

12-01-2018

Dec 2018

FROM: E. Arocho Appraisal Group PSC P.O. Box 255, Arecibo, PR 00613-0255 Telephone Number: (787) 815-2307 Fax Number: (787) 815-0846	<h2 style="margin: 0;">INVOICE</h2> <table border="1" style="width: 100%; border-collapse: collapse; margin-top: 5px;"> <tr><td style="text-align: center;">INVOICE NUMBER</td></tr> <tr><td style="text-align: center;">Blanca R. Lopez</td></tr> <tr><td style="text-align: center;">DATE</td></tr> <tr><td style="text-align: center;">12/01/2018</td></tr> <tr><td style="text-align: center;">REFERENCE</td></tr> <tr><td>Internal Order #: 18-915-12</td></tr> <tr><td>Lender Case #: Blanca R. Lopez</td></tr> <tr><td>Client File #: 18-915-12</td></tr> <tr><td>Main File # on form: Blanca R. Lopez</td></tr> <tr><td>Other File # on form: 18-915-12</td></tr> <tr><td>Federal Tax ID:</td></tr> <tr><td>Employer ID: 12</td></tr> </table>	INVOICE NUMBER	Blanca R. Lopez	DATE	12/01/2018	REFERENCE	Internal Order #: 18-915-12	Lender Case #: Blanca R. Lopez	Client File #: 18-915-12	Main File # on form: Blanca R. Lopez	Other File # on form: 18-915-12	Federal Tax ID:	Employer ID: 12
INVOICE NUMBER													
Blanca R. Lopez													
DATE													
12/01/2018													
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Client File #: 18-915-12													
Main File # on form: Blanca R. Lopez													
Other File # on form: 18-915-12													
Federal Tax ID:													
Employer ID: 12													
TO: Blanca Rosa Lopez Padin Telephone Number: Fax Number: Alternate Number: E-Mail:													
DESCRIPTION													
Lender: Blanca Rosa Lopez Padin Client: Blanca Rosa Lopez Padin Purchaser/Borrower: Blanca Rosa Lopez Padin Property Address: SR 2 km 80.3 int., lot 2 sect Las Canelas, Hato Abajo wd City: Arecibo State: PR Zip: 00612 County: Lares Legal Description: Refer to Attached Legal Description.													
FEES	AMOUNT												
Value estimate	350.00												
SUBTOTAL	350.00												
PAYMENTS	AMOUNT												
Check #: Date: Description:	175.00												
Check #: Date: Description:													
Check #: Date: Description:													
SUBTOTAL	175.00												
TOTAL DUE	\$ 175.00												

APPRAISAL OF REAL PROPERTY

LOCATED AT:

SR 2 km 80.3 int., lot 2 sect Las Canelas, Hato Abajo wd
Refer to Attached Legal Description.
Arecibo, PR 00612

FOR:

Blanca Rosa Lopez Padin

AS OF:

12/01/2016

BY:

Elpidio Arocho Gonzalez 680 EPA
P.O. Box 255, Arecibo, P.R. 00613-0255
Certified No.Rc23, State License No. 680 EPA
earocho680@gmail.com

18-915-12
Blanca R. Lopez
12-01-16

REAL ESTATE VALUE ESTIMATE

SUBJECT
 Contact: Blanca Rosa Lopez Pafin
 Property Address: SR 2 km 80.3 Int., lot 2 sect Las Canelas, Hato Abajo w/d
 City: Arecibo
 Phone No. Res: None
 No. of Rooms: 9
 No. of Bedrooms: 4
 Lot/Amt: N/A
 No. of Baths: 3.1
 Family room or den: Yes No
 State: PR
 Zip Code: 00951
 Map Reference: 18 47291, -66 75838
 Check for: SF PFD CONDO 2-4 Units
 Gross Living Area: 2,967 Sq. Ft.
 Garage/Carport (Specify Type & no.): 3 cpd/garage
 Mos. Over \$15K of Value: N/A
 Porches, Entry or Foyer (Specify): Entrance Yes No

NEIGHBORHOOD

Location: Urban Suburban Rural
 Built-Up: Over 75% 25% to 75% Under 25%
 Growth Rate: Fully Dev. Rapid Steady Slow
 Property Values: Increasing Stable Declining
 Demand Supply: Shortage In Balance Oversupply
 Marketing Time: Under 3 Mos. 4-6 Mos. Over 6 Mos.
 Present Land Use: 65% 1 Family 6% 2-4 Family 0% Apts. 0% Condo 4% Commercial 0% Industrial 25% Vacant %
 Change in Present Land Use: Not Likely Likely Taking Piece From To
 Predominant Occupancy: Owner Tenant % Vacant
 SR Price Range: \$ 60 to \$ 500 = Predominant Value
 SR Family Age: 05 yrs. to 65 yrs. Predominant Age: 35 yrs.

Property Compatibility: Good Avg Fair Poor
 General Appearance of Properties:
 Appeal to Market:

FIELD REPORT
 Comments including those factors affecting marketability (e.g. public parks, schools, view, noise): The immediate subject subdivision area is composed of single family type of homes. Shopping centers, schools, hospitals and other services and amenities are located at near distance to the subject area. No adverse factors were observed in the area or nearby. The appeal to the market is average. Subject property is not a Gate Controlled Access neighborhood.
 Present land use: Other = Vacant. Fema Map - 72000C0210J Flood Zone X. 11/05/2009

SUBJECT PROPERTY

Approx. Yr. Bt: 19 93 # Units: 1 # Stories: 2
 Type (det, duplex, semi-det, etc.): Single Family
 Design (rambler, split, etc.): Rambler/Avg
 Exterior Wall Mat.: Concrete
 Roof Mat.: Concrete
 Is the property in a HUD-identified Special Flood Haz. Area? No Yes
 Special Energy-Effic. Items: No External Inadequacies Were Observed.

PROPERTY RATING
 Condition of Exterior: Good Avg Fair Poor
 Compatibility to Neighborhood:
 Appeal and Marketability:

Comments (favorable or unfavorable incl. deferred maintenance): Subject property was apparently in average conditions. No external inadequacies are observed. Subject property was penalized in condition grid for \$5,000, because needs the following repairs: see addendum. Data for gross living area is from the previous appraisal file.

ITEM	SUBJECT	COMPARABLE NO. 1	COMPARABLE NO. 2	COMPARABLE NO. 3
Address	SR 2 km 80.3 Int., lot 2 sect I Arecibo, PR 00612	SR 4485 km 0.2 San Jose Quebradillas, PR 00678	SR 4412 km 1.0 Jaquety wd Rincon, PR 00677	3436 Paseo Versatil Ponce, PR 00716
Proximity to Subj.	N/A	10.54 miles W	33.65 miles W	32.59 miles SE
Sale Price	\$ N/A	\$ 405,000	\$ 490,000	\$ 525,000
Date of Sale and Time Adjustment	N/A	06/23/2017	05/23/2017	04/20/2018
Location	Hato Abajo ward	San Jose ward	Jaquety ward	Vista Point
Site View	1,243.55 sqm/\$55	2,294 sqm/\$35	3,619 sqm/\$30	1,892 sqm/\$55
Age	25 Years	11 Years	10 Years	12 Years
Condition	Need repairs	Superior	Superior	Superior
Living Area Fin. Count and Total	Total: 9 B-rms: 4 Baths: 3.1	Total: 9 B-rms: 4 Baths: 3.1	Total: 8 B-rms: 3 Baths: 3.0	Total: 10 B-rms: 4 Baths: 3.0
Gross Living Area	2,967 Sq Ft	3,456 Sq Ft	2,927 Sq Ft	3,424 Sq Ft
Air Conditioning	None/None	None/None	None/None	None/None
Garage/Carport	3 cpd/garage	2 ext. garage	1 Carport	2 Garage
Porches, Patio, Foyer, etc.	Ent. pa balcony	Pa. Porch	Pa. Porch balconies	Pa. porch pvg st Fence's pool
Special Items	None	None	None	None
Efficient Energy	None	None	A unit 0 ter. st. hd	None
Other	Terrace lev. st	Bicy. o ter. st. hd	G room ter. utils	Ter. bits stors(3)
Net Adjust. (Total)		+50,000	-39,200	-75,000
High/Low Value Subj.		\$ 29,800	\$ 450,800	\$ 450,800
General Comments				

MARKET COMPARABLE ANALYSIS
 Sales Analysis: Demonstrate A Range Of Value From \$434,800 To \$450,800 With A Most Probable Market Value Of \$450,000
 General Comments: Sales used are from subject neighborhoods or similar neighborhoods with similar facilities and competitive features to subject.
 Estimated Value: \$ 450,000 as of 12/01/2018
 Completed By: Egidio Arocho Gonzalez 660 EPA
 Signature: [Signature] Date: 12/04/2018

Location map



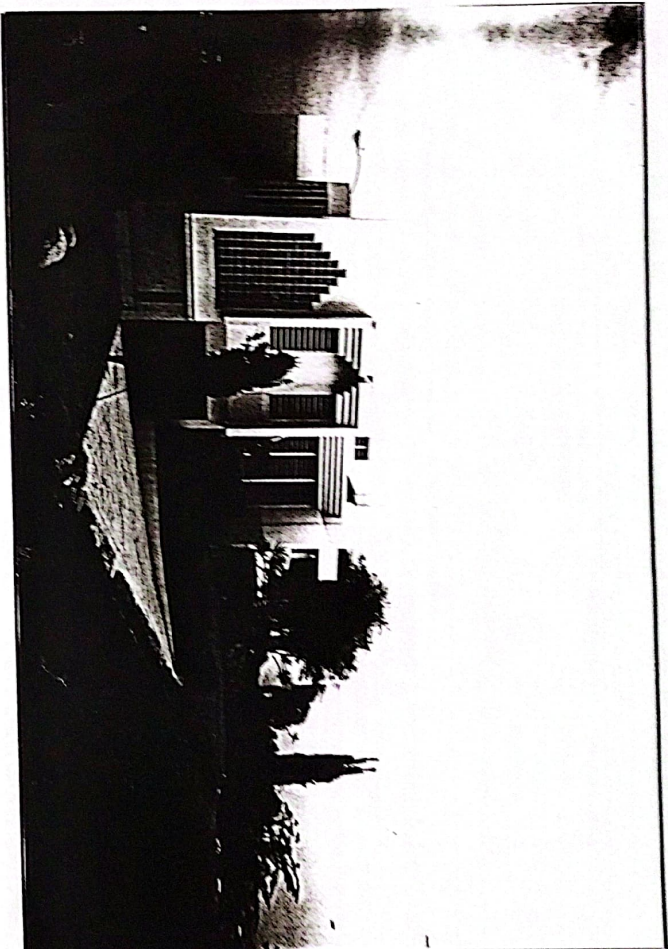
Catastro: 011-089-379-87

Versión Beta (Sugerencias y reporte de errores son bienvenidos a [BIZIUS-2010-07-02](#)
 Versión Actualizada
 En proceso: manejar varios distritos sobrepuestos

Identificación	011-089-379-87
Catastro	x: 105609.5641, y: 279826.6055
Coordenadas UTM83	(Lat: 18.47391160, Lon: -66.75036370)
	Vers: Google Yandex
Área Aprox. (m.c.)	1201.4541
Municipio	Arecibo
Barrio	Hato Abajo
Características Arquitectónicas	
Zona Inundabilidad	<input checked="" type="checkbox"/>
Panel Inundabilidad	72000C02101
Floodway	
Suelo Geológico	RI1C (Rio Lajas sand)
Calificación y Clasificación de Suelo	
Calificación	Oficialización del geodato en proceso, favor de referirse al mapa de calificación vigente.
Calificación	Oficialización del geodato en proceso, favor de referirse al mapa de calificación vigente.
Mapas de Calificación	<input checked="" type="checkbox"/> Arecibo
Distrito Sobrepuesto	undefined, APE 2C (Área de Planificación Especial Zona Cárstica)
Zona Histórica	
Sitio Histórico	
Reglamento Aplicable	• Reglamento Conjunto de Permisos para Obras de Construcción y Uso de Terreno
Vigencia de GeoData de Calificación	03/26/2008
Statut POT	Fase: 4
Permisos	

solar anteriormente aludido, por la presente
segregación del mismo, resultando la siguiente descripción: -----

-----**SOLAR A SEGREGARSE:** RUSTICA: BARRIO HATO ABAJO DE ARECIBO COMPUESTA DE MIL DOSCIENTOS CUARENTA Y TRES PUNTO CINCO CUATRO NUEVE CEROS METROS CUADRADOS (1243.5490 M.C). EN LINDES POR EL NORTE CON JOSE RUIZ LAGO; POR EL SUR CON BLANCA RUIZ ROSA; POR EL ESTE CON SONIA HERNANDEZ ROMAN SEGÚN EL PERMISO DESEGREGACION Y, CON LA SUCESION DE JOSE ROMAN SEGÚN EL PLANO DE SEGREGACION APROBADO; Y POR EL OESTE CON VICTOR ROMAN SANTIAGO, SEGÚN EL PERMISO DE SEGREGACION, CON CALLE MUNICIPAL EXISTENTE SEGÚN EL PLANO DE SEGREGACION APROBADO POR OGPe. -----
-----SE SEGREGA DE LA FINCA CUARENTA Y UN MIL SETECIENTOS OCHO (41,708), INSCRITA AL FOLIO CUARENTA Y CINCO (45) DEL TOMO NOVECIENTOS CINCUENTA Y TRES (953) DE ARECIBO.-----



APPRAISAL OF REAL PROPERTY

LOCATED AT:

Lot No. 2, Las Canelas Sector, Hato Abajo Ward
Arecibo, PR 00612

FOR:

Mr. Jose Ruiz Lago

AS OF:

January 20, 2000

BY:

Vallejo & Vallejo
PO BOX 11922 SAN JUAN PR 00922-1922

Vallejo & Vallejo

UNIFORM RESIDENTIAL APPRAISAL REPORT

File No.

Property Description
 Property Address: Lot No 2, Las Canelas Sector, Hato Abajo Ward, City: Arecibo, State: PR, Zip Code: 00012
 Legal Description: Seek Property Deed and/or Title Search, County: Code No 013, Special Assessments: \$ 0.00
 Assessor's Parcel No.: Not Available, Tax Year: NA, H.E. Taxes: \$ 0.00
 Borrower: NA, Current Owner: Mr. Jose Robinson Ruiz Lago, Occupied: Owner, Tenant, Vacant
 Property rights appraised: Fee Simple, Leasehold, Project Type: PUD, Condominium (HUD/VA only): HOA \$ N/A, #Mo: /Mo
 Neighborhood or Project Name: Las Canelas Sector, Map Reference: 0470, Census Tract: 3010
 Sale Price: \$ NA, Date of Sale: NA, Description and \$ amount of loan charge/concessions to be paid by seller: N/A
 Lender/Client: Mr. Jose Ruiz Lago, Address: PO BOX 11922 SAN JUAN, PR 00922-1922, Census Tract: 3010
 Appraiser: Jorge I Vallejo, MAI, CRE, SRA, Address: Address

MARKETING
 Location: Urban, Suburban, Rural, Single family housing: Present land use %: 0/5, Land use change: Held, Empty, Empty
 Built up: Over 75%, 25-75%, Under 25%, Occupancy: Owner, Tenant, Vacant (0-5%), Vac (over 5%), In process
 Growth rate: Rapid, Stable, Slow, Increasing, Decreasing, Demand supply: Shortage, In balance, Over supply, Commercial: 10, To: N/A
 Property values: Increasing, Stable, Declining, Vacant (0-5%), Vac (over 5%), In process
 Demand supply: Shortage, In balance, Over supply, Commercial: 10, To: N/A
 Marketing time: (Under 3 mos) 3-6 mos, Over 6 mos, NA, NA

NEIGHBORHOOD
 Note: Race and the racial composition of the neighborhood are not appraisal factors.
 Neighborhood boundaries and characteristics: North State Road No. 2 and Atlantic Ocean, South State Road No. 653 and Expressway No. 22, East Arecibo Downtown and West State Road No. 493, Expressway No. 22 and Hatillo Municipality.
 Factors that affect the marketability of the properties in the neighborhood (proximity to employment and amenities, employment stability, appeal to market, etc.):
 The Subject neighborhood is an urban residential subdivision located within Las Canelas Sector of the Hato Arriba Ward in the Arecibo Municipality, having the necessary utilities and services enjoyed by competitive neighborhoods including a controlled access security oriented system, while other supporting amenities and facilities are located within convenient walking and/or driving distances. No negative factors were observed that could affect the marketability of the Subject Property. Appeal to market is average.

Market conditions in the subject neighborhood (including support for the above conclusions related to the trend of property values, demand/supply, and marketing time -- such as data on competitive properties for sale in the neighborhood, description of the prevalence of sales and financing concessions, etc.):
 Neighborhood values are stable. Demand and Supply appear to be in balance. Marketing time is typically under six (6) months. No sales or financing concessions exist, nor are any foreseen. Due to the wide ranges of housing prices and ages in the neighborhood, no predominant figures can be realistically determined. The market value concluded for the Subject Property places it at the upper limit of value for the neighborhood, which could extend its estimated marketing time.
 This reporting format is considered a Summary Appraisal Report.

PUD
 Project information for PUDA (if applicable) - - Is the developer/builder in control of the Home Owners' Association (HOA)? Yes No
 Approximate total number of units in the subject project: NA, Approximate total number of units for sale in the subject project: Yes No
 Describe common elements and recreational facilities: NA, NA

SITE
 Dimensions: 1 square meter = 10.76391 square feet, Topography: Gently Sloping, Average
 Site area: 1,860.09 square meters, Corner Lot: Yes No
 Specific zoning classification and description: Residential
 Zoning compliance: Legal, Legal nonconforming (Grandfathered use), Illegal, No zoning
 Highest & best use as improved: Present use, Other use (explain): NA
 Utilities: Public Other Off-site improvements: Type: Public Private
 Electricity: AEE, None, Steel, Asphalt
 Gas: None, Cub/gutler, None
 Water: AAA, Siderwalk, None
 Sanitary sewer: Sepsuc Tank, Yes, Steel lights, Yes, FEMA Zone C, Map Date: 8/3/92
 Storm sewer: None, Alley, FEMA Map No.: 720000-0025-C

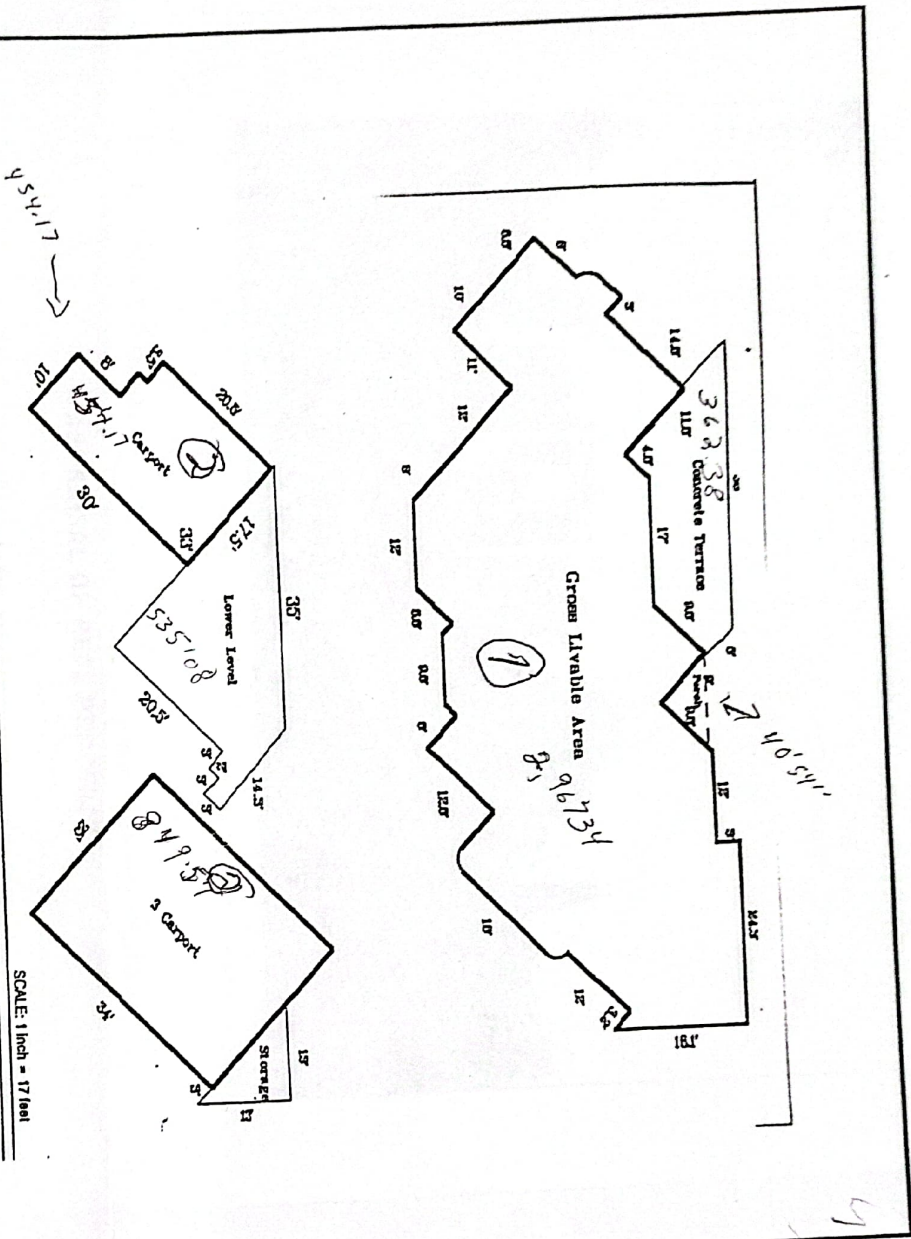
Comments (dependent adverse easements, encroachments, special assessments, side areas, illegal or legal nonconforming zoning use, etc.):
 Factors which could affect the value of the Subject Site were observed. The Subject Site is located outside the 500-Year Flood Area. No visible adverse

GENERAL DESCRIPTION		EXTERIOR DESCRIPTION		FOUNDATION		BASEMENT		INSULATION					
No of Units	One (1)	Foundation	Reinf. Concrete	Slab	NA	Area Sq. Ft.	NA	Roof	NA				
No of Stories	Two (2)	Exterior Walls	Reinf. Concrete	Crawl Space	NA	% Finished	NA	Ceiling	NA				
Type (Det./Att)	Detached	Roof Surface	Reinf. Concrete	Basement	NA	Ceiling	NA	Walls	NA				
Design (Style)	Modern	Gutters & Downsp.	Adequate	Sump Pump	NA	Walls	NA	Floor	NA				
Existing/Proposed	Yes/No	Window Type	Glass Security	Drainage	NA	Floor	NA	None	NA				
Age (Yrs)	1992-93	Storm/Screens	Yes/Yes	Settlement	NA	Outside Entry	NA	Unknown	NA				
Effective Age (Yrs)	5-7 Years	Manufactured House	No	Installation	NA								
KITCHENS	Foyer	Dining	Kitchen	Den	Family Rm.	Rec. Rm.	Bedrooms	# Baths	1/2	Laundry	Other	Area Sq. Ft.	NA
Basement													
Level 1		X		X	X	X	4	3-1/2	X	Utility		Area Sq. Ft.	2,967
Level 2								1/2		Maid's			

DESCRIPTION OF IMPROVEMENTS
 Finished area above grade contains: 7 Rooms, 4 Bedroom(s), 4 Bath(s), 2,967 Square feet of Gross Living Area
INTERIOR
 Materials/Condition: HEATING: NA, KITCHEN EQUIP: 4, ATTIC: 4, AMENITIES: # of Cars: 4
 Floors: Marble/Good, Reinforced Concrete, Range/Oven, Stairs, Pads, Yes, Garage: None
 Walls: Reinforced Concrete, Fuel, NA, Range/Oven, Stairs, Deck, None, Attached: NA
 Trim/Finish: Plastering/Good, Condition: NA, Disposal, Dishwasher, Dupl. Slat, Patch, Yes, Detached: NA
 Bath Floor: Marble/Good, COOLING: Yes, Dishwasher, Fairhood, Floor, Fence, Conc./Iron, Built in: NA
 Bath Wainscot: Marble/Good, Ceramic, No, Splay/Wal, Microwave, Heated, Pool, None, 4 Carports
 Doors: Red Wood/Good, Other: Splay/Wal, Microwave, Heated, Pool, None, 4 Carports
 WV-Closet: Cedar Wd/Good, Condition: Average, Washer/Dryer: Finished, Dryer: Pavers
 Additional features (special energy efficient items, etc.): Security alarm system, storm shutters, electric power plant, landscaping, laundry, 2 storage rooms, paved areas, electric canvas awnings in the balcony and terraces and water cistern with pressure pump
COMMENTS
 Condition of the improvements, depreciation (physical, functional, and external), repairs needed, quality of construction, remodeling/additions, etc.:
 Property is a high quality reinforced concrete residence with marble floors and good quality kitchen and bathroom fixtures, having redwood, cedar and mahogany wood in the closets and cabinets, clay and concrete paved tiles in the terraces and balconies, stained-glass and security windows, etc. The Subject improvements are in good condition, suffering from normal physical depreciation.
 Adverse environmental conditions (such as, but not limited to, hazardous wastes, toxic substances, etc.) present in the improvements, on the site, or in the immediate vicinity of the subject property: No adverse environmental conditions were observed at the Subject Property nor in the immediate vicinity.

Building Sketch

Borrower/Client: NA
 Property Address: Lot No. 2, Las Carolas Sector, Hato Abajo Ward
 City: Arcebo
 County: Code No. 013
 State: PR
 Zip Code: 00612
 Lender:



454.17

SCALE: 1 inch = 17 feet

AREA CALCULATIONS SUMMARY				LIVING AREA CALCULATIONS			
Area	Name of Area	Size	Totals	Breakdown	Subtotals		
CLAI	First floor	2967.34	2967.34	24.30	X	15.88	385.87
POK	Porch	40.54	40.54	12.00	X	31.01	372.16
CAR	Carport	849.57	849.57	13.15	X	24.22	318.59
	Carport	459.17	1308.75	23.79	X	27.48	653.60
OTR	Storage	84.50	84.50	11.46	X	15.74	180.28
	Lower Level	535.08	535.08	16.57	X	13.62	198.35
	Concrete Terrace	362.30	901.97	13.51	X	11.49	153.17
				0.06	X	2.24	0.14
				0.76	X	10.32	7.82
				0.99	X	4.67	4.62
				2.20	X	11.31	24.85
				5.32	X	0.71	3.76
				4.43	X	8.49	37.43
				10.77	X	4.67	50.27
				0.80	X	4.67	3.75
				22.57	X	0.99	22.34
				1.00	X	584.20	584.20

2967

UNIFORM RESIDENTIAL APPRAISAL REPORT

Section

File No.

ESTIMATED SITE VALUE		= \$ 93,005	Comments on Cost Approach (such as, source of cost estimate, site value, square foot calculation and for HUD, VA and FmHA, the estimated remaining economic life of the property): The Highest and the Best Use of the Site is residential. The Subject Site was valued as derived by vacant residential site sales and extraction from improved sales in the Subject's general area. The Cost Approach was developed with help of Marshall Valuation Service. The physical depreciation was based on the age/ life method and the observed condition of the improvements.
ESTIMATED REPRODUCTION COST-NEW-OF IMPROVEMENTS:			
Dwelling	2,967 Sq. Ft. @\$ 125.00 = \$	370,875	
	1,023 Sq. Ft. @\$ 75.00 =	76,725	
Additional Features		= 50,000	
Garage/Carport	1,309 Sq. Ft. @\$ 50.00 =	65,450	
Total Estimated Cost New		= \$ 563,050	
Less	Physical Functional External		
Depreciation	56,500	= \$ 56,500	
Depreciated Value of Improvements		= \$ 506,550	
As-is Value of Site Improvements		= \$ 445	
INDICATED VALUE BY COST APPROACH		= \$ 600,000	

ITEM	SUBJECT	COMPARABLE NO. 1		COMPARABLE NO. 2		COMPARABLE NO. 3	
Lot No. 2, Las Canelas Sector		No. 2, E Street, El Retiro Dev.		Lot 1, Miradero Ward, Villa Nu		Int. of Km. 1.8 of SR #348, Cerr	
Address Hato Abajo Wd., Arecibo, PR		Caguas, PR		Zigma Dev., Mayaguez		Las Mesas Dev., Mayaguez	
Proximity to Subject		Competitive Development		Competitive Development		Competitive Development	
Sales Price		\$ 465,000		\$ 400,000		\$ 625,000	
Price/Gross Living Area		\$ 176.40 / sq ft		\$ 94.03 / sq ft		\$ 113.80 / sq ft	
Data and/or		Clearing House Data		Clearing House Data		Fellow Appraiser	
Verification Source		Inspection		Inspection		Inspection	
VALUE ADJUSTMENTS		DESCRIPTION +(-)\$ Adjust.		DESCRIPTION +(-)\$ Adjust.		DESCRIPTION +(-)\$ Adjust.	
Sales or Financing		None		None		None	
Concessions		None		None		None	
Date of Sale/Time		7/99		5/99		10/99	
Location		Average		Average		Average	
Leasehold/Fee Simple		No/ Yes		No/ Yes		No/ Yes	
Site		1,860 Sq. Mts.		2,200 SM		2,417 SM	
View		Panoramic		Panoramic		Panoramic	
Design and Appeal		Modern		Modern		Modern	
Quality of Construction		Good		Inferior - 10% +40,000		Good	
Age		A7.5/ E5-7		1999		1970	
Condition		Good		New - 10% -46,500		Inferior - 10% +40,000	
Above Grade		Total : Bdrms : Baths		Total : Bdrms : Baths		Total : Bdrms : Baths	
Room Count		7 : 4 : 4		9 : 4 : 2.5		13 : 6 : 6	
Gross Living Area		2,967 Sq. Ft.		2,636 Sq. Ft.		4,254 Sq. Ft.	
Basement & Finished		None		None		None	
Rooms Below Grade		None		None		None	
Functional Utility		Adequate		Adequate		Adequate	
Heating/Cooling		Split & Wall A/C		Split & Wall A/C		Split & Wall A/C	
Energy Efficient Items		None		None		None	
Garage/Carport		4 Car Carport		2 Car Carport +30,000		2 Car Carport +30,000	
Porch, Patio, Deck, Fireplace(s), etc.		Additional Features		Inferior +100,000		Inferior +50,000	
Fence, Pool, etc.		None		None		Tennis Court -25,000	
Net Adj. (total)		<input checked="" type="checkbox"/> + <input type="checkbox"/> - \$ 83,500		<input checked="" type="checkbox"/> + <input type="checkbox"/> - \$ 160,000		<input type="checkbox"/> + <input checked="" type="checkbox"/> - \$ 57,500	
Adjusted Sales Price of Comparable		\$ 548,500		\$ 560,000		\$ 567,500	

Comments on Sales Comparison (including the subject property's compatibility to the neighborhood, etc.): Adjustments were made in order to account for market recognized differences between the Subject Property and the Comparable Sales listed, which are the most recent transactions of similar type properties to the Subject to have taken place within alternate competitive locations of other Island Municipalities. The Comparable Sales listed provide adjusted sales price indications within a range of \$548,500.00 to \$567,500.00, having a mean of \$558,666.67, a midpoint of \$558,000.00 and a median of \$560,000.00, pointing towards a rounded market value figure in the \$560,000.00 level.

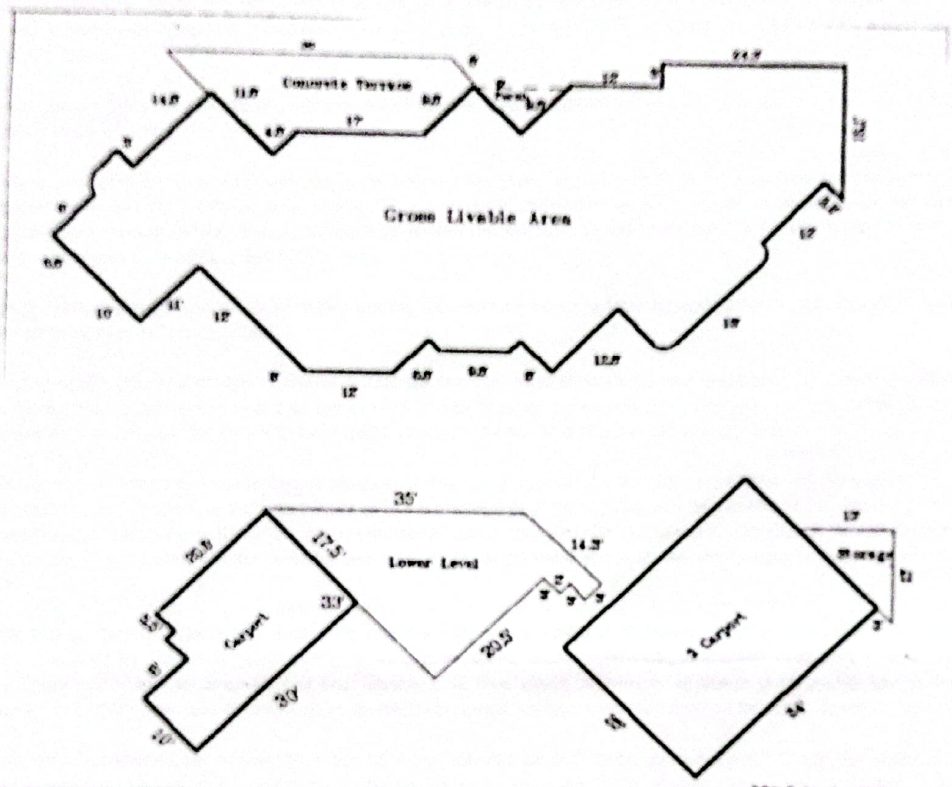
ITEM	SUBJECT	COMPARABLE NO. 1	COMPARABLE NO. 2	COMPARABLE NO. 3
Date, Price and Data Source, for prior sales within year of appraisal	None	None	None	None

Analysis of any current agreement of sale, option, or listing of subject property and analysis of any prior sales of subject and comparables within one year of the date of appraisal: This appraisal report will assist the client in a decision making process referent to the Subject Property.

INDICATED VALUE BY SALES COMPARISON APPROACH		\$ 600,000.00
INDICATED VALUE BY INCOME APPROACH (if Applicable)	Estimated Market Rent \$ NA /Mo. x Gross Rent Multiplier NA	= \$ NA

Building Sketch

Rottow/Client NA			
Property Address Lot No. 2, Las Caneas Sector, Hato Abajo Ward			
City Arecibo	County Code No. 013	Site FR	Zoning 00512
Lender			



AREA CALCULATIONS SUMMARY			
Area	Name of Area	Size	Totals
GLA1	First Floor	2967.34	2967.34
POP	Porch	40.54	40.54
GAR	Garport	849.57	1306.75
	Garport	459.17	
OTH	Storage	94.50	
	Lower Level	835.08	
	Concrete Terrace	362.58	861.67

LIVING AREA CALCULATIONS			
Breakdown		Subtotals	
24.50	x 15.88		388.87
12.00	x 31.61		379.32
13.15	x 24.22		319.59
23.79	x 27.58		656.60
11.46	x 15.74		180.28
14.57	x 13.62		198.35
13.11	x 11.48		150.17
0.06	x 2.24		0.14
0.76	x 10.32		7.82
0.99	x 5.67		5.61
2.00	x 11.31		22.62
3.32	x 0.71		2.36
5.43	x 6.48		35.19
10.77	x 4.67		50.27
0.00	x 5.67		0.00
22.57	x 0.89		20.09
1.00	x 568.20		568.20

5589 200

UNIFORM RESIDENTIAL APPRAISAL REPORT

File No. _____

Comments on Cost Approach (such as, source of cost estimate, site value, square foot calculation and for HUD, VA and FmHA, the estimated remaining economic life of the property) The Highest and the Best Use of the Site is residential. The Subject Site was valued as derived by vacant residential site sales and extraction from improved sales in the Subject's general area. The Cost Approach was developed with help of Marshall Valuation Service. The physical depreciation was based on the age/life method and the observed condition of the improvements.

SALE VALUE = \$ 93,000

REPRODUCTION COST-NEW OF IMPROVEMENTS = \$ 370,875

2,967 Sq Ft. @ \$ 125.00 = \$ 76,725

1,023 Sq Ft. @ \$ 75.00 = \$ 50,000

Additional Features = \$ 65,450

Garage/Carport 1,309 Sq Ft. @ \$ 50.00 = \$ 50,000

Total Estimated Cost New = \$ 503,050

Physical Internal

Less Depreciation 56,500

Depreciated Value of Improvements = \$ 500,550

*As % Value of Site Improvements = \$ 445

INDICATED VALUE BY COST APPROACH = \$ 600,000

ITEM	SUBJECT	COMPARABLE NO 1	COMPARABLE NO 2	COMPARABLE NO 3
Lot No 2, Las Canelas Sector	No. 2, E Street, El Retiro Dev	Lot 1, Miradero Ward, Villa Ntu	Int of Km. 18 of SR #348, Carr	
Address	Hato Abajo Wd, Arecibo, PR	Zigma Dev, Mayaguez	Las Mesas Dev, Mayaguez	
Proximity to Subject	Competitive Development	Competitive Development	Competitive Development	
Sales Price	\$ NA	\$ 465,000	\$ 625,000	
Price/Gross Living Area	\$ 0	\$ 176.40	\$ 94.03	\$ 113.80
Data and/or Verification Source	Inspection	Clearing House Data	Clearing House Data	Fellow Appraiser
VALUE ADJUSTMENTS	DESCRIPTION	DESCRIPTION	DESCRIPTION	+ (-) \$ Adjust
Sales or Financing Concessions	None	None	None	
Date of Sale/Time	7/99	5/99	10/99	
Location	Average	Similar	Similar	
Leasehold/Ten Simple Site	No/Yes	Similar	Similar	
View	1,860 Sq Mts	2,200 SM	2,417 SM	12,605 SM - 25%
Design and Appeal	Panoramic	Similar	Similar	
Quality of Construction	Modern	Similar	Inferior - 10%	
Age	Good	Similar	Similar	
Condition	A7 5/ ES-7	1999	1970	1960
Below Grade	Good	New - 10%	Inferior - 10%	Inferior - 15%
Room Count	Total : Bdrms : Baths	Total : Bdrms : Baths	Total : Bdrms : Baths	Total : Bdrms : Baths
Gross Living Area	7 4 4	9 4 2.5	13 6 6	8 3 3
Basement & Finished	2,967 Sq Ft.	2,636 Sq Ft.	4,254 Sq Ft.	5,492 Sq Ft.
Rooms Below Grade	None	Similar	Similar	Similar
Functional Utility	Adequate	Similar	Similar	Similar
Heating/Cooling	Split & Wall A/C	Similar	Similar	Similar
Energy Efficient Items	None	Similar	Similar	Similar
Garage/Carport	4 Car Carport	2 Car Carport	2 Car Carport	2 Car Garage
Porch, Patio, Deck, Fireplace(s), etc.	Additional Features	Inferior	+30,000	Similar plus
Fence, Pool, etc.		+100,000	+50,000	Tennis Court
Net Adj. (total)		\$ 83,500	\$ 160,000	\$ 57,500
Adjusted Sales Price of Comparable		\$ 548,500	\$ 560,000	\$ 567,500

Comments on Sales Comparison (including the subject property's compatibility to the neighborhood, etc.) Adjustments were made in order to account for market recognized differences between the Subject Property and the Comparable Sales listed, which are the most recent transactions of similar type properties to the Subject to have taken place within alternate competitive localities of other Island Municipalities. The Comparable Sales listed provide adjusted sales price indications within a range of \$48,500.00 to \$67,500.00, having a mean of \$58,666.67, a midpoint of \$558,000.00 and a median of \$560,000.00, pointing towards a rounded market value figure in the \$560,000.00 level.

ITEM	SUBJECT	COMPARABLE NO 1	COMPARABLE NO 2	COMPARABLE NO 3
Date, Price and Data Source for prior sales within year of appraisal	None	None	None	None
Analysis of any current agreement of sale, option, or listing of subject property and analysis of any prior sales of subject and comparables within one year of the date of appraisal	None	None	None	None

This appraisal report will assist the client in a decision making process referent to the Subject Property

INDICATED VALUE BY SALES COMPARISON APPROACH

INDICATED VALUE BY INCOME APPROACH (If Applicable) Estimated Market Rent \$ N/A / Mo. x Gross Rent Multiplier NA = \$ 600,000.00

This appraisal is made "as is" subject to the repairs, alterations, inspections or conditions listed below subject to completion per plans & specifications

Conditions of Appraisal No liability is assumed for the structural or mechanical elements of the Subject structure and it is assumed, that it complies with the required construction codes.

Final Reconciliation The market value conclusion was based on the Sales Comparison Approach method of valuation

The purpose of this appraisal is to estimate the market value of the real property that is the subject of this report, based on the above conditions and the certificate, contingent and limiting conditions, and market value definition that are stated in the attached Freddie Mac Form 639/FMVA form 100-08 (Revised 6/93)

(I) WE ESTIMATE THE MARKET VALUE, AS DEFINED, OF THE REAL PROPERTY THAT IS THE SUBJECT OF THIS REPORT, AS OF January 20, 2000

APPRaiser: Josef J. Valero SUPERVISORY APPRAISER (ONLY IF REQUIRED)

Signature: _____ Date Report Signed: _____

Name: Josef J. Valero, MA, CRE, SRA State License # 16 (General) State PIR 577 Or State License # _____

Date Report Signed: February 18, 2000 State Certification # _____

Or State License # _____ State PIR _____ Or State License # _____

Did Did Not Inspect Property

ESTADO LIBRE ASOCIADO DE PUERTO RICO
TRIBUNAL DE PRIMERA INSTANCIA
CENTRO JUDICIAL DE ARECIBO
SALA SUPERIOR

BLANCA ROSA LÓPEZ PADIN
PETICIONARIO(A)

CIVIL NUM.: AR2021 CV00994

SALA: 401

EX PARTE

SOBRE:

**JOSÉ RAMÓN RUIZ LAGO T/C/C JOSÉ
RAMÓN RUIZ T/C/C JOSÉ R. RUIZ
LAGO Y COMO JOSÉ R. RUIZ
CAUSANTE**

DECLARATORIA DE HEREDEROS

RESOLUCIÓN

La parte peticionaria presentó ante este tribunal una solicitud de Declaratoria de Herederos, de conformidad a las disposiciones establecidas en el Artículo 552 del Código de Enjuiciamiento Civil (32 L.P.R.A.), según enmendado.

El causante, **José Ramón Ruiz Lago t/c/c José Ramón Ruiz t/c/c José R. Ruiz Lago y como José R. Ruiz**, falleció el 22 de diciembre de 2020, en Arecibo, Puerto Rico. Al momento de su muerte estaba casado con **Blanca Rosa López Padin**, con quien procreó tres hijos a saber:

1. **JOSÉ CHRISTIAN RUIZ LÓPEZ**, mayor de edad, quien nació en Arecibo, Puerto Rico el día 5 de diciembre de 1961.
2. **BLANCA LIZZETTE RUIZ LÓPEZ**, mayor de edad, quien nació en Arecibo, Puerto Rico el día 4 de abril de 1963.
3. **JOSÉ RAMÓN RUIZ LÓPEZ**, mayor de edad, quien nació en Río Piedras, Puerto Rico el día 3 de enero de 1972.

El causante no procreó, ni adoptó ningún otro hijo y dejó bienes sitos en Arecibo, Puerto Rico. Falleció intestado, según consta de la certificación negativa expedida por el Registro de Testamentos del Tribunal Supremo, y según el leal saber y entender de la parte peticionaria, por constarle por conocimiento personal y por haber hecho las investigaciones y registros correspondientes, sin encontrar nada.

En vista de lo anterior y evaluada la prueba, el tribunal declara **HA LUGAR** la petición de declaratoria de herederos del causante, **José Ramón Ruiz Lago t/c/c José Ramón Ruiz t/c/c José R. Ruiz Lago y como José R. Ruiz** y declara como únicos y universales herederos de éste a su esposa: **BLANCA ROSA LÓPEZ PADIN**; y a sus

RESOLUCIÓN

AR2021CV00994

PÁGINA 2 DE 2

hijos; **JOSÉ CHRISTIAN RUIZ LÓPEZ, BLANCA LIZZETTE RUIZ LÓPEZ y JOSÉ RAMÓN RUIZ LÓPEZ**, sin perjuicio de tercero, si alguno.

REGÍSTRESE Y NOTIFÍQUESE.

Dada en Arecibo, Puerto Rico, hoy 14 de octubre de 2021.

f/**JORGE F. RAÍCES ROMÁN**
JUEZ SUPERIOR

Instancia Ruiz Lago
(continuación)

3. Con esta Instancia se someten para su calificación e inscripción los siguientes documentos:

a) Copia Certificada de la Resolución sobre Declaratoria de Herederos dada en el Tribunal de Primera Instancia, Sala de Arecibo, en el caso Civil Número AP2021CV00004, Ex Parte, Blanca Rosa López Padín del 14 de octubre de 2021, siendo el causante **José Ramón Ruiz Lago también conocido por José Ramón Ruiz, José R. Ruiz Lago y José R. Ruiz.**

b) Certificación de Cancelación de Gravamen Contributivo por concepto de Herencia, dado por el Departamento de Hacienda del Estado Libre Asociado de Puerto Rico en relación con el causante **José Ramón Ruiz Lago también conocido por José Ramón Ruiz, José R. Ruiz Lago y José R. Ruiz** bajo el número de correspondencia L1794823744, con fecha 6 de julio de 2022.

c) Certificación Negativa de caso de pensión alimentaria expedida el 9 de septiembre de 2022 por la Administración para el Sustento de Menores en relación con el causante **José Ramón Ruiz Lago también conocido por José Ramón Ruiz, José R. Ruiz Lago y José R. Ruiz.**

En consecuencia de todo lo cual procede y se solicita la inscripción a título de herencia y en común proindiviso a favor de los referidos herederos en cuanto a la participación correspondiente al causante **José Ramón Ruiz Lago también conocido por José Ramón Ruiz, José R. Ruiz Lago y José R. Ruiz.**

En Hatillo para Arecibo, Puerto Rico, a 12 de septiembre de 2022.



OSCAR A. VEGA ARCE
RUA NÚM. 10091
PO BOX 821
CAMILU, PR 00627
oscarvega.ledo@hotmail.com





Fecha: **9/9/2022**

Date:

Nombre del solicitante: **JOSE R RUIZ LAGO**

Applicant's name:

Seguro Social: **xxx-xx-6402**

Social Security #:

Fecha de Nacimiento: **8/30/1938**

Date of Birth

CERTIFICACION NEGATIVA DE CASO DE PENSION ALIMENTARIA
NEGATIVE CERTIFICATE OF CHILD SUPPORT CASE

Se ha efectuado una búsqueda en nuestro sistema de manejo de casos y de la misma se desprende que, a la fecha de esta certificación:

A search in our case management system shows that, at the date of this certificate:

JOSE R RUIZ LAGO

no tiene caso de pensión alimentaria a través de la Administración para el Sustento de Menores.

does not have a child support case through the Administration for Child Support Enforcement.

La información incluida en este documento es válida por noventa (90) días a partir de la fecha de emisión.

The information included in this document is valid for ninety (90) days after the issuing date.

2022090920221208213748

PO BOX 70376, San Juan, PR 00936-8376 Tel. (787)767-1500 www.assume.pr.gov

Para validar la información contenida en este certificado, favor acceder a <https://servicioslinea.pr.gov/validacionelectronica/> To validate the information in this certificate, please access <https://servicioslinea.pr.gov/validacionelectronica/>

Boletín SC 6168
01 abr 18

Gobierno de Puerto Rico
DEPARTAMENTO DE HACIENDA
Área de Rentas Internas



2018 - Certificado de Cancelación de Gravamen Contributivo (Relajo de Herencia)

00007-1-7001
SUCESION DE JOSE RUIZ LAGO
PO BOX 140268
ARECIBO PR 00614-0268



Fecha:	06 julio 2022
ID de Contribuyente:	17182-92392
ID de Correspondencia:	L1794823744

Nombre del causante: JOSE R. RUIZ LAGO

Número de Seguro Social: XXX-XX-6402

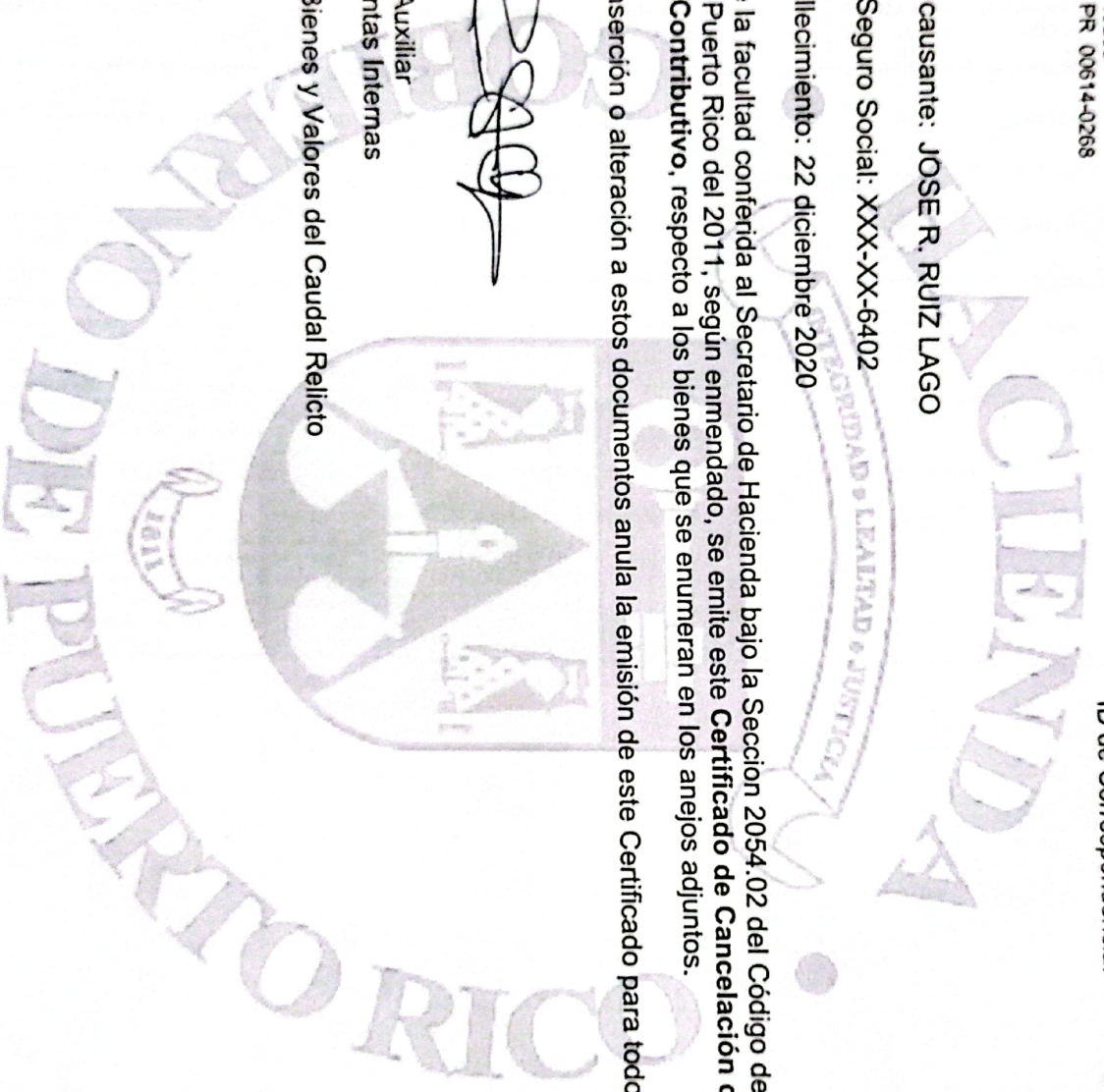
Fecha de fallecimiento: 22 diciembre 2020

En virtud de la facultad conferida al Secretario de Hacienda bajo la Sección 2054.02 del Código de Rentas Internas de Puerto Rico del 2011, según enmendado, se emite este **Certificado de Cancelación de Gravamen Contributivo**, respecto a los bienes que se enumeran en los anejos adjuntos.

Cualquier inserción o alteración a estos documentos anula la emisión de este Certificado para todos los efectos.

Secretaria Auxiliar
Área de Rentas Internas

Anejos(s): Bienes y Valores del Caudal Relicto

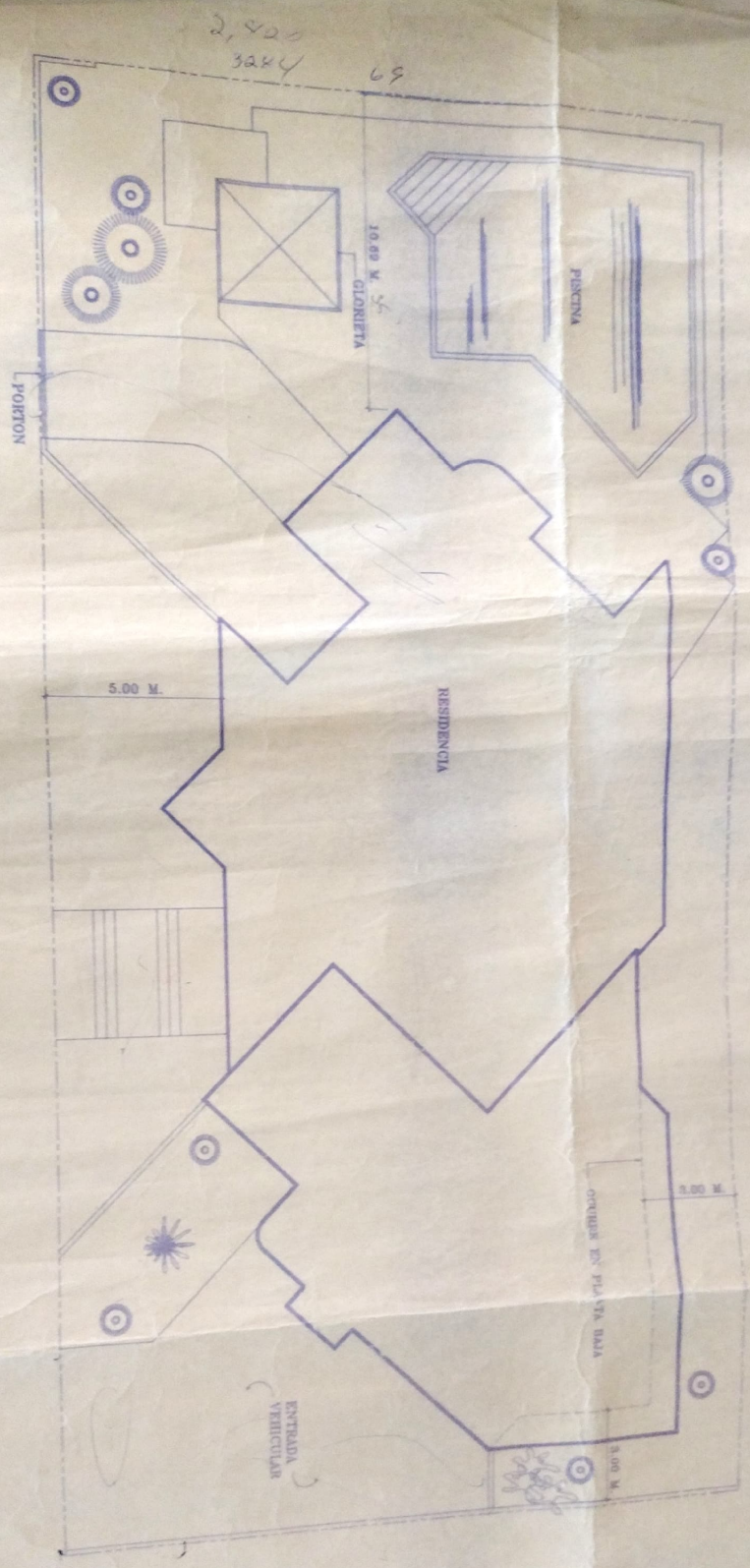


Anejo A: Caudal Relicto

Núm. partida	Tipo de propiedad	Descripción de la propiedad	Indique cómo el causante adquirió la propiedad	Número de identificación (ej.: catastro, cuenta)	Propiedad localizada en Puerto Rico Sí (S) o No (N)	Privativo (P) o Ganancial (G)	Porcentaje de participación del causante	Indique la base de la propiedad en las manos del causante
1	B - Efectivo, incluyendo efectivo en bancos y cuentas en casas de corretaje	Cuenta acciones en Cooperativa Penfed Credit Union	O - Otros	5945990017	Sí	Privativa	100.00	\$5.00
2	B - Efectivo, incluyendo efectivo en bancos y cuentas en casas de corretaje	Cuenta bancaria en cooperativa Penfed Credit Union	O - Otros	8010372020	Sí	Privativa	100.00	\$1,685.85
3	A - Bienes raíces	Rústica: Solar localizado en Barrio Hato Abajo de Arecibo compuesta de mil doscientos cuarenta y tres punto cincuenta y cuatro (1,243.54) metros cuadrados. En lindes por el norte con Luis Irizarry, por el sur con Blanca L. Ruiz López, por el este con Sucn. Román y por el oeste con calle municipal existente, según el plano de segregación. Inscrita al Folio 45, Tomo 953, Finca 41,708 de Arecibo. Enclava edificio residencial de concreto y bloques.	C - Compraventa	01108937987001	Sí	Ganancial	50.00	\$375,000.00
4	A - Bienes raíces	Solar localizado en Bo Hato Abajo de Arecibo Puerto Rico compuesto de dos mil ciento veinte y cuatro punto siete mil seiscientos cincuenta y seis (2,124.7656) metros cuadrados. En lindes por el norte con Josué Santiago Ramos y Noreen González Marichal y calle dedicada a uso municipal, por el sur con Suseción José Román, por el este con Sucesión de José Román y por el oeste con Víctor Román. Inscrita al Folio 247, Tomo 294, Finca 12,975 de Arecibo.	C - Compraventa	01108937990000	Sí	Ganancial	50.00	\$149,000.00
0							0.00	\$0.00

PROYECTO

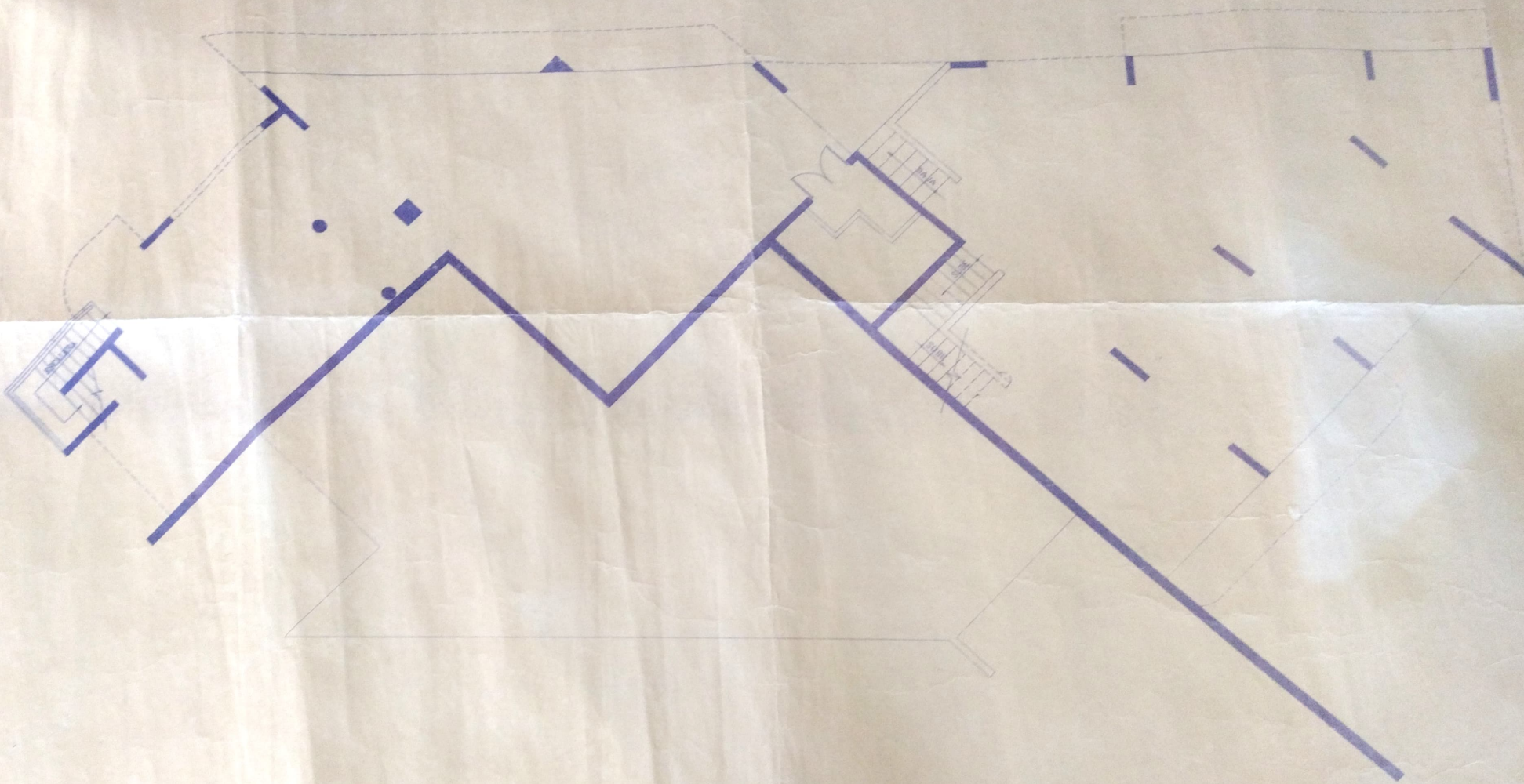
RES. SR. Y SRA. RAMON RUIZ



PIANO DE SITUACION
ESCALA 1/8"=1'-0"

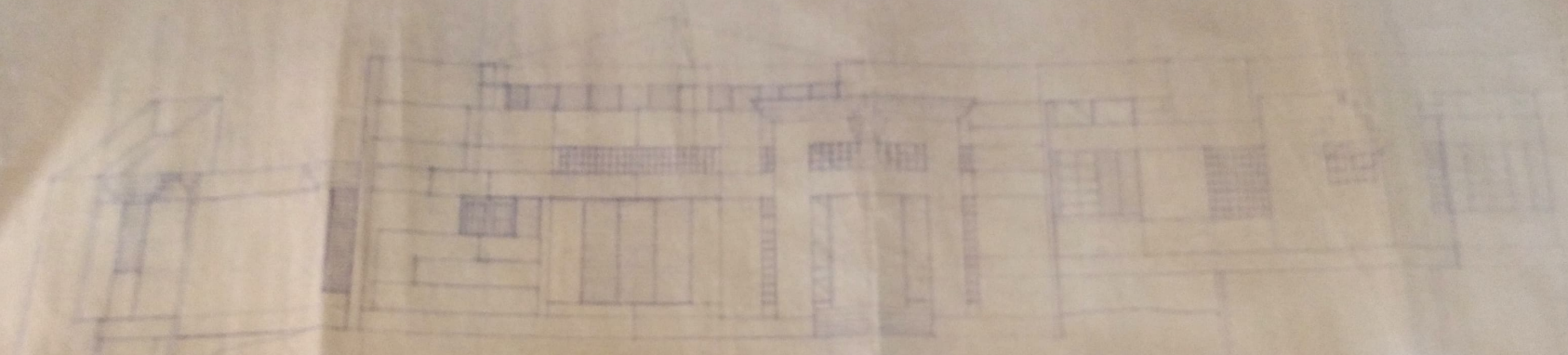
CALLE

ARQUIT

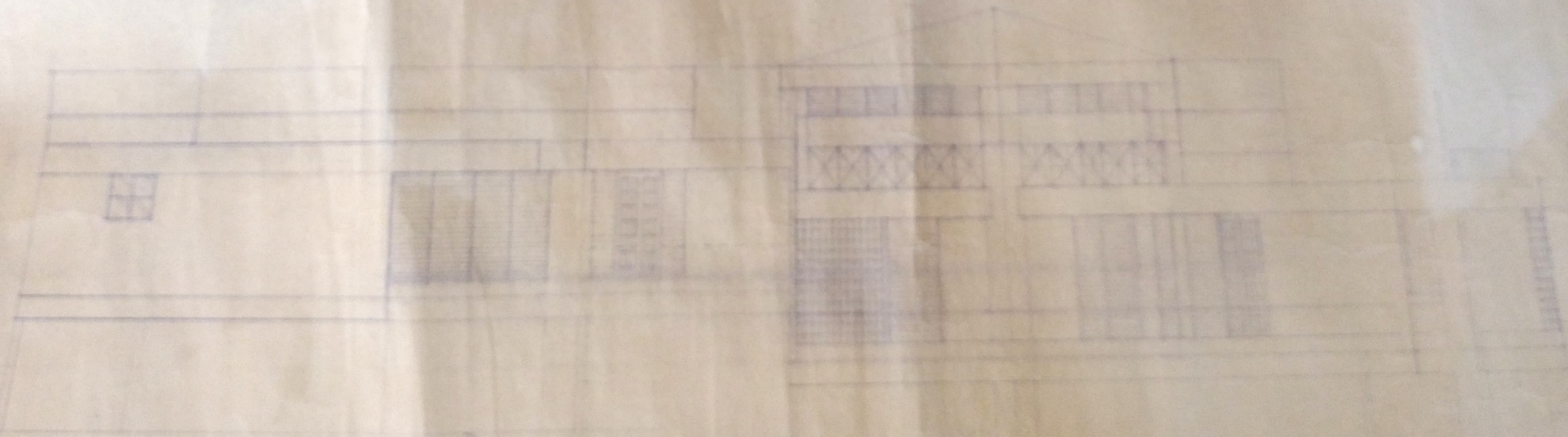


PLANTA NIVEL BAJO

OFICINA ARQUITECTURA	Nombre del proyecto	RESERVA Y SEA MANSION GOLF
	Etiqueta de obra	PLANTA NIVEL BAJO
	Escala	1:100
	Fecha	15/05/2010



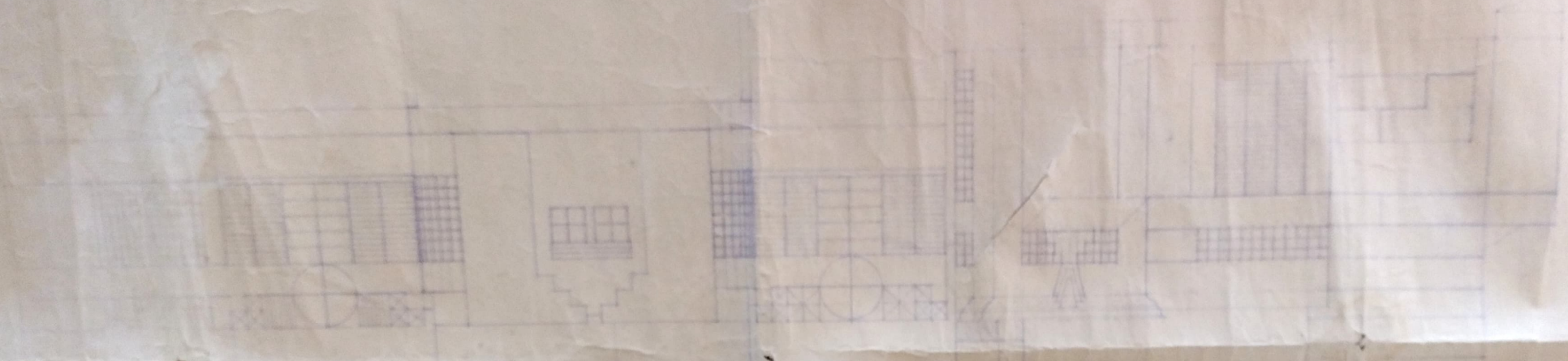
LEVANTAMIENTO DEL CRUCE (TRINCHERA)



LEVANTAMIENTO DEL ESTE (HOTEL)

COPIA
- NO PARA
CONSTRUCION

ELEVATION OF THE SITE



ELEVATION OF THE SITE

