASS THROUGH A 4mm SIEVE

**NOTE:**  
 -ABBREVIATION PLA= POINT LOAD ABOVE ABOVE  
 -ALL STRUCTURAL ELEMENTS TO BE REVIEWED BY ENGINEER PRIOR TO CONSTRUCTION. INFORMATION PROVIDED BY ENGINEER TO TAKE PRECEDENT.  
 -DIMENSIONS FROM FACE OF FOUNDATION WALL / WOOD STUD.



**1**  
 FOUNDATION PLAN  
 1/4" = 1'-0"



**2**  
 MAIN FLOOR PLAN  
 1/4" = 1'-0"  
 312 SQFT HALL / 689 SQFT REC & BDRM

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 SPEC. HOME  
 WHITE TAIL LANE

**ADDRESS AND LEGAL:**  
 SL 14  
 ELK PARK RANCH, BC

**LOT:** SL 14  
**BLOCK:** -----  
**PLAN:** -----

**DATE:** 08 / 30 / 2023

**SCALE:** AS NOTED

**DRAWN BY:** PM

**CHECKED BY:** PM

**DRAWING TITLE:**  
 FOUNDATION & LOWER FLOOR PLANS

**SQUARE FOOTAGES:**  
 MAIN FLOOR PLAN - 1001 SQ.FT.  
 UPPER FLOOR PLAN - 1446 SQ.FT.  
 TOTAL - 2447 SQ.FT.  
 LOWER FLOOR - NA  
 GARAGE - 455 SQ.FT.

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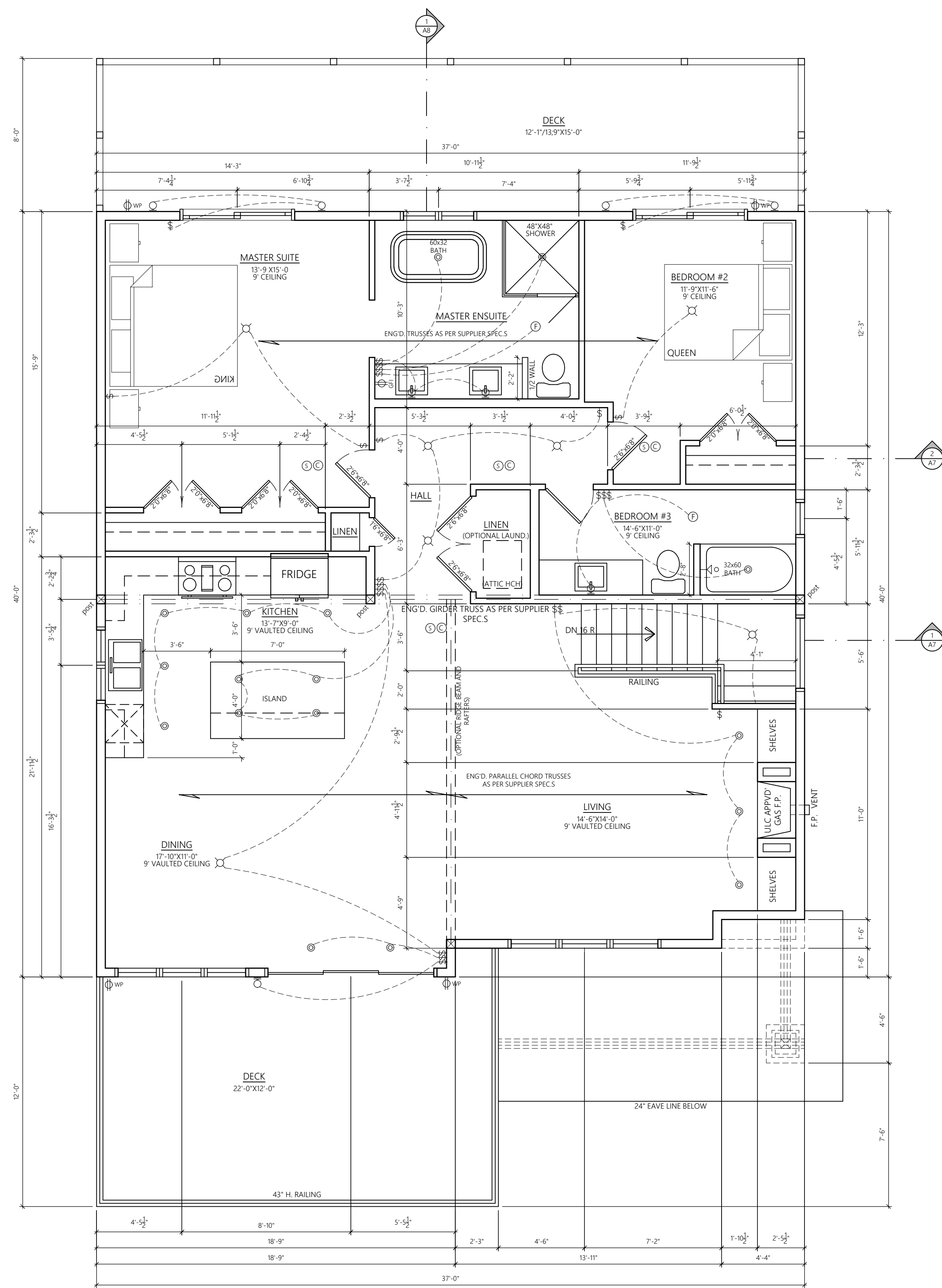
o the contractor shall check and verify all dimensions and reports all errors or omissions to the designer prior to commencing the work.

o these drawings are not to be scaled, o all plans are drawn in imperial scale unless otherwise noted. o all work to conform to the applicable building code. o manolakas designs liability is limited to correction of working drawings only.

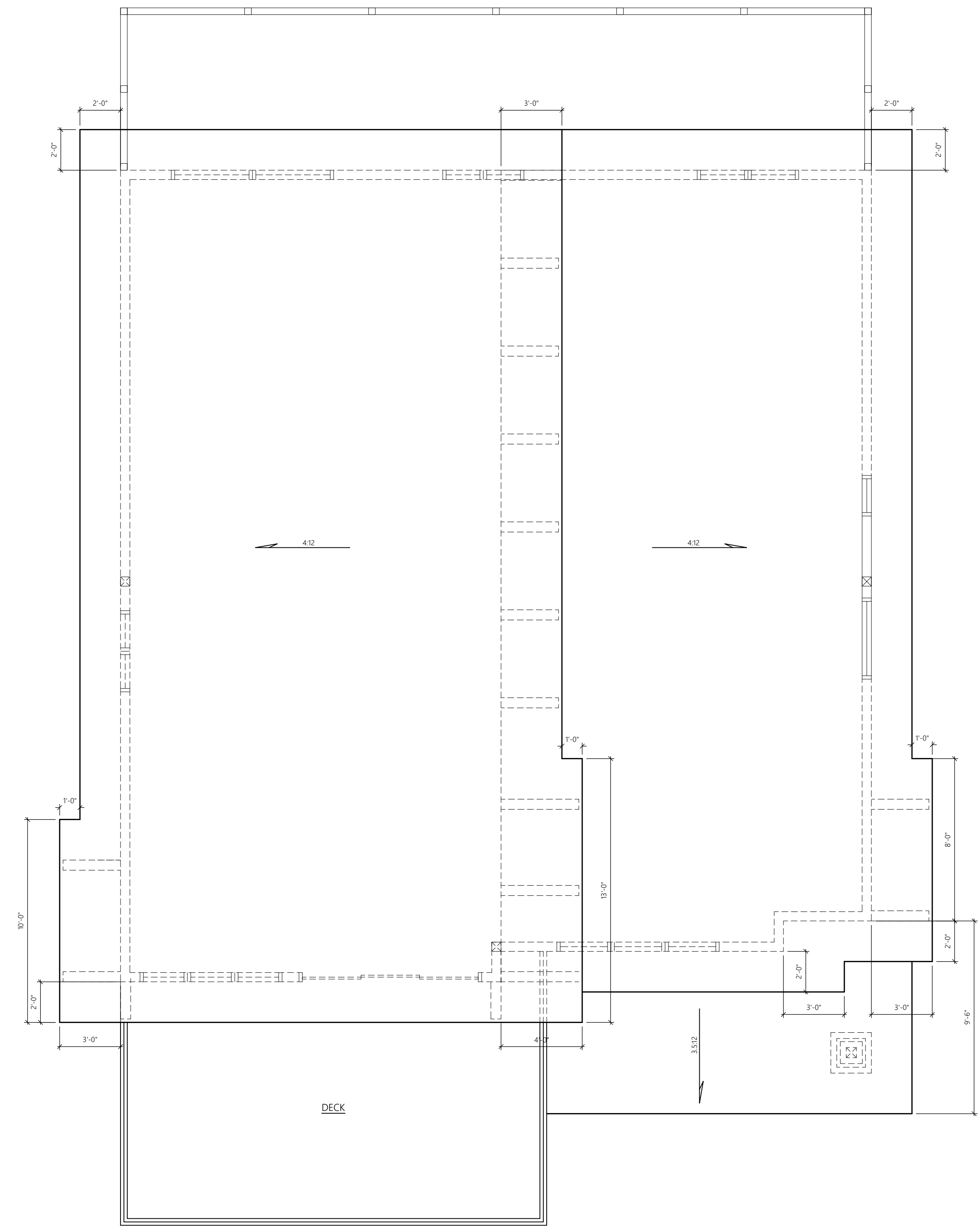
NO.	REVISION	DATE
8.		
7.		
6.		
5.		
4.		
3.		
2.		
1.	ISSUED FOR BP ISSUED FOR APPROVAL	11 / 16 / 23 06 / 10 / 2022

**REVISION:**  
 2

**SHEET NO.:**  
 A-5



1  
A6 UPPER FLOOR PLAN  
1/4"=1'-0"  
1446 SQFT



2  
A6 ROOF PLAN  
1/4"=1'-0"

manolakas designs

ph. (403) 921 1045  
pete.manolakas@gmail.com

PROJECT:  
ELK PARK RANCH  
SPEC. HOME  
WHITE TAIL LANE

ADDRESS AND LEGAL:  
SL 14  
ELK PARK RANCH, BC  
LOT: SL 14  
BLOCK: -----  
PLAN: -----

DATE: 08 / 30 / 2023  
SCALE: AS NOTED  
DRAWN BY: PM  
CHECKED BY: PM

DRAWING TITLE:  
UPPER FLOOR & ROOF PLANS

SQUARE FOOTAGES:  
MAIN FLOOR PLAN - 1001 SQ.FT.  
UPPER FLOOR PLAN - 1446 SQ.FT.  
TOTAL - 2447 SQ.FT.  
LOWER FLOOR - NA  
GARAGE - 455 SQ.FT.

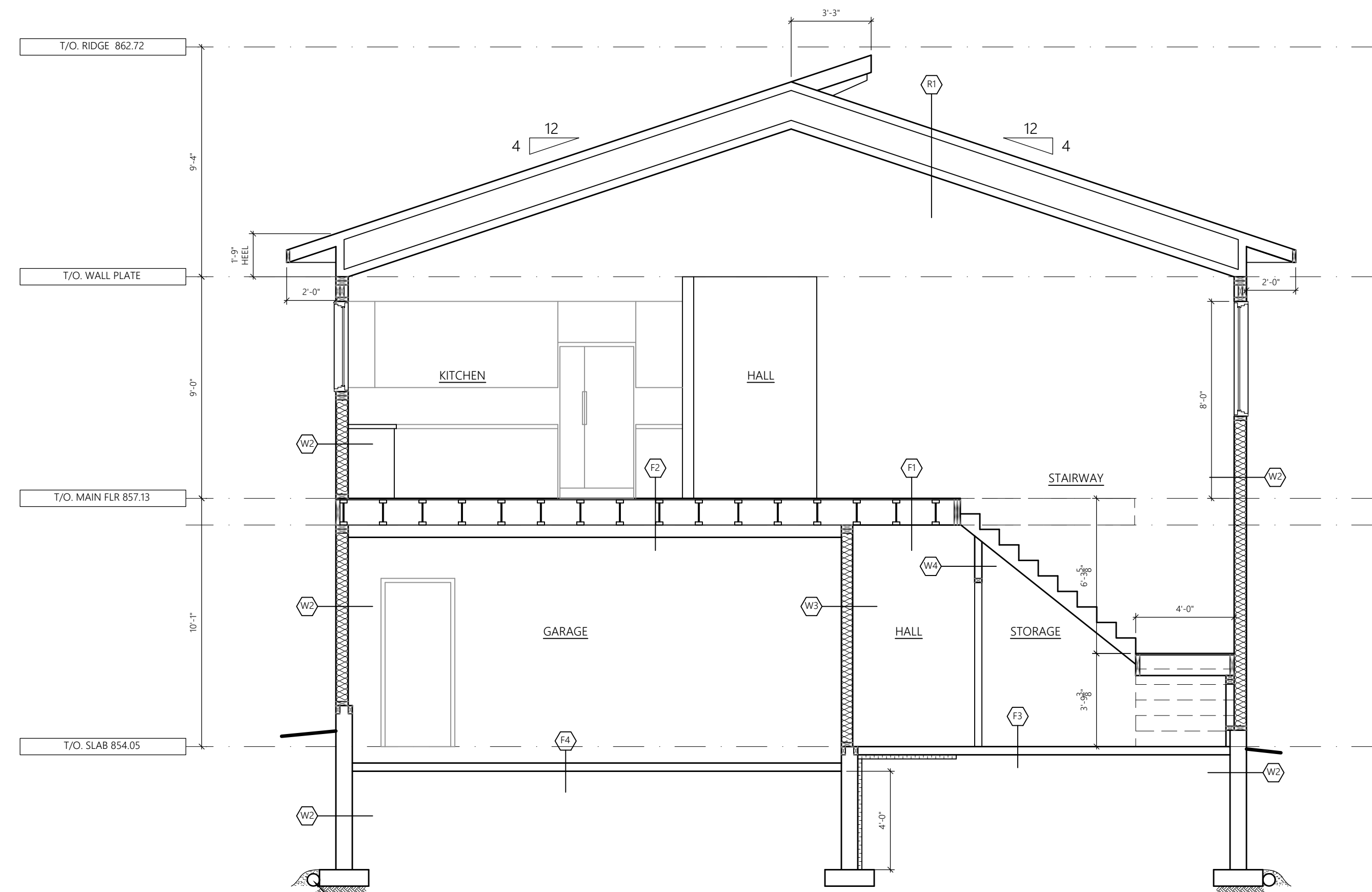
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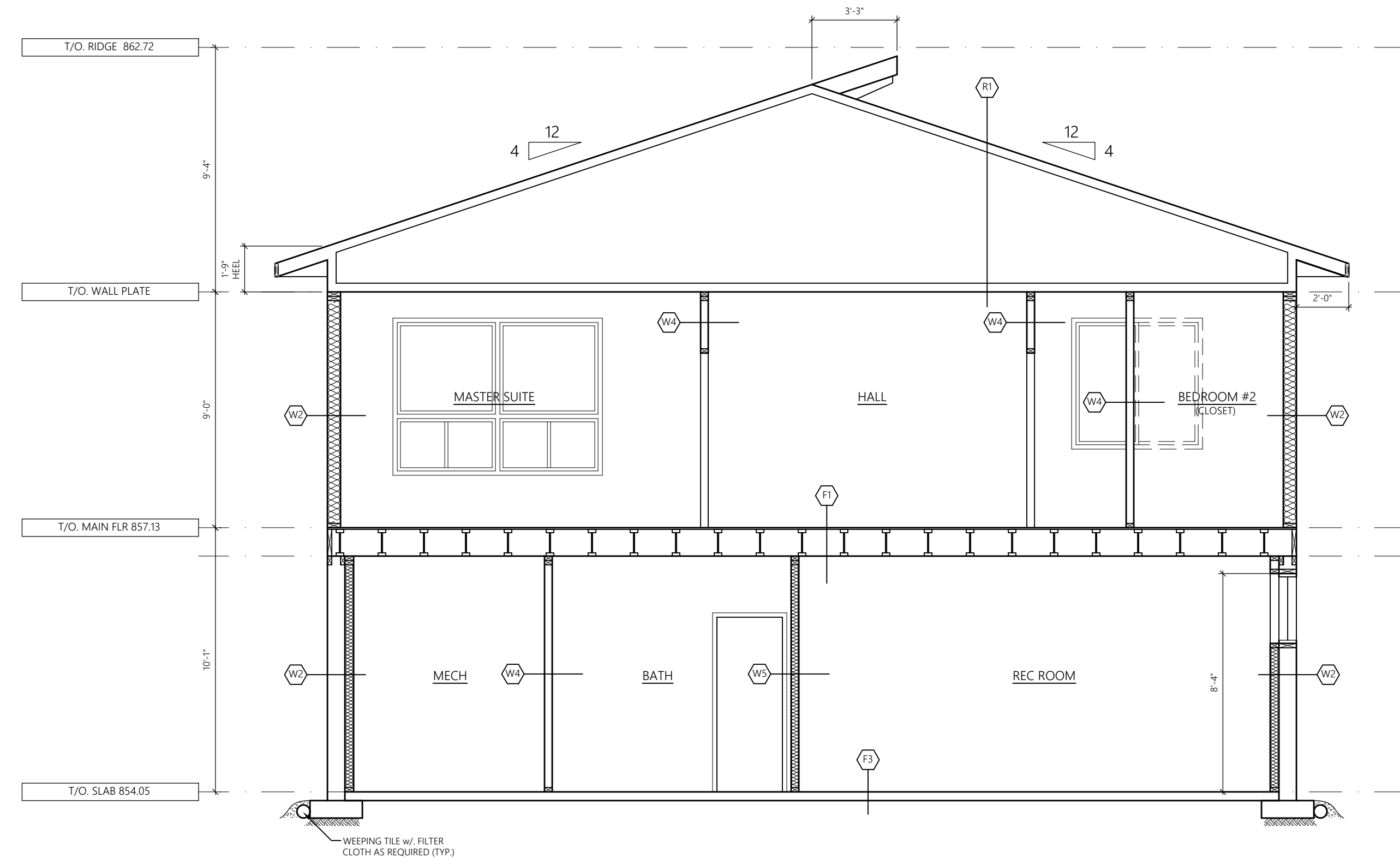
BUILDER:

NO.	REVISION	DATE
1.	ISSUED FOR BP	11 / 16 / 23
2.	ISSUED FOR APPROVAL	06 / 10 / 2022

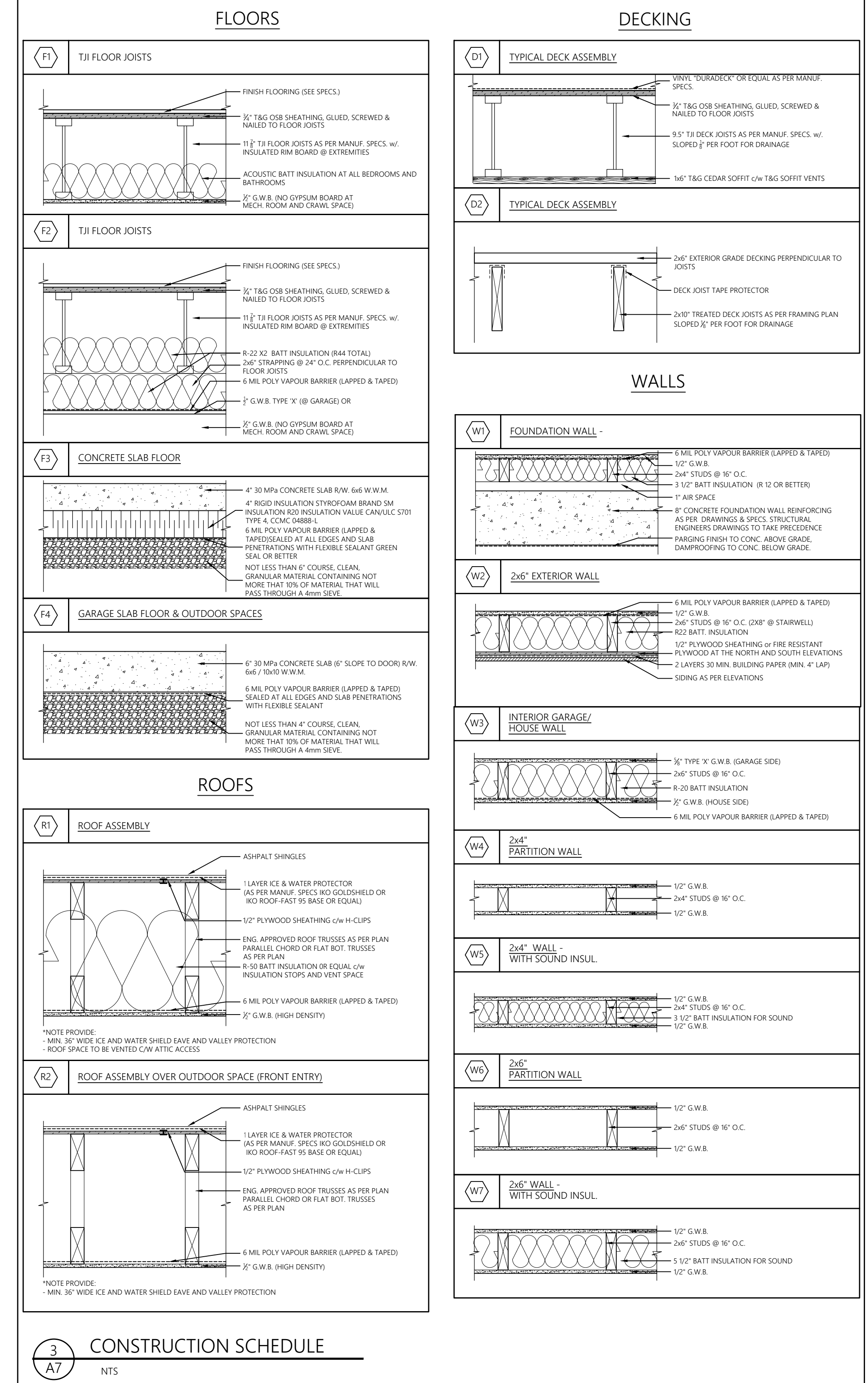
REVISION:  
2  
SHEET NO.:  
A-6



1 BUILDING SECTION  
A7 1/4"=1'-0"



2 BUILDING SECTION  
A7 1/4"=1'-0"



manolakas designs

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pete.manolakas@gmail.com

PROJECT:  
ELK PARK RANCH  
SPEC. HOME  
WHITE TAIL LANE

ADDRESS AND LEGAL:  
SL 14  
ELK PARK RANCH, BC  
LOT: SL 14  
BLOCK: \_\_\_\_\_  
PLAN: \_\_\_\_\_

DATE: 08 / 30 / 2023  
SCALE: AS NOTED  
DRAWN BY: PM  
CHECKED BY: PM

DRAWING TITLE:  
BUILDING SETIONS + ASSEMBLIES

SQUARE FOOTAGES:  
MAIN FLOOR PLAN - 1001 SQ.FT.  
UPPER FLOOR PLAN - 1446 SQ.FT.  
TOTAL - 2447 SQ.FT.  
LOWER FLOOR - NA  
GARAGE - 455 SQ.FT.

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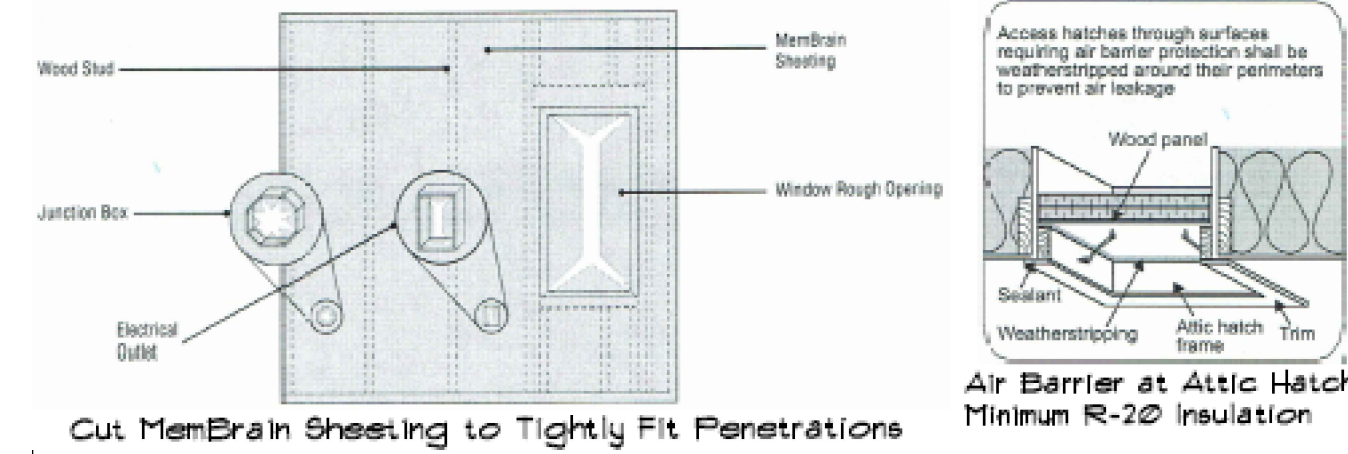
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BUILDER:

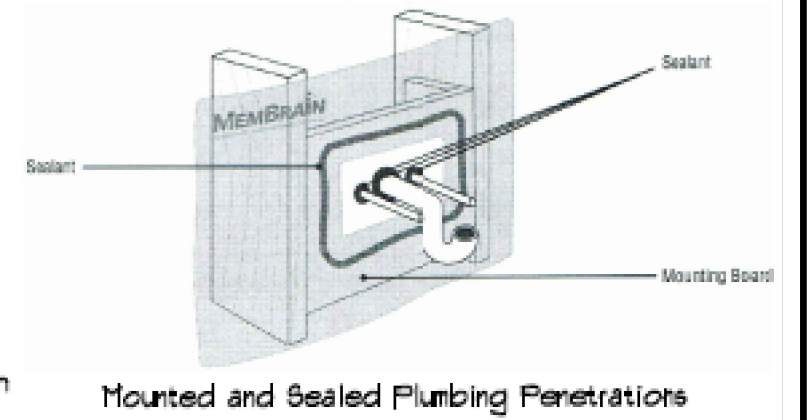
NO.	REVISION	DATE
8.		
7.		
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3.		
2.		
1.	ISSUED FOR BP	11 / 16 / 23
	ISSUED FOR APPROVAL	06 / 10 / 2022

REVISION:  
2  
SHEET NO.:  
A-7

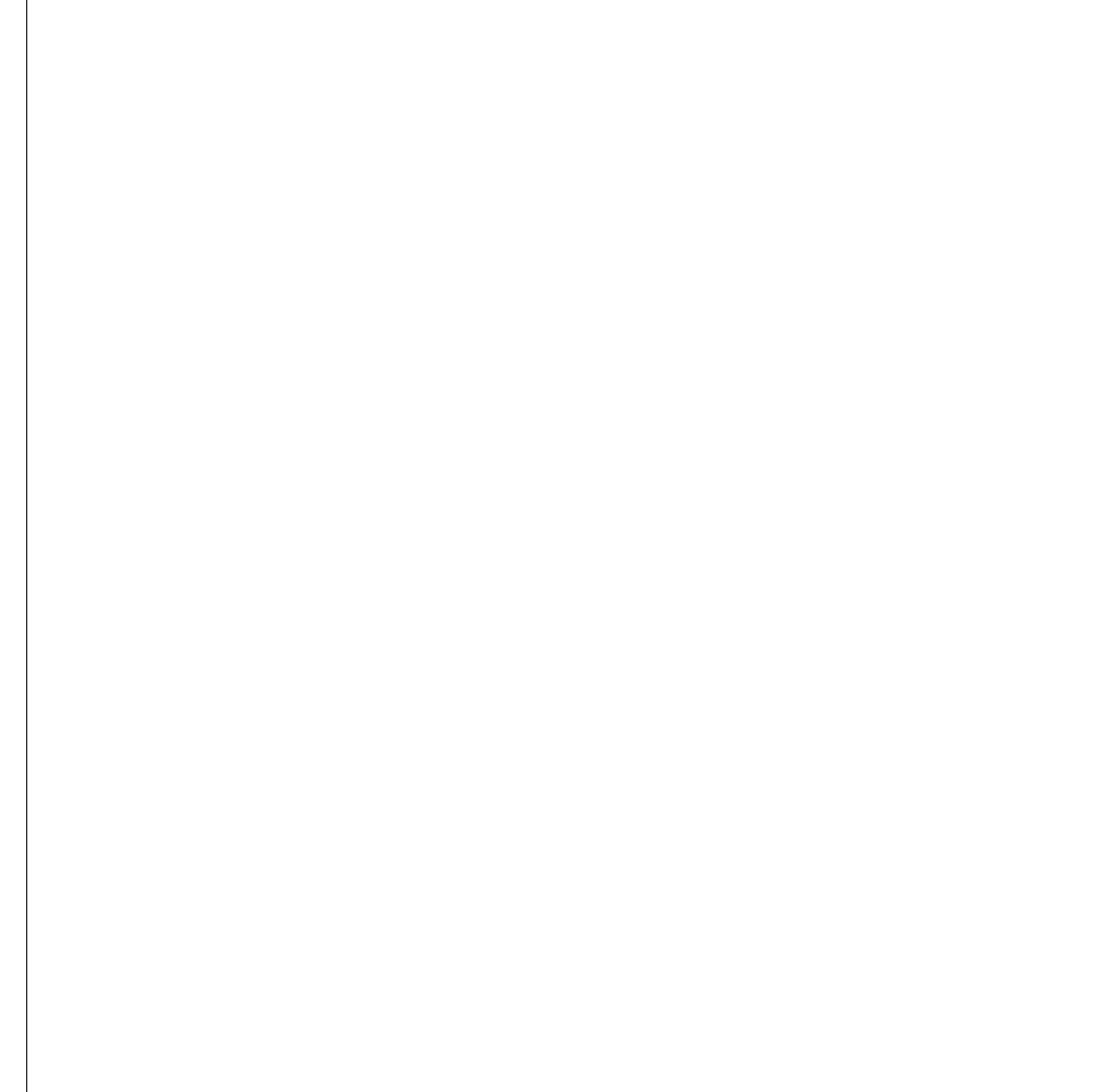
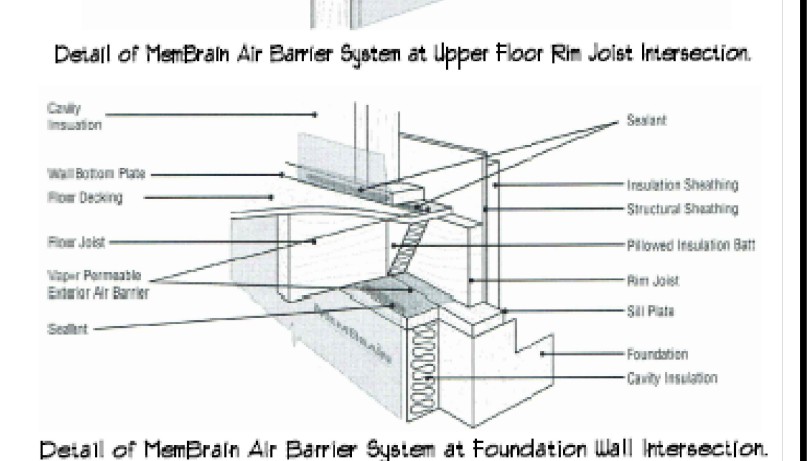
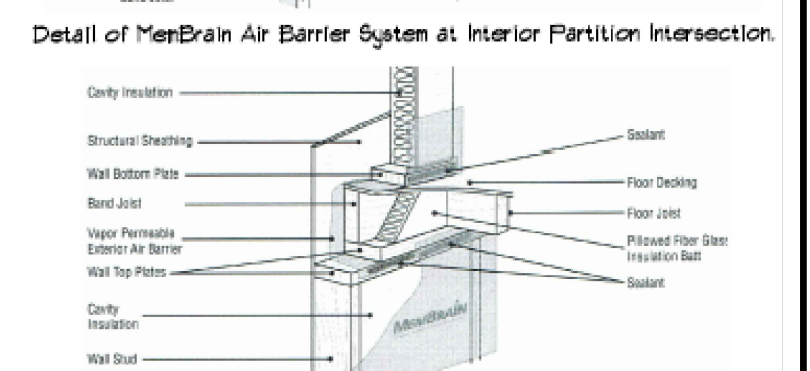
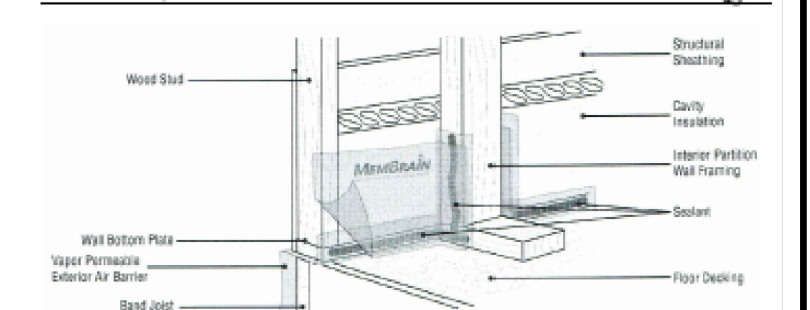
**INSULATION & AIR BARRIER CONTINUITY DETAILS:**  
 Maintain Air Barrier Continuity at Rim Joists, Corners, Partition Wall Interfaces and Ceilings:  
 Window, Door and Opening Treatment:



**Plumbing Penetration Treatment:**



**Maintain Air Barrier Continuity at Rim Joists, Corners, Partition Wall Interfaces and Ceilings:**



**1 BUILDING SECTION**  
 A8  
 1/4" = 1'-0"

