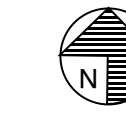


**GENERAL NOTES**

- SEE DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL GENERAL AND SPECIFIC REQUIREMENTS.
- DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS ONLY. IF CLARIFICATION OR ADDITIONAL DIMENSIONS ARE REQUIRED, NOTIFY THE ARCHITECT IMMEDIATELY, FOR WRITTEN CLARIFICATION.
- EACH CONTRACTOR SHALL CAREFULLY EXAMINE DRAWINGS AND SITE PRIOR TO BIDDING TO ASCERTAIN EXTENT OF DEMOLITION AND NEW CONSTRUCTION REQUIRED. EXISTING CONDITIONS ARE SHOWN BASED ON ORIGINAL DRAWINGS AND FIELD OBSERVATIONS AND MAY VARY. ANY DISCREPANCIES FOUND IN THE DRAWINGS OR EXISTING CONDITIONS ARE TO BE REPORTED TO ARCHITECTURAL DESIGNS, INC. IMMEDIATELY. ALL DISCREPANCIES WILL BE CLARIFIED BY WRITTEN ADDENDUM.
- IT SHOULD BE UNDERSTOOD BY ALL CONTRACTORS THAT THE OLD CONSTRUCTION MAY NOT BE COMPLETELY SQUARE, PLUMB OR TRUE, AND THAT ALL DIMENSIONS SHALL BE FIELD-VERIFIED AND ADJUSTED AS REQUIRED. FAILURE TO DO SO WILL IN NO WAY RELIEVE CONTRACTOR OF COMPLETING HIS WORK ACCORDING TO THE TRUE INTENT AND MEANING OF THE DRAWINGS AND SPECIFICATIONS AT NO ADDITIONAL COST. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- ALL REQUESTS FOR INFORMATION, INTERPRETATION, INTENT, ETC. MUST BE MADE AT LEAST (10) DAYS PRIOR TO BID DUE DATE. RESPONSES WILL BE CONFIRMED IN WRITING. ARCHITECTURAL DESIGNS, INC. WILL NOT BE RESPONSIBLE FOR ANY VERBAL INFORMATION.
- VERIFY ALL DIMENSIONS AND UTILITY REQUIREMENTS OF ALL EQUIPMENT SUPPLIED BY OWNER PRIOR TO CONSTRUCTION RELATED TO THE PLACEMENT OF THE OWNERS EQUIPMENT. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME KNOWLEDGEABLE OF THE CONSTRUCTION REQUIREMENTS OF THE OWNER AND/OR OPERATOR. ALL CONDITIONS RELATIVE TO THE CONTRACTOR COMPLETING WORK WITHIN THE BUILDING AND TIME FRAME MUST BE ADHERED TO.
- ALL WORK IS TO BE COMPLETED USING GOOD AND ACCEPTABLE CONSTRUCTION PRACTICES AND QUALITY MATERIALS. IF MATERIALS ARE NOT SPECIFIED AND SPECIFICS ARE REQUIRED, THE CONTRACTOR MAY SUGGEST MATERIALS TO THE OWNER AND THE ARCHITECT FOR THEIR REVIEW AND APPROVAL. THE ARCHITECT HAS THE RIGHT AND THE RESPONSIBILITY TO REJECT WORK OR MATERIALS THAT DO NOT CONFORM TO THE INTENT OF THE PROJECT OR ARE NOT ACCEPTABLE QUALITY.
- CONTRACTOR'S WORK SHALL CONFORM TO ALL APPLICABLE CODES AND GOVERNING AUTHORITIES.
- CONTRACTORS SHALL FURNISH AND INSTALL ALL MATERIALS INCLUDED WITHIN THE LIMITS OF THEIR CONTRACT. INCLUDE ALL LABOR TAXES, PERMIT FEES, MATERIALS, BLOCKING, EQUIPMENT, AND/OR ITEMS REQUIRED FOR THEIR COMPLETION.
- EACH CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WORK WITH THE OWNER/ CONSTRUCTION MANAGER AND OTHER CONTRACTORS. WORK BY ANOTHER CONTRACTOR WHICH WOULD CHANGE OR ALTER WORK OF THE CONTRACTOR IN ANY WAY OR WHICH WOULD PREVENT THE CONTRACTOR FROM COMPLETING HIS WORK ACCORDING TO THE PLANS AND SPECIFICATIONS MUST BE REPORTED IMMEDIATELY TO THE ARCHITECT.
- CONTRACTORS SHALL PROVIDE SHOP DRAWINGS, MATERIAL SAMPLES, RELEVANT TECHNICAL DATA, FINISH SAMPLES, CATALOG CUTS, ETC. FOR ARCHITECT'S REVIEW AND ACTION PRIOR TO COMMENCEMENT OF WORK. SUBMITTALS TO INCLUDE BUT ARE NOT LIMITED TO CABINETS, SIGNAGE, DOORS, HARDWARE, STEEL, ETC., ETC.
- CONTRACTORS SHALL COORDINATE THEIR SCHEDULES WITH THE OWNER.
- CONTRACTORS SHALL BE RESPONSIBLE FOR CLEANING UP AFTER THEMSELVES DAILY.
- CONTRACTORS SHALL TAKE CARE NOT TO DAMAGE EXISTING CONSTRUCTION AND SHALL BE RESPONSIBLE FOR PORTIONS DAMAGED DURING CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL PROVIDE ADEQUATE, NECESSARY AND REQUIRED BARRICADES, FENCES AND SAFETY PRECAUTIONS FOR THE GENERAL PUBLIC'S SAFETY NEAR THE SITE. GENERAL CONTRACTOR TO PROVIDE TEMPORARY BARRICADES (AND DUST BARRIERS) AS REQUIRED BY THE OWNER OR THE JOB CONDITIONS.
- FIRE EXTINGUISHER(S) ARE TO BE PROVIDED AND LOCATED BY GENERAL CONTRACTOR AS REQUIRED BY CODE.
- ALL CONTRACTORS SHALL GUARANTEE ALL THEIR WORK UNDER CONTRACT AGAINST DEFECTIVE WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE (1) YEAR AFTER DATE OF SUBSTANTIAL COMPLETION OF CONTRACT.
- ALL CONTRACTORS SHALL PROVIDE ALL NECESSARY INSURANCE, PROGRESS SCHEDULES, PERMITS, AND OTHER PROVISIONS REQUIRED IN ACCORDANCE WITH AIA GENERAL CONDITION OF THE CONTRACT FOR CONSTRUCTION A201 AND AS REQUIRED BY OWNER.
- ARCHITECTURAL DESIGNS, INC. AND/OR OWNER SHALL HAVE THE RIGHT TO MAKE CHANGES DURING THE PROGRESS OF WORK WITHOUT VOIDING CONTRACTS. ALL CHANGES MUST BE MADE BY WRITTEN CHANGE ORDER.
- EACH CONTRACTOR MUST COMPLY FULLY WITH OSHA REGULATIONS FOR CONSTRUCTION.
- OWNER SHALL FURNISH TEMPORARY SANITARY FACILITIES, WATER, AND ELECTRICAL. GENERAL CONTRACTOR SHALL MAINTAIN THE SAME TO BE IN GOOD WORKING ORDER.
- ALL PLUMBING, HVAC, AND ELECTRICAL WORK SHALL BE COMPLETED AS A "DESIGN/BUILD" PROCESS. THESE CONTRACTORS SHALL PROVIDE ALL DESIGN DRAWINGS, CALCULATIONS, FEES, ETC. TO SECURE ALL REQUIRED PERMITS. THEY SHALL BE RESPONSIBLE FOR ALL EQUIPMENT, MATERIALS, LABOR, ETC. TO COMPLETE THEIR WORK AS SHOWN ON THEIR DRAWINGS AND AS NOTED ON ARCHITECTURAL DRAWINGS. ALLOW FOR THE COST OF COORDINATION WITH OTHER TRADES. ALL WORK SHALL MEET ALL STATE AND LOCAL CODES, ETC.



**LOCATION MAP**

NO SCALE

5712 W. BIG PORTAGE LAKE RD.  
TOWN OF LAND O' LAKES, WI 54540  
PROJECT #2020.38



ARCHITECTURAL DESIGNS INC.  
7429 ROOSEVELT RD.  
TOWN OF ERIN, WI 53027

TELE: 1-414-315-4156

EMAIL: gene@architecturaldesignsinc.com

WEBSITE: architecturaldesignsinc.com

M&J POKORNY RESIDENCE  
NEW RESIDENCE  
5712 W. BIG PORTAGE LAKE RD.  
TOWN OF LAND O' LAKES, WI 54540  
PROJECT #2020.38

**PROJECT**

**M&J POKORNY RESIDENCE**  
NEW RESIDENCE  
5712 W. BIG PORTAGE LAKE RD  
TOWN OF LAND O' LAKES, WI 54540  
PROJECT #: 2020.38

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- A3 PROPOSED SECOND FLOOR PLAN @ 1/4" = 1'-0" SCALE & CABINETS DETAILS
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**ARCHITECT**

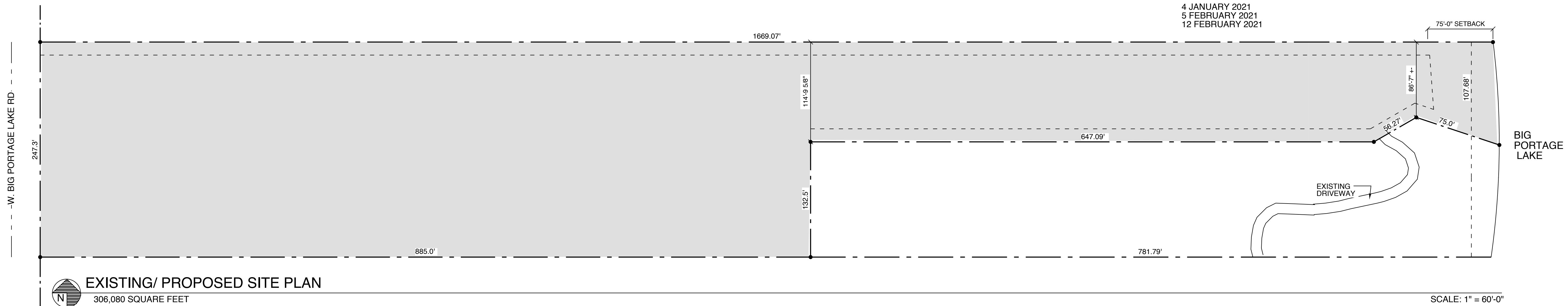
GENE EGGERT ARCHITECT

**DATE**

11 DECEMBER 2020

**REVISIONS:**

- 4 JANUARY 2021
- 5 FEBRUARY 2021
- 12 FEBRUARY 2021



**EXISTING/ PROPOSED SITE PLAN**  
306,080 SQUARE FEET

SCALE: 1" = 60'-0"

**CONSTRUCTION CLASSIFICATION**

CONSTRUCTION TYPE: WOOD FRAME

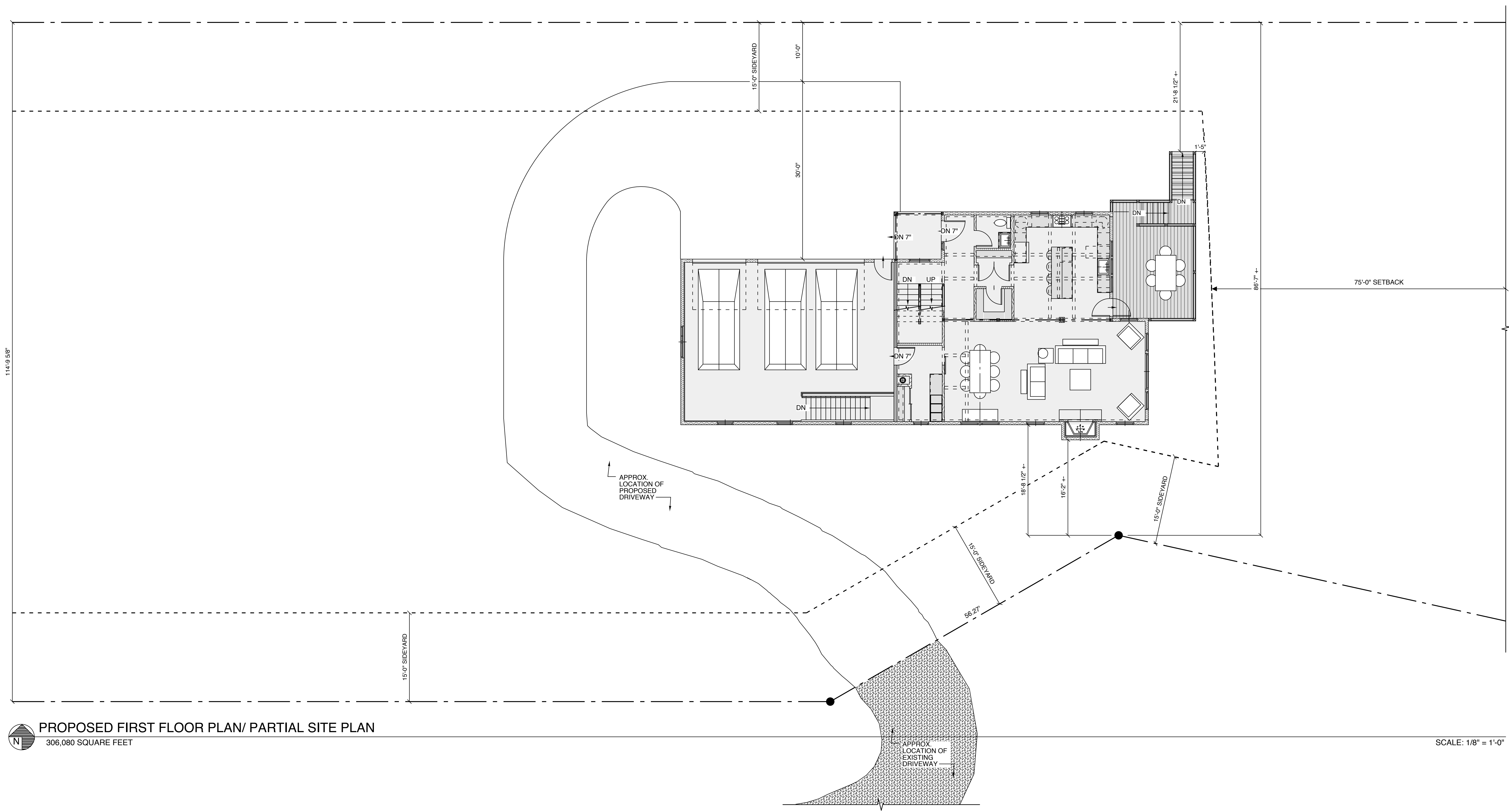
OCCUPANCY TYPE: SINGLE-FAMILY RESIDENTIAL

ZONING:

**T1**

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Revisions
4 JANUARY 2021
5 FEBRUARY 2021
12 FEBRUARY 2021



**PROPOSED FIRST FLOOR PLAN/ PARTIAL SITE PLAN**  
 306,080 SQUARE FEET

SCALE: 1/8" = 1'-0"



**M&J POKORNY RESIDENCE**  
 NEW RESIDENCE  
 5712 W. BIG PORTAGE LAKE RD  
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 ARCHITECTURAL DESIGNS, INC. 7429 ROOSEVELT RD. TOWN OF ERIN, WI 53027 P. 414-315-4156 EMAIL: gene@architecturaldesignsinc.com WEBSITE: architecturaldesignsinc.com

Sheet Title  
 PROPOSED FIRST FLOOR PLAN/  
 PARTIAL SITE PLAN  
 @ 1/8" = 1'-0"  
 SCALE

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 GENE EGGERT  
 Date  
 12 DECEMBER 2020  
 Job Number  
 2020.38

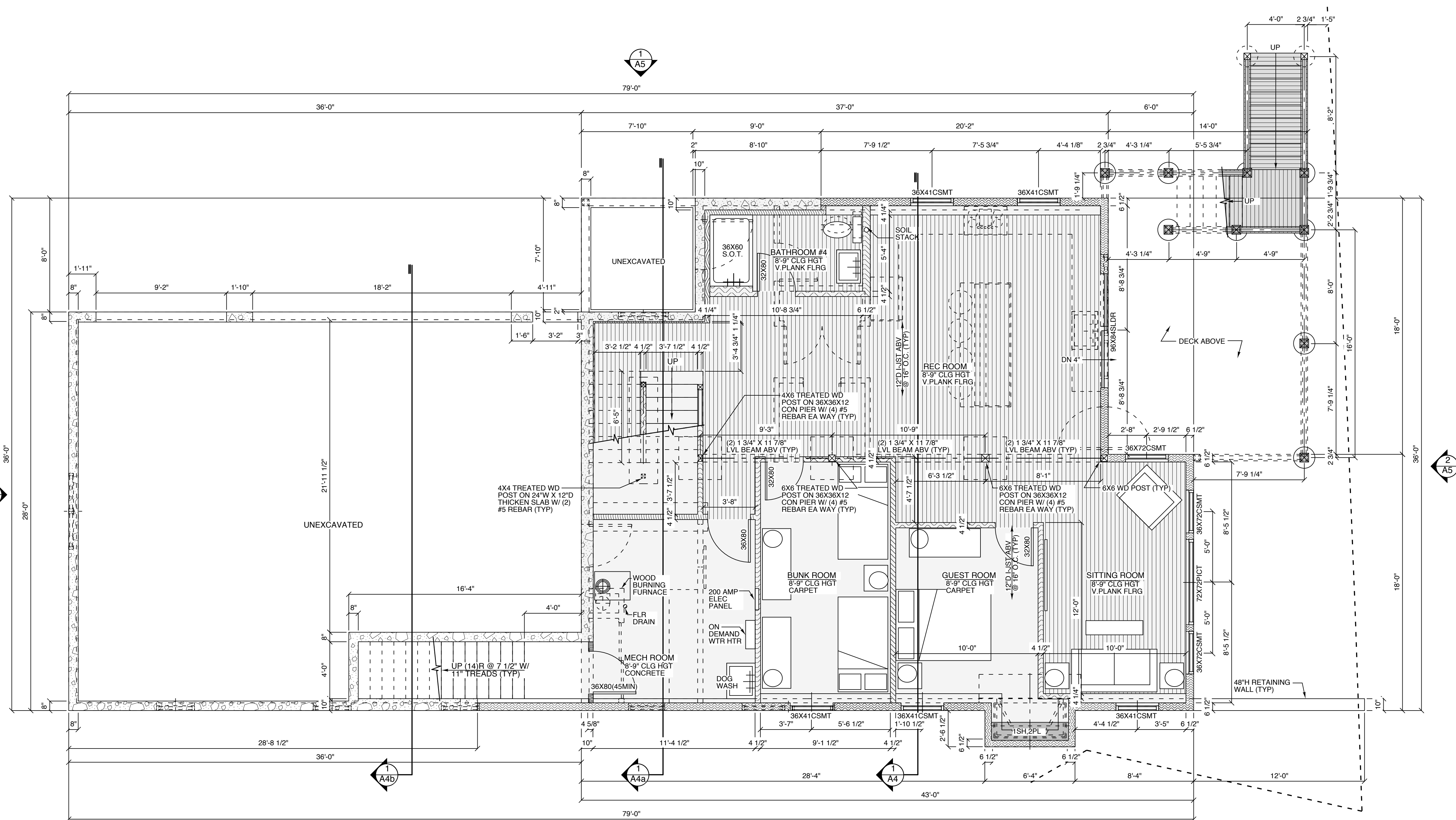
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**Revisions**

4 JANUARY 2021
5 FEBRUARY 2021
12 FEBRUARY 2021



**PROPOSED LOWER LEVEL FLOOR PLAN**  
 1,392SF LIVABLE  
 SCALE: 1/4" = 1'-0"

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 PROPOSED LOWER LEVEL FLOOR PLAN  
 @ 1/4" = 1'-0"

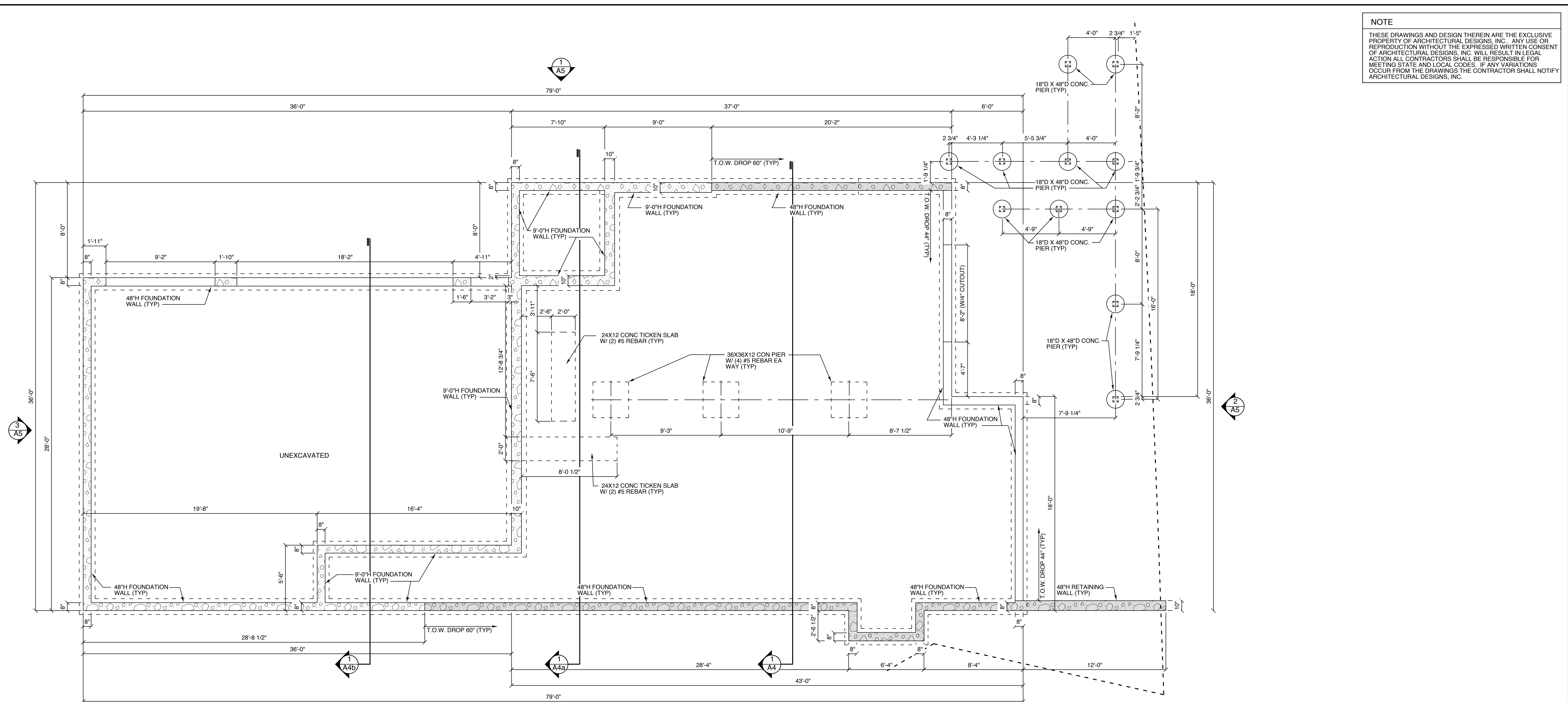
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 Job Number  
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**Revisions**

12 FEBRUARY 2021
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**PROPOSED FOUNDATION PLAN**  
 SCALE: 1/4" = 1'-0"

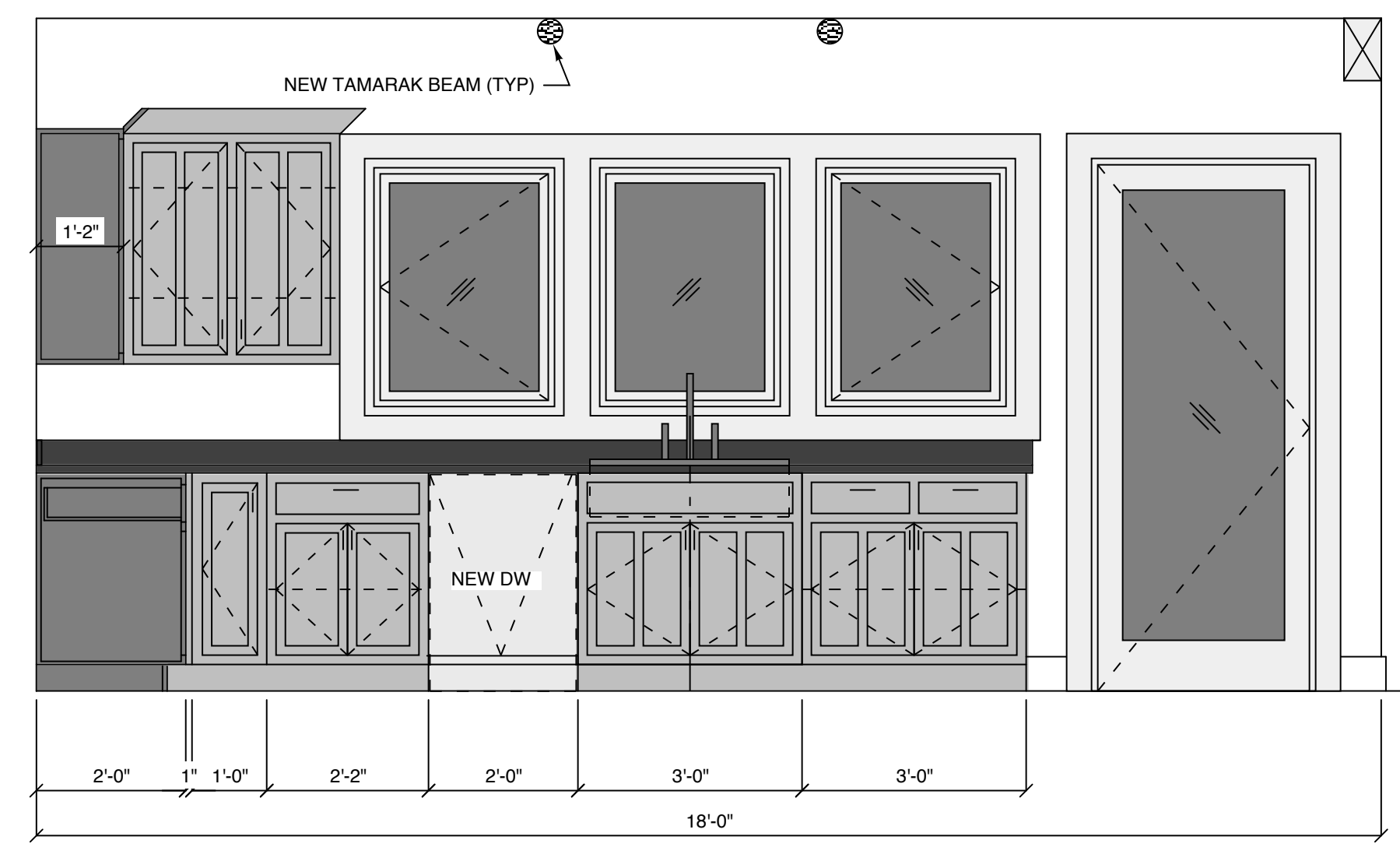
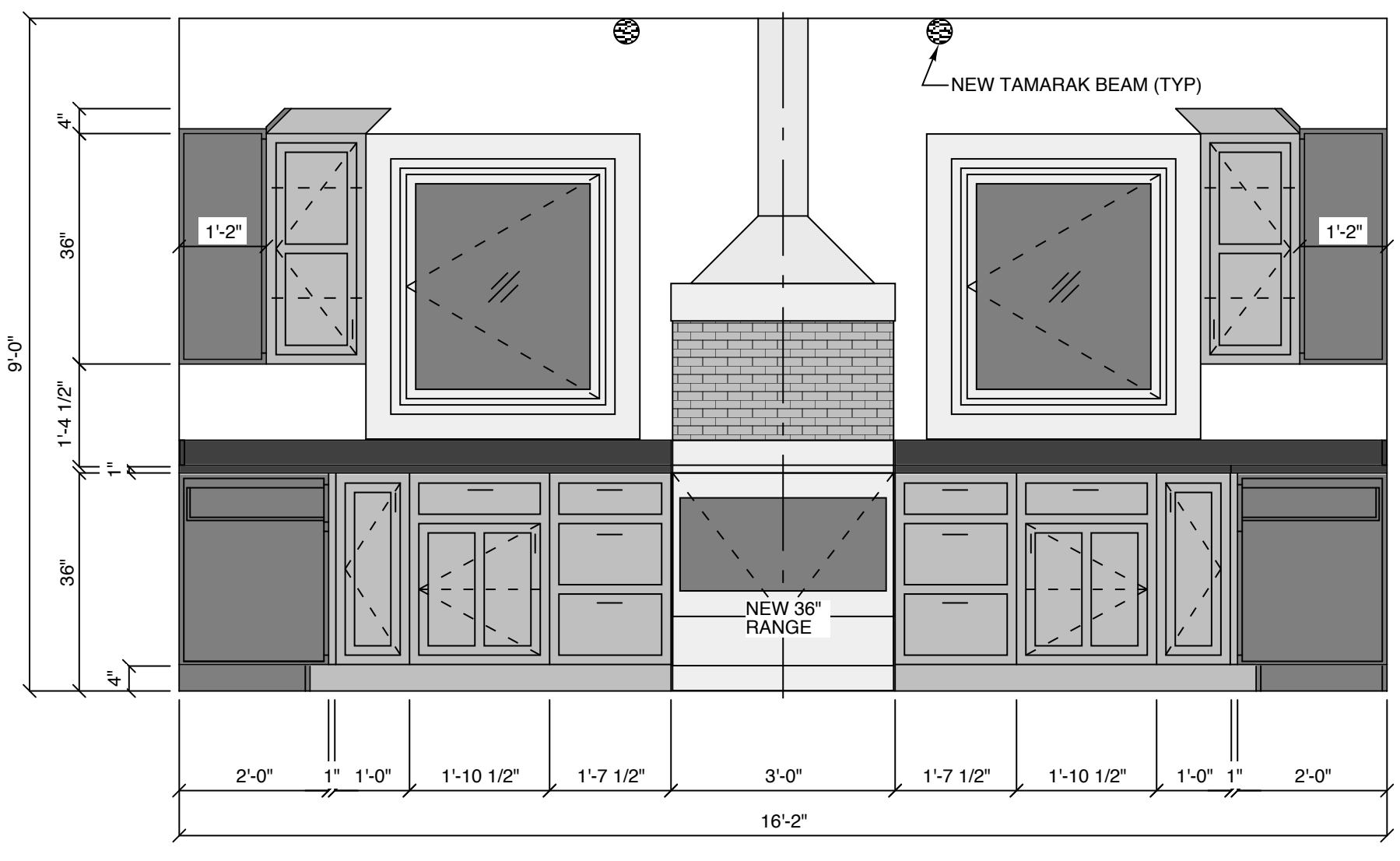
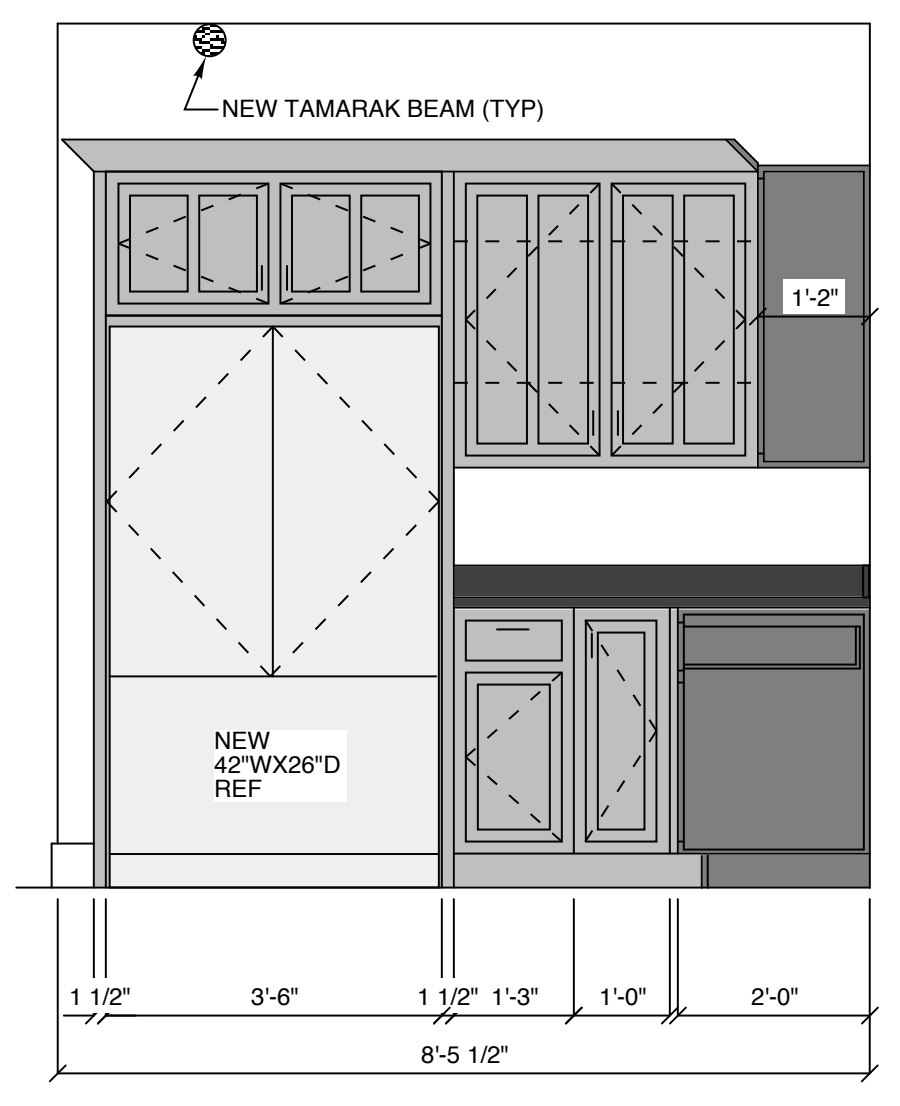
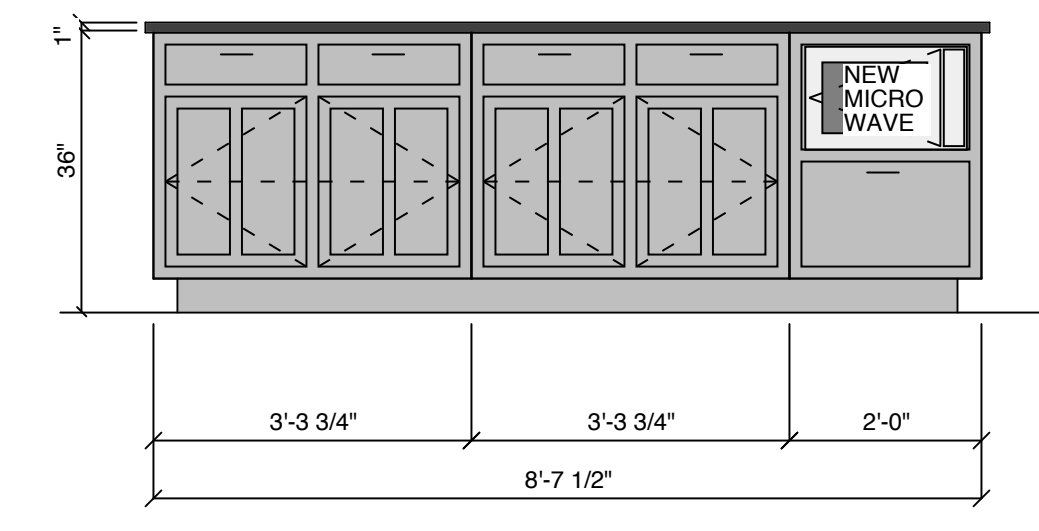
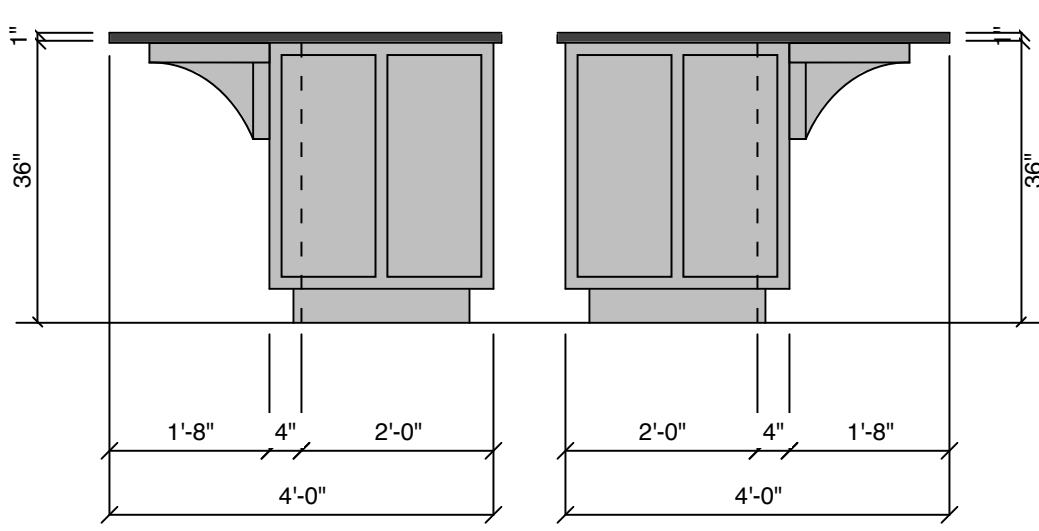
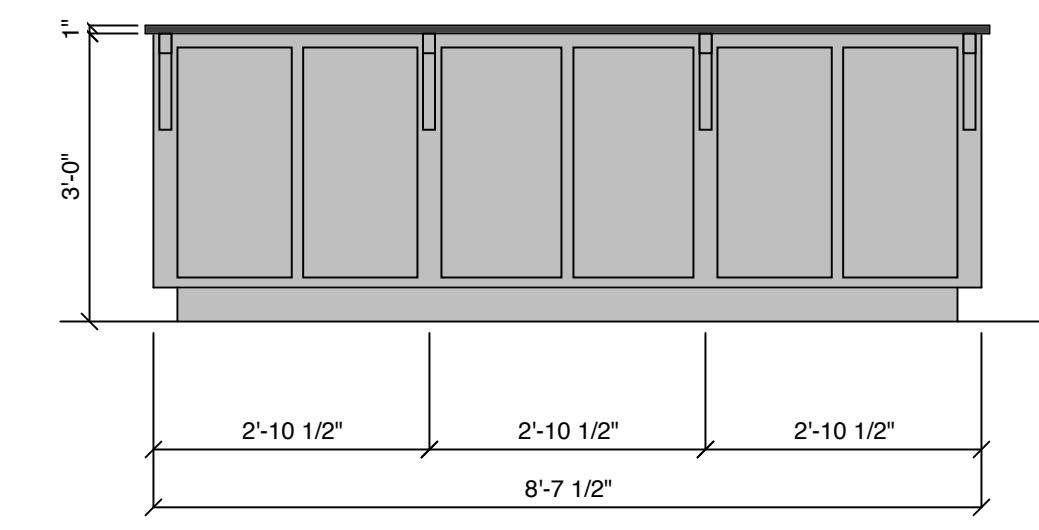
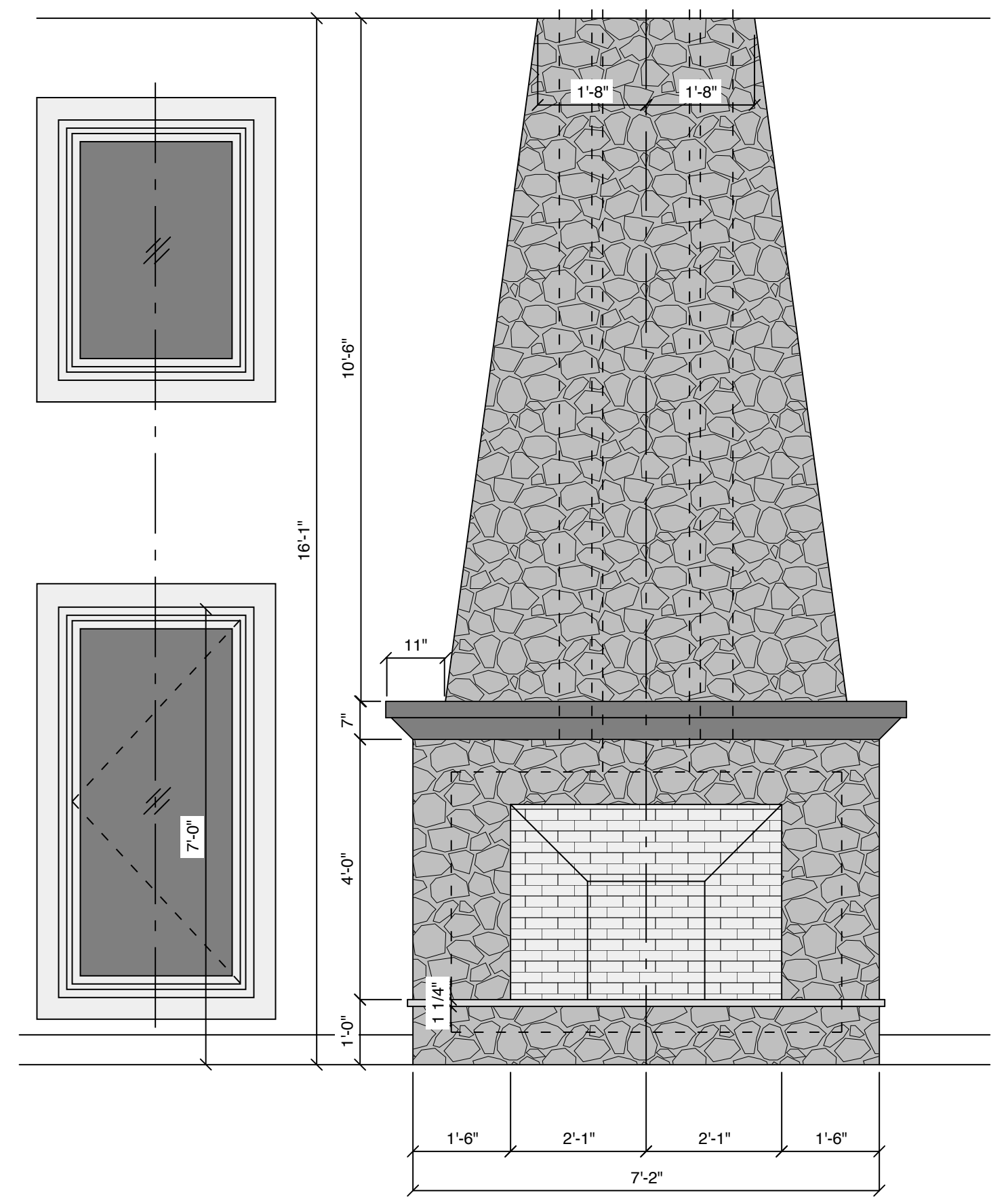
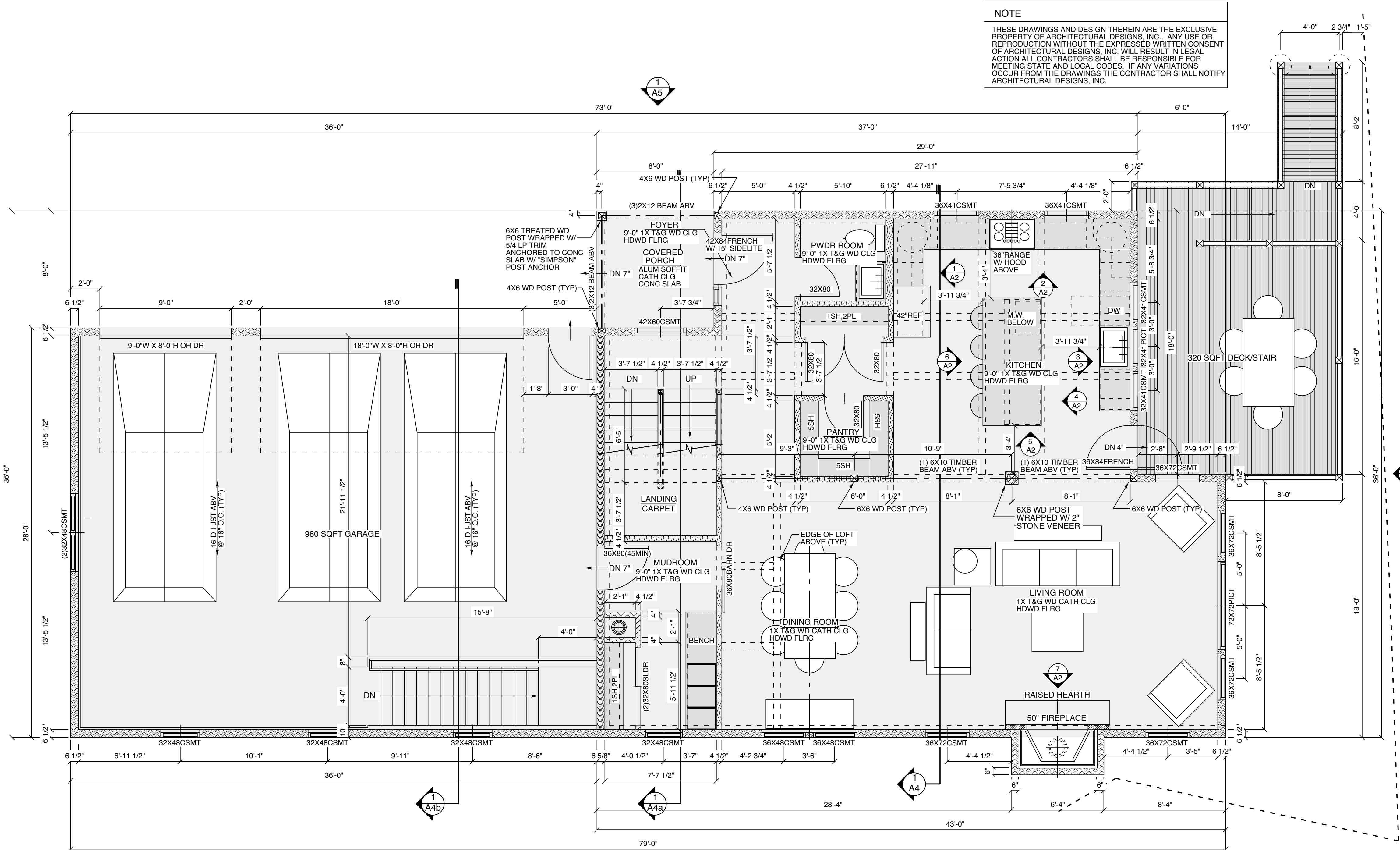
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**ABa**



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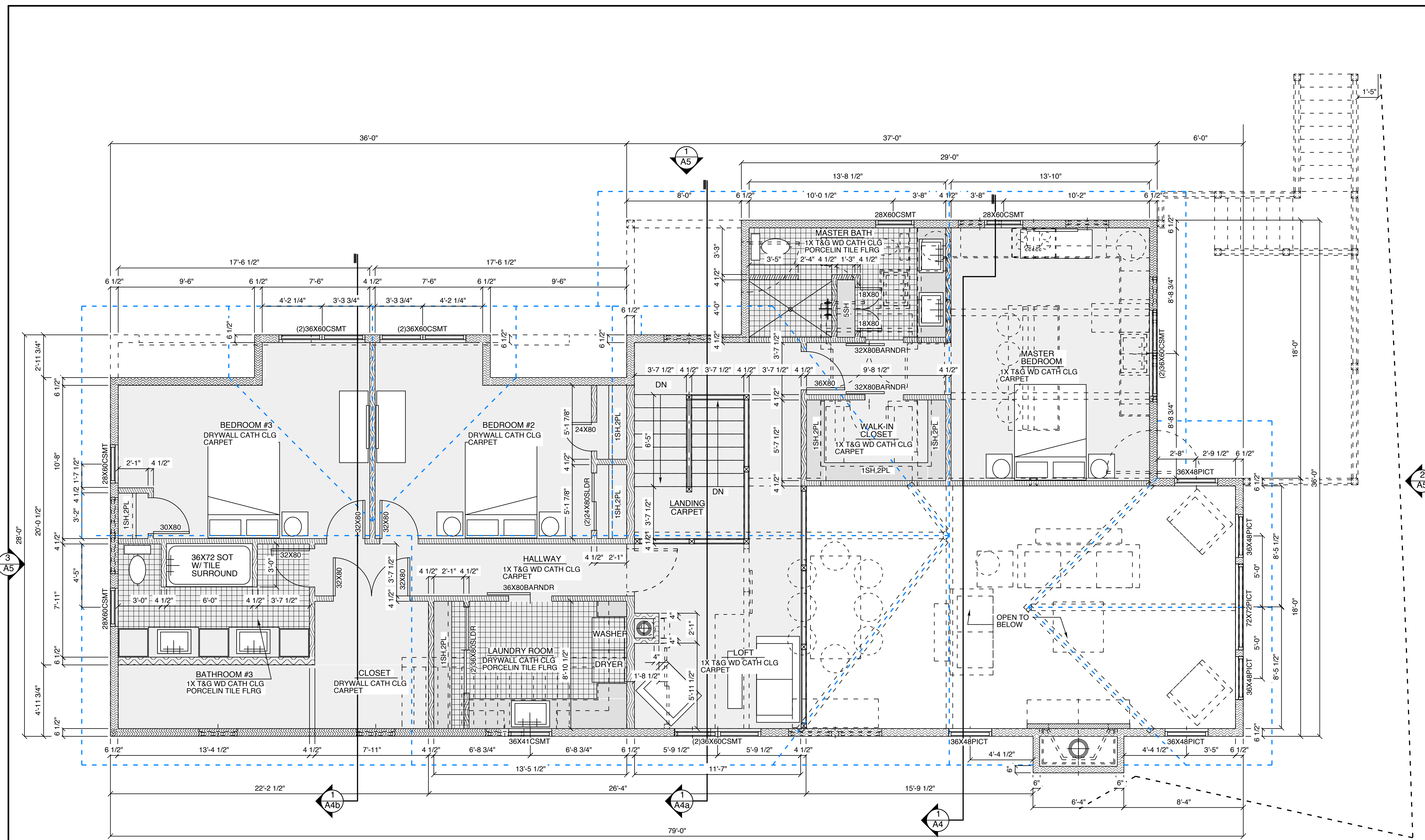




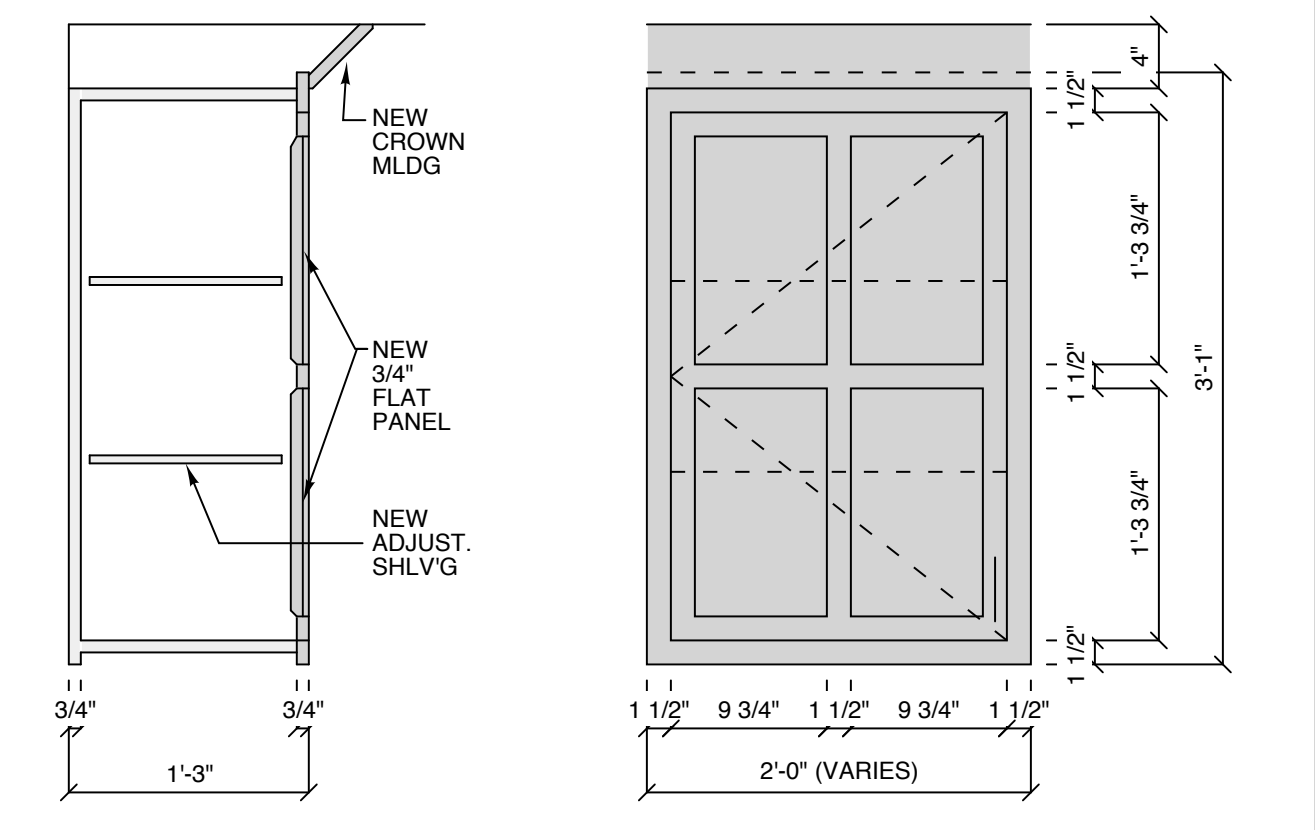
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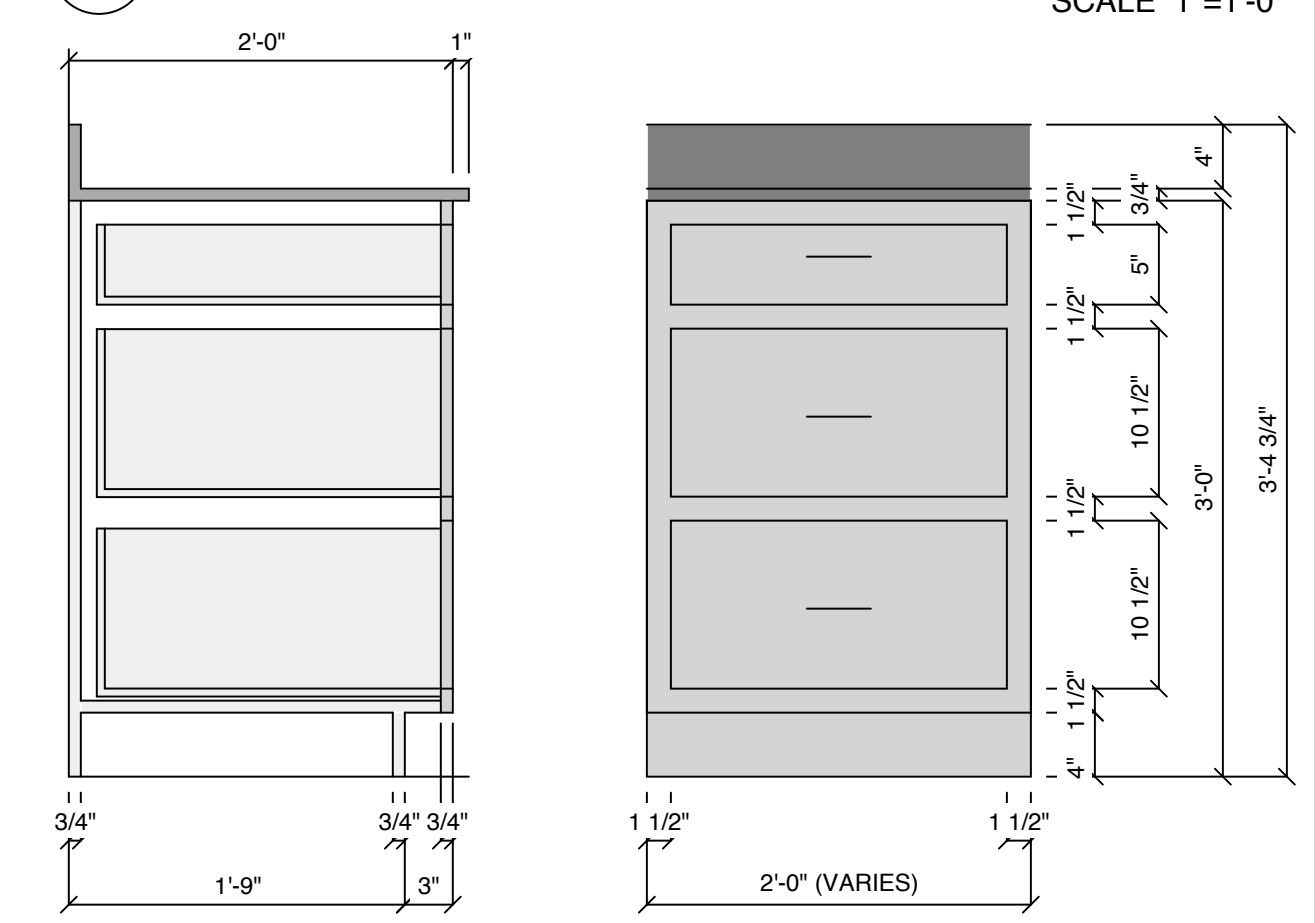
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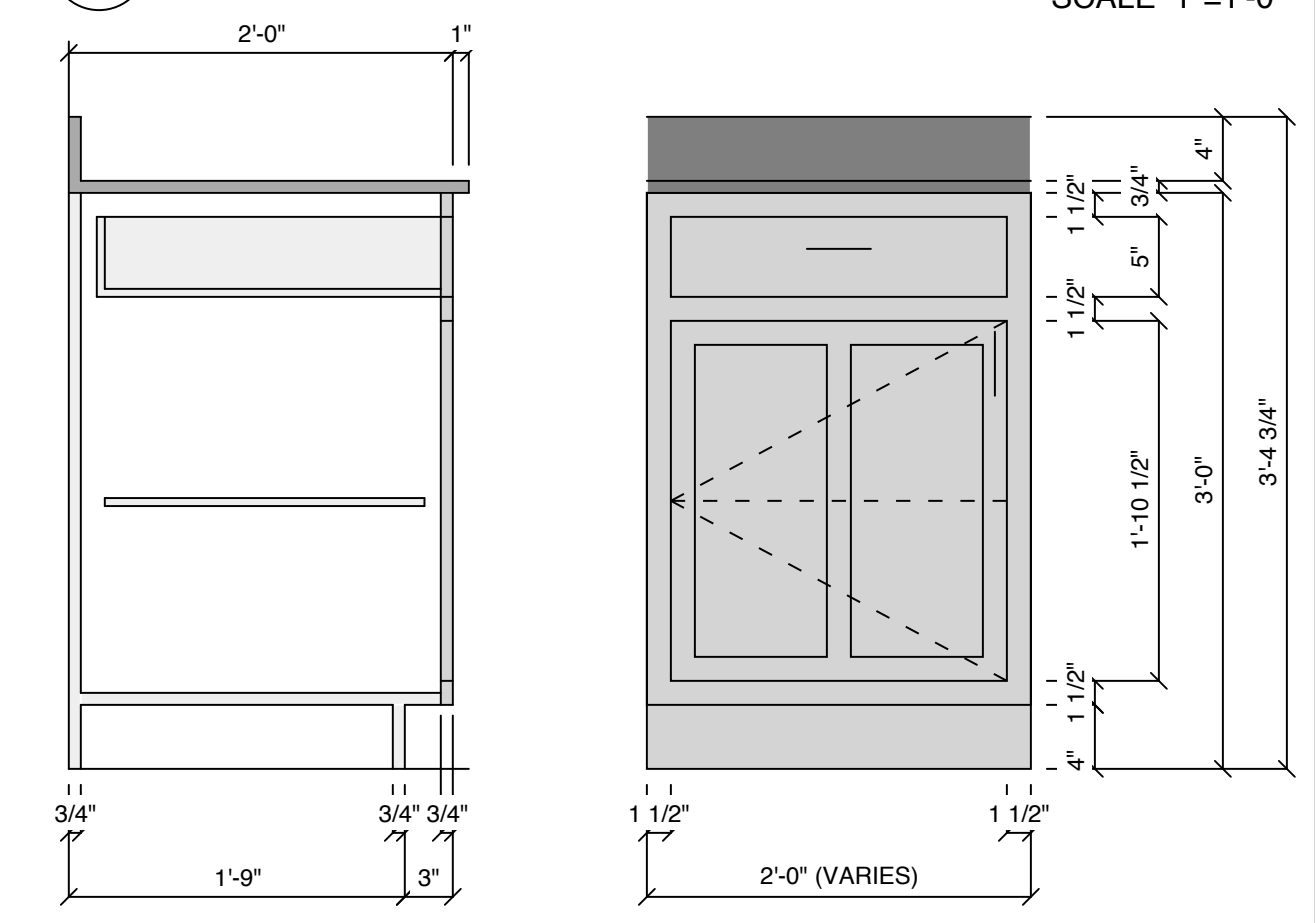
**PROPOSED SECOND FLOOR PLAN**  
 1,787 SQUARE FEET LIVING SPACE SCALE: 1/4" = 1'-0"



**6 TYPICAL WALL CAB. SECTION & ELEV.**  
 SCALE 1"=1'-0"



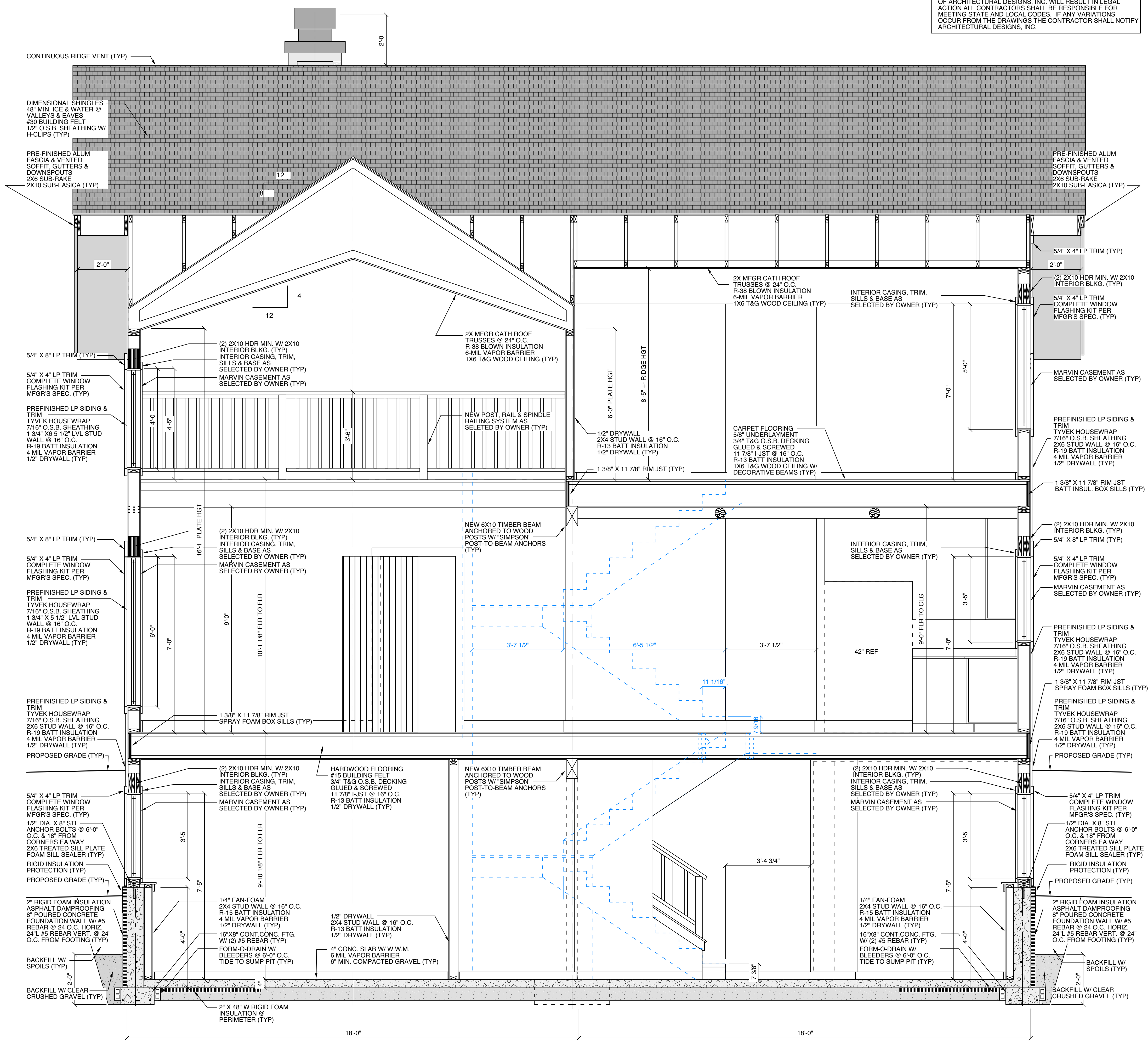
**7 TYPICAL DRAWER SECTION & ELEV.**  
 SCALE 1"=1'-0"



**8 TYPICAL DOOR SECTION & ELEV.**  
 SCALE 1"=1'-0"



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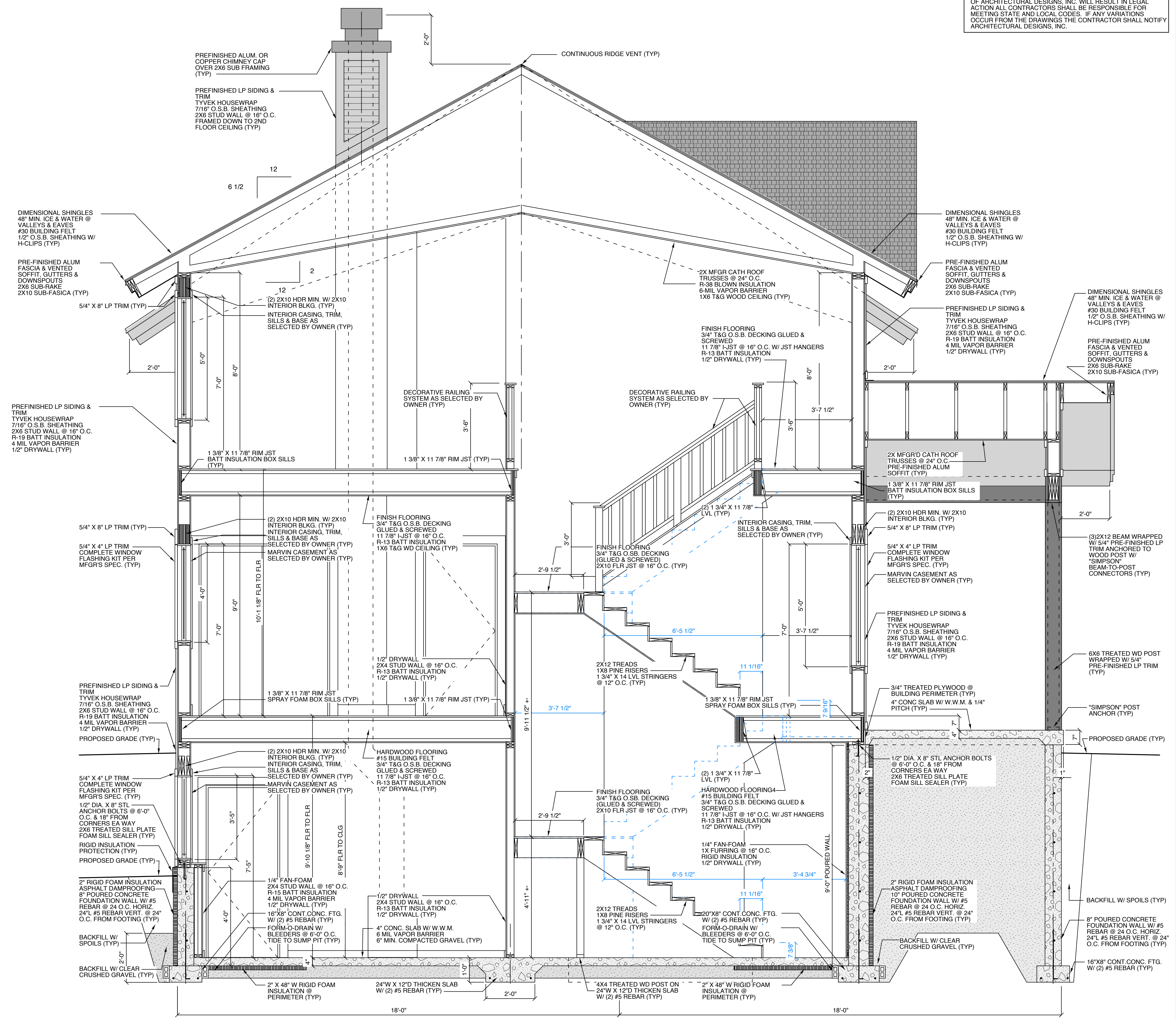


1 PROPOSED SOUTH TO NORTH BUILDING SECTION @ LIVING ROOM, KITCHEN & MASTER BEDROOM

SCALE: 1/2" = 1'-0"



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1 PROPOSED SOUTH TO NORTH BUILDING SECTION @ STAIRWELL

SCALE: 1/2" = 1'-0"

Revisions

ARCHITECTURAL DESIGNS, INC.

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 5712 W. BIG PORTAGE LAKE RD  
 TOWN OF LAND O' LAKES, WI 54540  
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Sheet Title  
 PROPOSED SOUTH TO NORTH  
 BUILDING SECTION  
 @ STAIRWELL

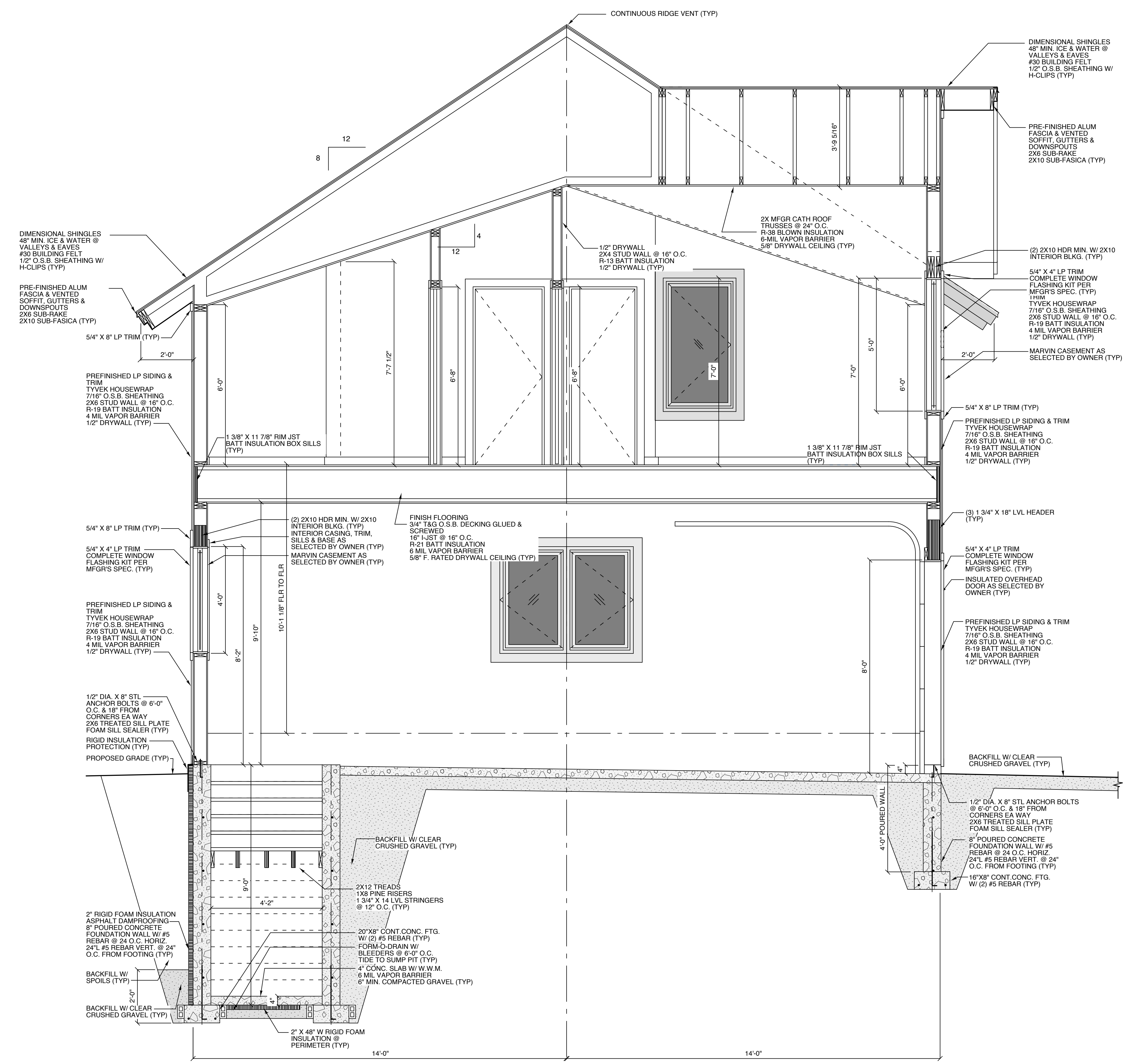
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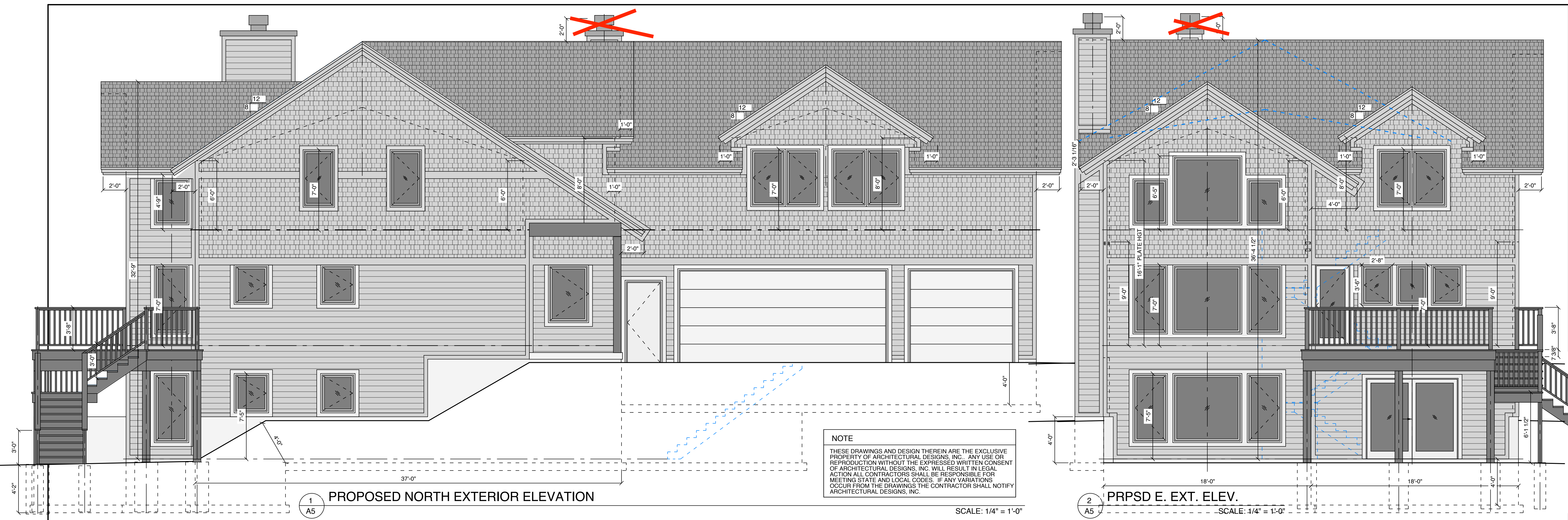


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1 PROPOSED SOUTH TO NORTH BUILDING SECTION @ GARAGE

SCALE: 1/2" = 1'-0"

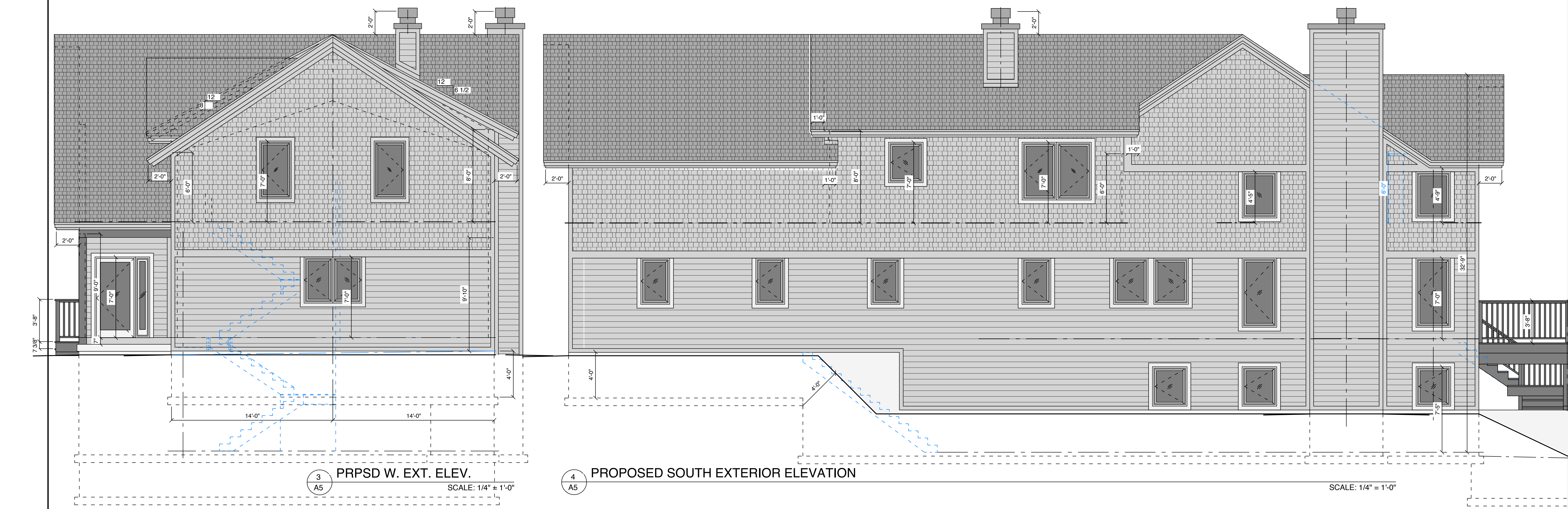


1 A5 PROPOSED NORTH EXTERIOR ELEVATION

2 A5 PRPSD E. EXT. ELEV.

SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"



3 A5 PRPSD W. EXT. ELEV.  
 SCALE: 1/4" = 1'-0"

4 A5 PROPOSED SOUTH EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"