

- The Contractor shall verify all details, dimensions, structural elements and conditions shown on the drawings.
- Contractor shall verify existing Lot line locations and ensure setback requirements are met as per local By-laws.
- The Contractor shall ensure that all work conforms to the current Building Code adopted by authorities having jurisdiction or local Building Codes and By-laws that may take precedence.
- All work shall be equal to or exceed good building practices.
- Written dimensions take precedence over scaled drawings.
- Confirm on site the location of existing underground services prior to breaking ground.
- Confirm on site the location of existing Electrical, HVAC, Plumbing, Structural elements or conditions before commencing with any demolition. If unsure, consult the appropriate consultants prior to demolition.
- All Mechanical, Plumbing, Electrical and other work shall conform to the current building code and local regulations and be installed by approved and qualified Contractors.
- Structural elements are sized to the Building Code minimum requirements. It is the Contractor or Owners responsibility to consult a Structural engineer if unsure.

ERRORS AND OMMISIONS:

- Should any discrepancies be found within this set of drawings please advise owner immediately. it is the Contractors responsibility to verify all dimensions before sizing and ordering any material.

WOOD FRAME CONSTRUCTION:

- Dimensions are taken from the outside face of exterior wall stud framing to the stud face of interior walls. the face of exterior wall stud to be flush with the outside face of foundation wall Except as noted.
- All wood in contact with concrete to be damproofed with appropriate material, 6 mil poly or other approved material.
- All studs, plates, backing, blocking and brdging to be No. 2 S.P.F. or better unless otherwise noted.
- All joists, rafters, beams and lintels to be No. 2 S.P.F. or better unless noted otherwise.
- Joists are to be placed to accomodate heating, plumbing and any other services.
- Cross-brdging for floor joists and roof joists shall be 2x2 diagonal type wherever possible. Rows shall be installed at mid-span for joist spans exceeding 7'-0" or at 7'-0" o.c. maximum, unless strapping or sheathing is applied to the undersided of joists.
- Pre-Engineered roof trusses and required beams & lintels to be designed by manufacturer.
- Pre-Engineered floor and required beams & lintels to be designed by manufacturer.
- Caulk under all exterior door frames, around all window jambs and between any other dissimilar materials.

CONCRETE:

- Concrete Strengths:
 - Exterior Sidewalks & Slabs 32MPA @ 28 days
 - Interior Slabs 25 MPA @ 28 days
- Portland Cement Type 10
- Control Joints:
 - Slab control joints to be 1" deep sawcuts. Install within 1 day of pour. Set slab reinforcing with the required minimum concrete cover at top of slab so that reinforcing steel is cut in both directions when slab is sawn. Fill joint with appropriate filler pecified.
- Finishes:
 - Exterior Sidewalks:
 - Float finish plus coarse broom finish
 - Interior Surfaces to receive finishes:
 - Smooth steel trowled finish, free of rdges, trowel arks and relatively flat.
 - Interior Surfaces not to receive finishes:
 - Smooth steel trowled finish, hardened, free of rdges, towel marks and relatively flat.

VENTILATION:

- Provide 1/300 free area of ventilation for ceiling area for all attic spaces as per BCBC 2018. no more that 1/2 of ventilation are to occure at the bottom an top of roof space.

General Notes
1/4" = 1'-0"

W.1	8" CONCRETE FND. WALL (REQ'D RSI = 2.98)	
	DAMP-PROOFING	
	8" REINF. CONC. WALL WITH 10M BARS E.W. @ 2'-0" O.C.	0.08
	1 1/2" EPS RIGID INSULATION	1.32
	2"x4" WOOD STUDS @ 2'-0" O.C. W/ R1.4 BATT INSUL.	1.7
	6 MIL POLY VAPOUR BARRIER	-
	1/2" GWB SHEATHING	0.076
	INTERIOR AIR FILM	0.12
TOTAL	3.30	

W.2	8" CONCRETE FND. WALL	
	DAMP-PROOFING	
	8" REINF. CONC. WALL WITH 10M BARS E.W. @ 2'-0" O.C.	
	2 1/2" EPS RIGID INSULATION TO 4'-0" BELOW SLAB ON GRADE	

W.3	2"x6" EXTERIOR WALL (REQ'D RSI = 3.08)	
	EXTERIOR AIR FILM	0.03
	HARDIPANEL OR PLANK FIBRE CEMENT SIDING	0.026
	5/8" HALO BOARD	0.55
	TYVEK HOME BUILDING WRAP	0.011
	1/2" PLYWOOD SHEATHING	0.108
	2"x6" STUDS @ 1'-4" O.C.	
	R 22 BATT INSULATION	2.67
	6 MIL POLY VAPOUR BARRIER	
	1/2" PTD. GWB	0.076
INTERIOR AIR FILM	0.12	
TOTAL	3.59	

W.4	2"x6" INT. GARAGE WALL (REQ'D RSI = 2.92)	
	EXTERIOR AIR FILM	0.03
	1/2" GYPSUM WALL BOARD	0.076
	2"x6" STUDS @ 1'-4" O.C.	
	R 22 BATT INSULATION	2.67
	6 MIL POLY VAPOUR BARRIER	
	1/2" PTD. GWB	0.076
INTERIOR AIR FILM	0.12	
TOTAL	2.97	

W.4a = 45min. FRR & includes Roxul Ins. in Cavity

W.5	2"x6" INTERIOR WALL	
	1/2" PTD. GWB	
	2"x6" STUDS @ 2'-0" O.C.	
	1/2" PTD. GWB	

W.6	2"x4" INTERIOR WALL	
	1/2" PTD. GWB	
	2"x4" STUDS @ 2'-0" O.C.	
	1/2" PTD. GWB	

W.6a = 45min. FRR & includes Roxul Ins. in Cavity

R.1	PRE-ENGINEERED SLOPED ROOF (RSI 8.67 REQ'D)	
	EXTERIOR AIR FILM	
	APSHALT SHINGLES	
	2 PLY ROOFING PAPER	
	1/2" PLYWOOD SHEATHING	
	PRE-ENG. TRUSSES @ 2'-0" O.C. WITH INSULATION	1.86
	R - 40" INSULATION	7.04
	6 MIL POLY VAPOUR BARRIER	0.00
	1/2" PTD. GWB	0.076
	INTERIOR AIR FILM	0.11
TOTAL	9.1	

RSI parallel = 100(1/1.79)+(89/2.23) = 1.86

R.2	PRE-ENGINEERED MONOCHORD SLOPED ROOF (RSI 4.67 REQ'D)	
	EXTERIOR AIR FILM	
	APSHALT SHINGLES	
	SELF HEALING MEMBRANE (BAKOR BLUESKIN OR EQUAL)	
	1/2" PLYWOOD SHEATHING	
	PRE-ENG. MONOCHORD TRUSSES @ 2'-0" O.C.	4.59
	R - 23" INSULATION	0.00
	6 MIL POLY VAPOUR BARRIER	0.076
	1/2" PTD. GWB	0.11
	INTERIOR AIR FILM	0.11
TOTAL	4.784	

RSI parallel = 100(6/2.683)+(94/4.93) = 4.59

R.3	2"x10" RAFTER ROOF	
	APSHALT SHINGLES	
	SELF HEALING MEMBRANE (BAKOR BLUESKIN OR EQUAL)	
	1/2" PLYWOOD SHEATHING	
	2"x10" D.FIR RAFTERS @ 2'-0" O.C.	
T4G WOOD SOFFIT		

F.1	TYPICAL FLOOR (2"x10" JOISTS)	
	FINISH AS PER OWNER	
	U-LAY AS REQUIRED	
	3/4" T4G PLYWOOD SHEATHING	
	11 7/8" I-JOISTS @ 2'-0" O.C.	
	R30 INSULATION	
1/2" GYPSUM CEILING BOARD		

F.2	BASEMENT & GARAGE FLOOR (5" CONC. FLOOR)	
	AIR FILM	0.16
	5" THICK REINF. CONC SLAB ON GRADE (10M BARS @ 2'-0" O.C.) (6"min. CLEAN ROCK SUITABLE FOR RADON EXTRACTION)	0.051
	2 1/2" RIGID INSULATION UNDER SLAB	2.22
TOTAL RSI PROVIDED	2.431	

F.3	DECK FLOOR (2"x10" WOOD JOISTS)	
	DURADECK TYPE WATERPROOF MEMBRANE	
	5/8" T4G EXTERIOR GRADE PLYWOOD SHEATHING	
	2"x10 WOOD FLOOR JOISTS @ 2'-0" O.C.	

F.4	EXTERIOR CONC. SLAB (5" CONC. FLOOR)	
	5" THICK REINF. CONC SLAB ON GRADE (10M BARS @ 2'-0" O.C.)	

Constuction Legend
1/4" = 1'-0"

CODE REVIEW

SITE INFORMATION

LEGAL DESCRIPTION: PLAN 12416 LT A KDYD
CIVIC ADDRESS: 1187 Crestline Street
ZONE: RT-1
SITE AREA: 5,233.41 sqft (486.2 sqm) (0.12 ACRE)

CODE REVIEW

BC BUILDING CODE: 2018
NO. OF STOREYS: 2
TYPE OF CONSTRUCTION: WOOD FRAME
CLIMATE ZONE: 5

BUILDING FOOTPRINT:
Main Floor 1,017 sqft (94.5 sqm)
Suite Area 804.42 sqft (74.73 sqm)
Upper Floor 1,389 sqft (129.0 sqm)
Garage 384 sqft (35.67 sqm)

9.10.15.5 - limiting distance is 1.5m or more

9.3G.1.3.1a) - As Per Energy Model Report

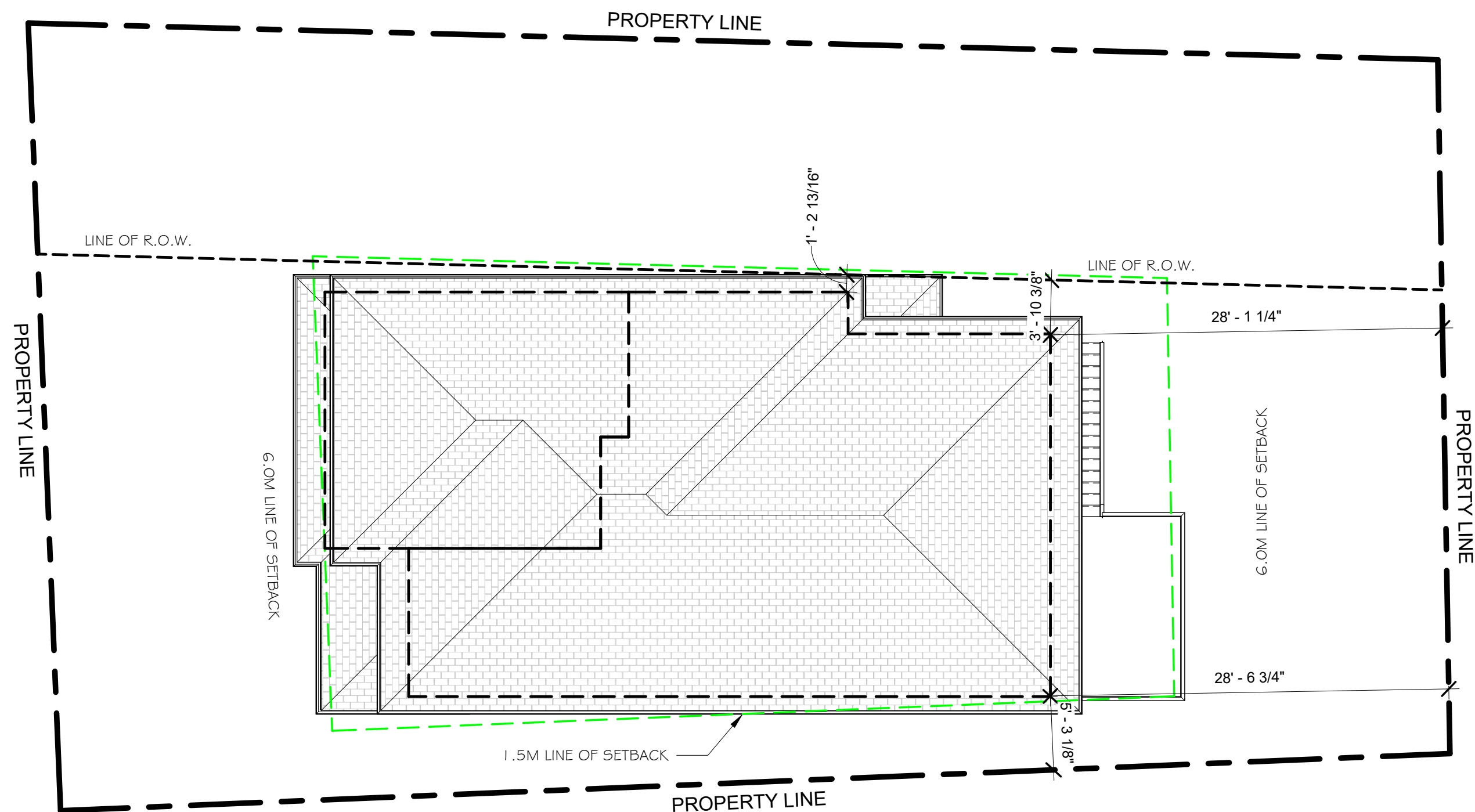
Code Review
1/4" = 1'-0"



2 3D View 1
A101



3 3D View 2
A101



1 Site Plan
A300/A101
1/8" = 1'-0"



250.852.8119 / info@jfdesigns.ca / www.jfdesigns.ca

Revision Schedule			
#	by	Description	Date
2		Review & energy Model	2022-01-31
3		Review & energy Model	2022-02-16
5		Revised for final Review	2022-8-15
6		Revised for Construction	2022-12-30
7		Revised for Construction	2023-01-17
8		Revision for Construction (1'-0" Overhang)	2023-01-27
9		Revision for Construction	2023-02-14

**SINGLE FAMILY
FOR SURE SQUARE
HOMES**

Crestline St. Lot A
Kamloops, BC

DISCLAIMER
These drawings and subject matter are the confidential property of JFDESIGNS, and are not to be reproduced, copied, scaled or used for anything without written consent.

NOTE: These drawings are half size when printed at 50% on 11x17 size paper

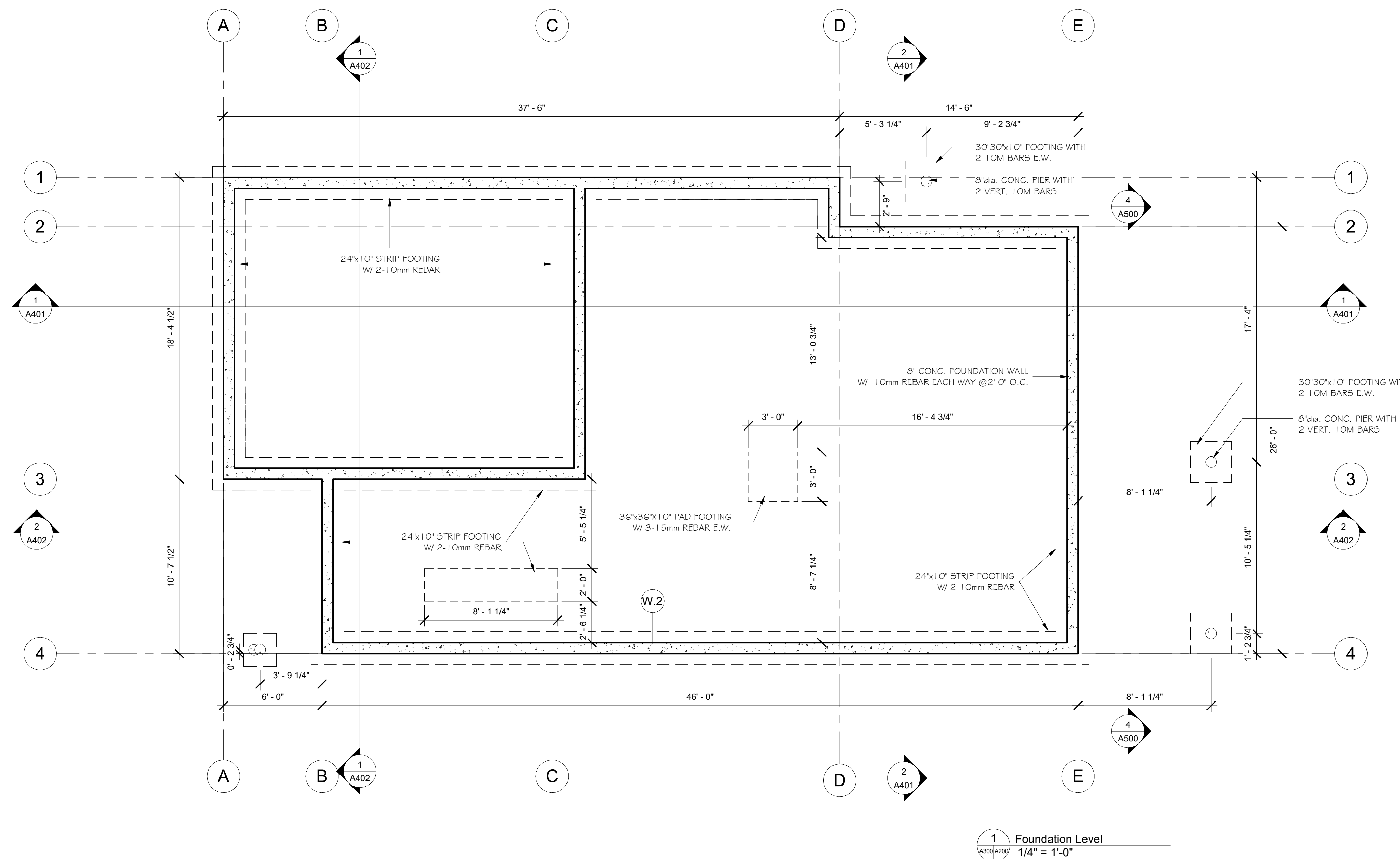
Site Plan

PROJECT # 2022-360
SCALE As indicated
DATE January 2022

A101

Revision Schedule			
#	by	Description	Date

2		Review & energy Model	2022-01-31
3		Review & energy Model	2022-02-16
5		Revised for final Review	2022-8-15
6		Revised for Construction	2022-12-30
7		Revised for Construction	2023-01-17
8		Revision for Construction (1'-0" Overhang)	2023-01-27
9		Revision for Construction	2023-02-14



SINGLE FAMILY FOR SURE SQUARE HOMES

Crestline St. Lot A
Kamloops, BC

DISCLAIMER
 These drawings and subject matter are the confidential property of JFDESIGNS, and are not to be reproduced, copied, scaled or used for anything without written consent.

NOTE: These drawings are half size when printed at 50% on 11x17 size paper

Foundation Plans

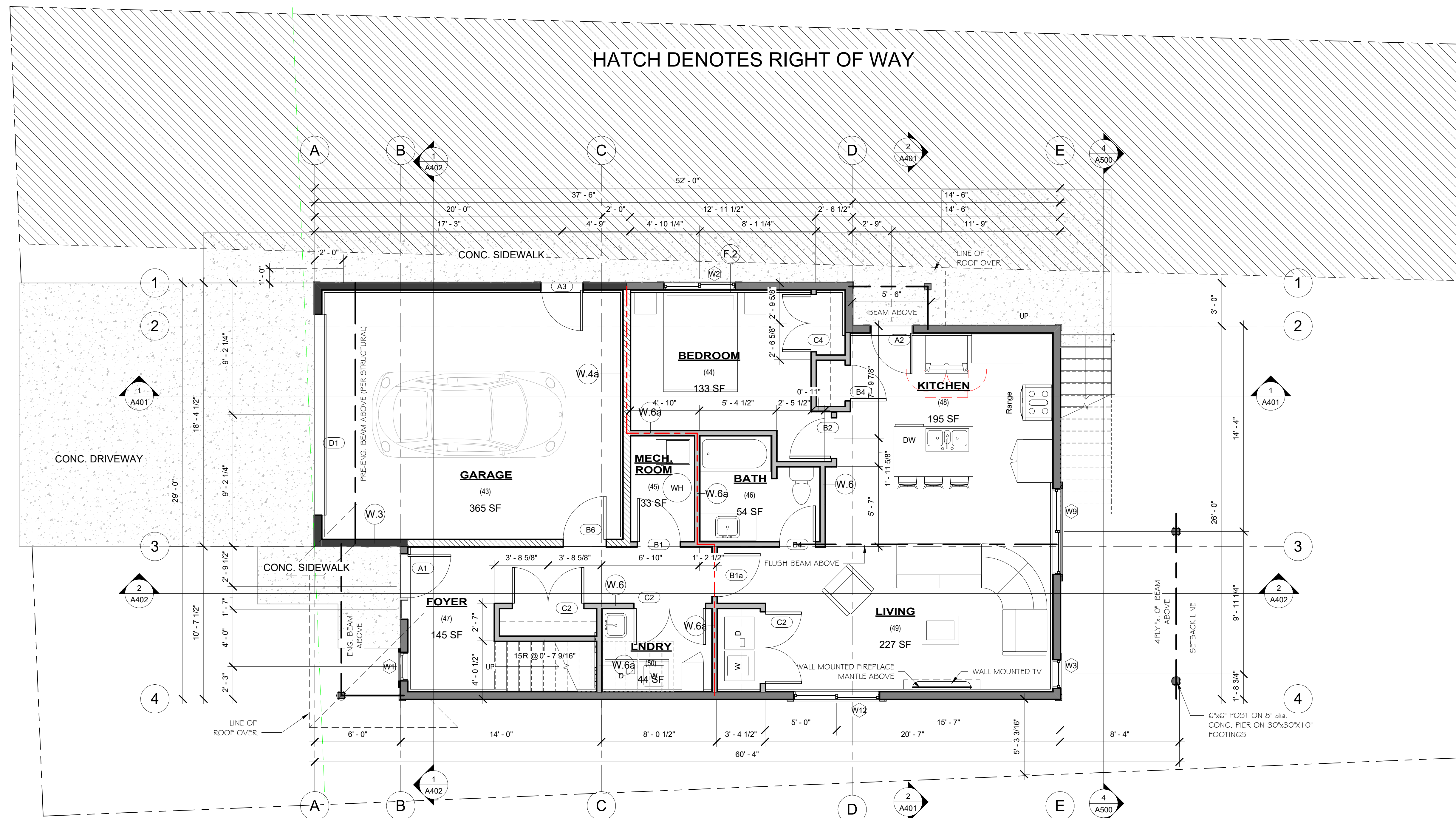
PROJECT # 2022-360
 SCALE 1/4" = 1'-0"
 DATE January 2022

Revision Schedule			
#	by	Description	Date

1		Issued for Prelim. Review	2022-01-17
2		Review & energy Model	2022-01-31
3		Review & energy Model	2022-02-16
5		Revised for final Review	2022-8-15
6		Revised for Construction	2022-12-30
7		Revised for Construction	2023-01-17
8		Revision for Construction (1'-0" Overhang)	2023-01-27
9		Revision for Construction	2023-02-14

SINGLE FAMILY FOR SURESQUARE HOMES

Crestline St. Lot A
Kamloops, BC



1 Main Floor
1/4" = 1'-0"

Door Schedule					
Count	Type Mark	Width	Height	Type Comments	Comments
1	A1	3'-0"	6'-8"	Exterior Entry Door w/ 12" Sidelight & Transom	
1	A2	2'-10"	6'-8"	Suite Entry Door w/ Half Glaze	
1	A3	2'-10"	6'-8"	Garage Entry Door	
1	A5	6'-0"	6'-8"	Exterior Sliding Door	
1	B1	3'-0"	6'-8"	Interior Passage Door	
1	B1a	3'-0"	6'-8"	Interior 20 Min. Frr Passage door	
1	B2	2'-10"	6'-8"	Interior Passage Door	
4	B3	2'-8"	6'-8"	Interior Passage Door	
2	B4	2'-6"	6'-8"	Interior Passage Door	
1	B6	3'-0"	6'-8"	Garage Entry Door to House c/w Smoke seals and closer	
1	B10	2'-0"	6'-8"	Interior Passage Door	
3	C2	5'-0"	6'-8"	Interior Closet Door	
4	C4	4'-0"	6'-8"	Interior Closet Door	
1	C5	2'-8"	6'-8"	Interior Closet Door	
1	C6	2'-0"	6'-8"	Interior Closet Door	
1	D1	14'-0"	8'-0"	Overhead Garage Door	
1	O1	3'-0"	6'-8"	Framed Opening	
1	P3	2'-8"	6'-8"	Interior Pocket Door	

Main Floor Window Schedule						
Count	Type Mark	Rough Width	Rough Height	Head Height	Type Comments	Comments
1	W1	2'-0"	6'-0"	8'-0"	Fixed	
2	W2	5'-0"	3'-0"	8'-0"	Horiz. Slider	
1	W3	2'-0"	5'-0"	8'-0"	Fixed	
2	W5	5'-0"	3'-6"	8'-0"	Horiz. Slider	
1	W6	2'-0"	4'-0"	8'-0"	Vertical Sliding	
1	W8	2'-0"	3'-0"	8'-0"	Vertical Sliding	
2	W9	6'-0"	4'-0"	8'-0"	Horiz. Slider	
2	W10	6'-0"	2'-0"	8'-0"	Fixed	
1	W11	4'-0"	5'-0"	8'-0"	Fixed	
2	W12	6'-0"	4'-0"	8'-0"	Horiz. Slider	

DISCLAIMER
These drawings and subject matter are the confidential property of JFDESIGNS, and are not to be reproduced, copied, scaled or used for anything without written consent.

NOTE: These drawings are half size when printed at 50% on 11x17 size paper

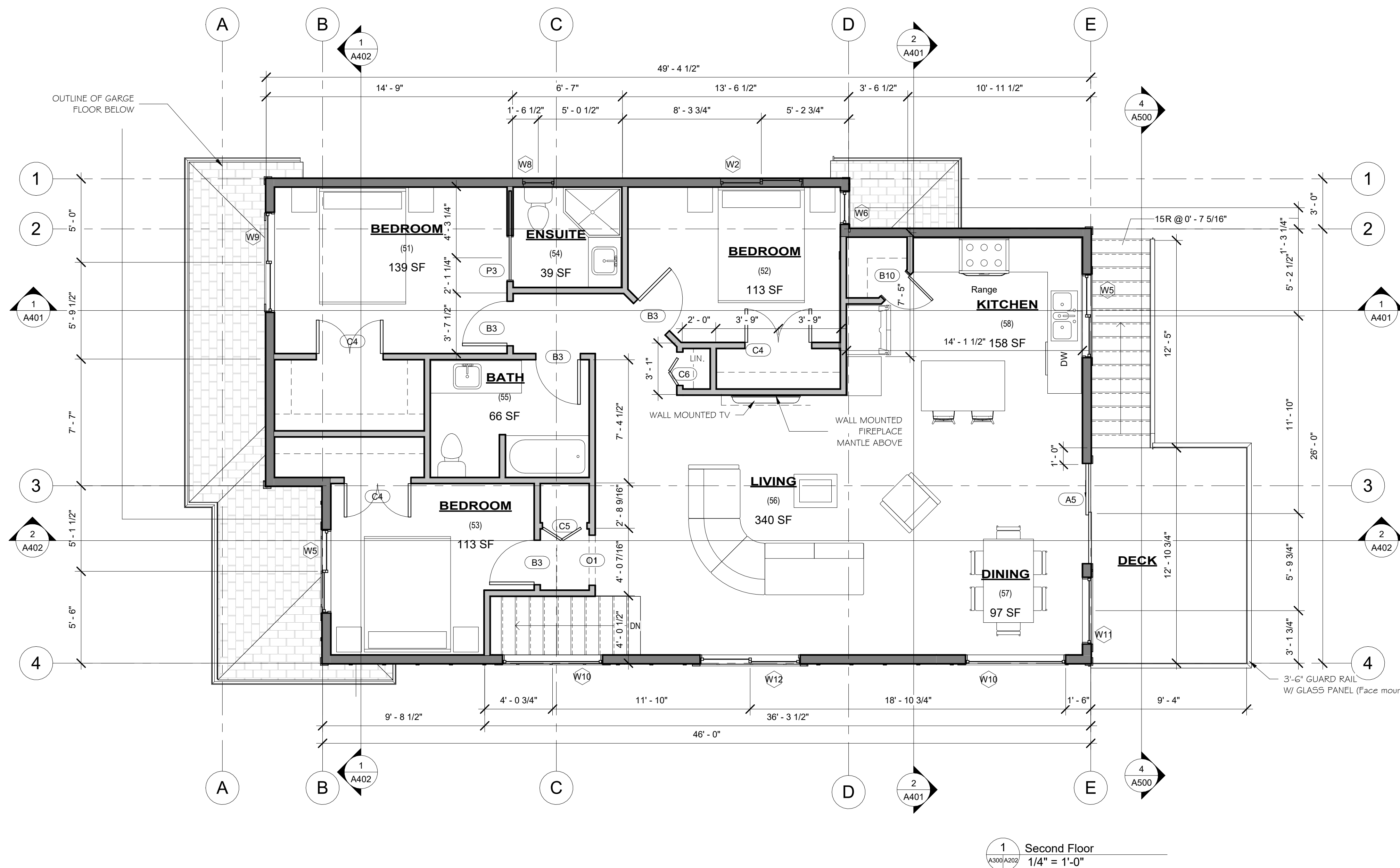
Main Floor Plan & Schedules

PROJECT # 2022-360
SCALE 1/4" = 1'-0"
DATE January 2022

A201

Revision Schedule			
#	by	Description	Date

1		Issued for Prelim. Review	2022-01-17
2		Review & energy Model	2022-01-31
3		Review & energy Model	2022-02-16
5		Revised for final Review	2022-8-15
6		Revised for Construction	2022-12-30
7		Revised for Construction	2023-01-17
8		Revision for Construction (1'-0" Overhang)	2023-01-27
9		Revision for Construction	2023-02-14



1 Second Floor
1/4" = 1'-0"

SINGLE FAMILY FOR SURE SQUARE HOMES

Crestline St. Lot A
Kamloops, BC

Door Schedule					
Count	Type Mark	Width	Height	Type Comments	Comments
1	A1	3' - 0"	6' - 8"	Exterior Entry Door w/ 12" Sidelight & Transom	
1	A2	2' - 10"	6' - 8"	Suite Entry Door w/ Half Glaze	
1	A3	2' - 10"	6' - 8"	Garage Entry Door	
1	A5	6' - 0"	6' - 8"	Exterior Sliding Door	
1	B1	3' - 0"	6' - 8"	Interior Passage Door	
1	B1a	3' - 0"	6' - 8"	Interior 20 Min. Frr Passage door	
1	B2	2' - 10"	6' - 8"	Interior Passage Door	
4	B3	2' - 8"	6' - 8"	Interior Passage Door	
2	B4	2' - 6"	6' - 8"	Interior Passage Door	
1	B6	3' - 0"	6' - 8"	Garage Entry Door to House c/w Smoke seals and closer	
1	B10	2' - 0"	6' - 8"	Interior Passage Door	
3	C2	5' - 0"	6' - 8"	Interior Closet Door	
4	C4	4' - 0"	6' - 8"	Interior Closet Door	
1	C5	2' - 8"	6' - 8"	Interior Closet Door	
1	C6	2' - 0"	6' - 8"	Interior Closet Door	
1	D1	14' - 0"	8' - 0"	Overhead Garage Door	
1	O1	3' - 0"	6' - 8"	Framed Opening	
1	P3	2' - 8"	6' - 8"	Interior Pocket Door	

Main Floor Window Schedule						
Count	Type Mark	Rough Width	Rough Height	Head Height	Type Comments	Comments
1	W1	2' - 0"	6' - 0"	8' - 0"	Fixed	
2	W2	5' - 0"	3' - 0"	8' - 0"	Horiz. Slider	
1	W3	2' - 0"	5' - 0"	8' - 0"	Fixed	
2	W5	5' - 0"	3' - 6"	8' - 0"	Horiz. Slider	
1	W6	2' - 0"	4' - 0"	8' - 0"	Vertical Sliding	
1	W8	2' - 0"	3' - 0"	8' - 0"	Vertical Sliding	
2	W9	6' - 0"	4' - 0"	8' - 0"	Horiz. Slider	
2	W10	6' - 0"	2' - 0"	8' - 0"	Fixed	
1	W11	4' - 0"	5' - 0"	8' - 0"	Fixed	
2	W12	6' - 0"	4' - 0"	8' - 0"	Horiz. Slider	

DISCLAIMER

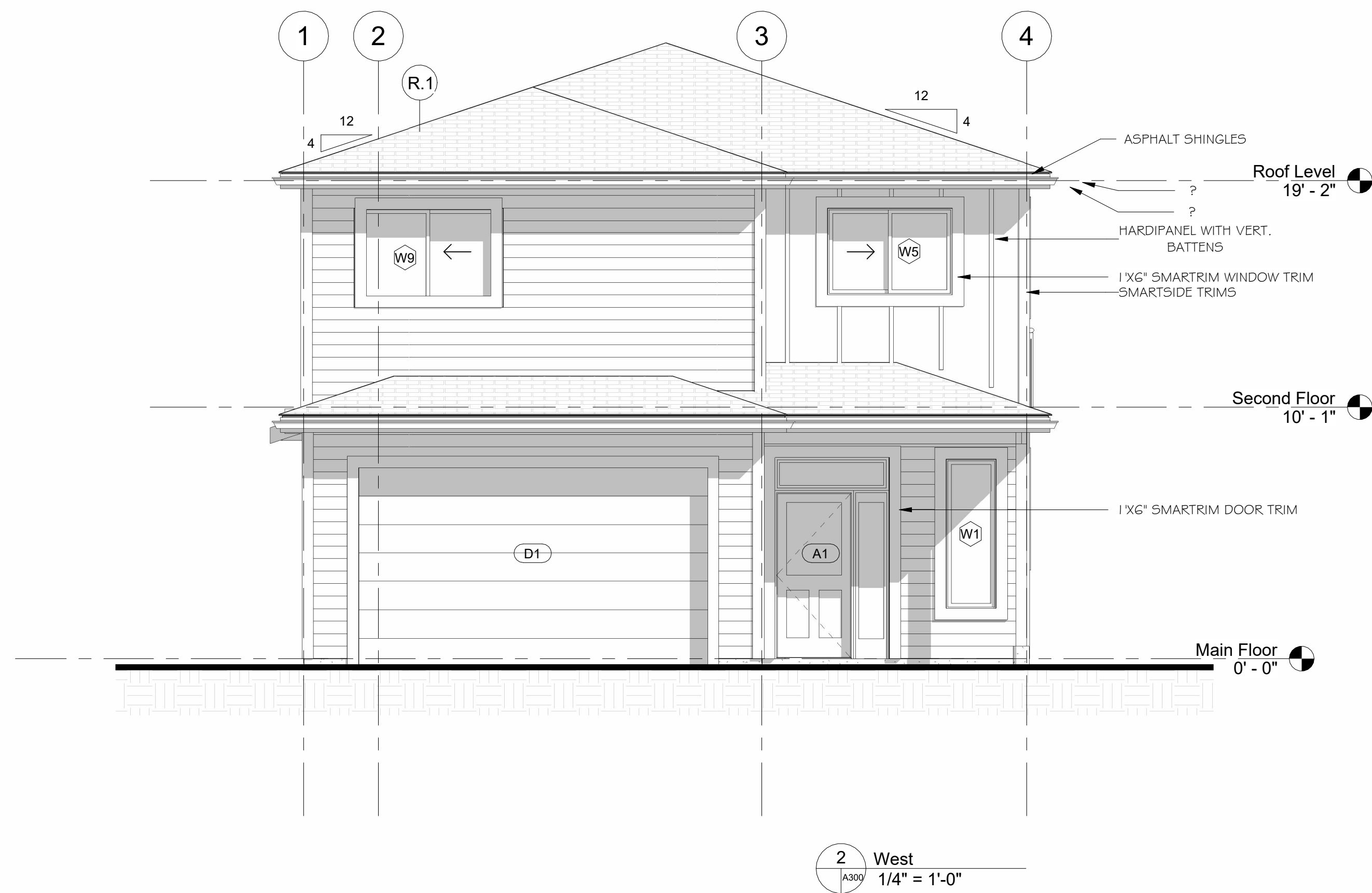
These drawings and subject matter are the confidential property of JFDESIGNS, and are not to be reproduced, copied, scaled or used for anything without written consent.

NOTE: These drawings are half size when printed at 50% on 11x17 size paper

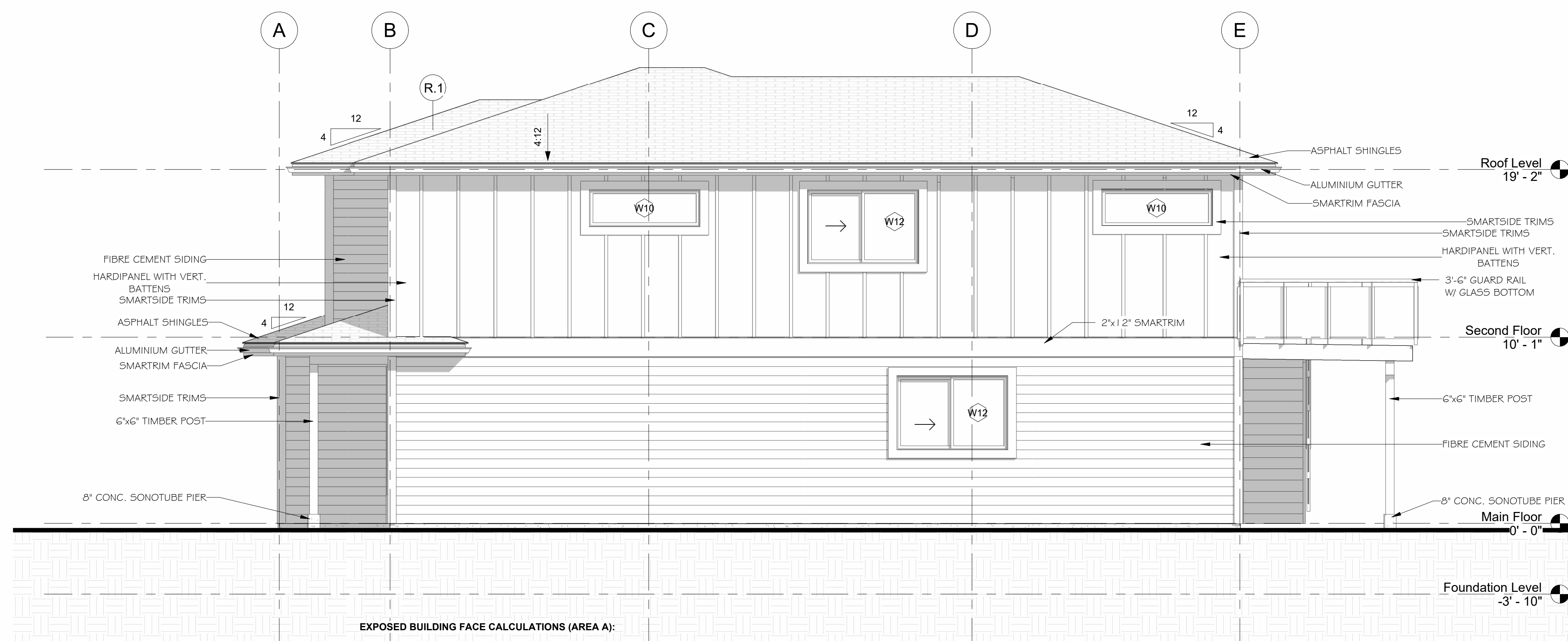
Second Floor Plan & Schedules

PROJECT # 2022-360
SCALE 1/4" = 1'-0"
DATE January 2022

Revision Schedule			
#	by	Description	Date
2		Review & energy Model	2022-01-31
3		Review & energy Model	2022-02-16
5		Revised for final Review	2022-8-15
6		Revised for Construction	2022-12-30
7		Revised for Construction	2023-01-17
8		Revision for Construction (1'-0" Overhang)	2023-01-27
9		Revision for Construction	2023-02-14



2 West
A300
1/4" = 1'-0"



1 South
A300
1/4" = 1'-0"

EXPOSED BUILDING FACE CALCULATIONS (AREA A):

WALL AREA: =83.42 sm
 OPENING AREA: =6.69 sm
 PERCENTAGE OPENINGS PROVIDED: =8.01%
 DISTANCE TO PROPERTY LINE: =1.62m
 ALLOWABLE INTERP. PERCENTAGE OPENINGS: =8.24%

**SINGLE FAMILY
FOR SURESQUARE
HOMES**

Crestline St. Lot A
Kamloops, BC

DISCLAIMER
 These drawings and subject matter are the confidential property of JFDESIGNS, and are not to be reproduced, copied, scaled or used for anything without written consent.

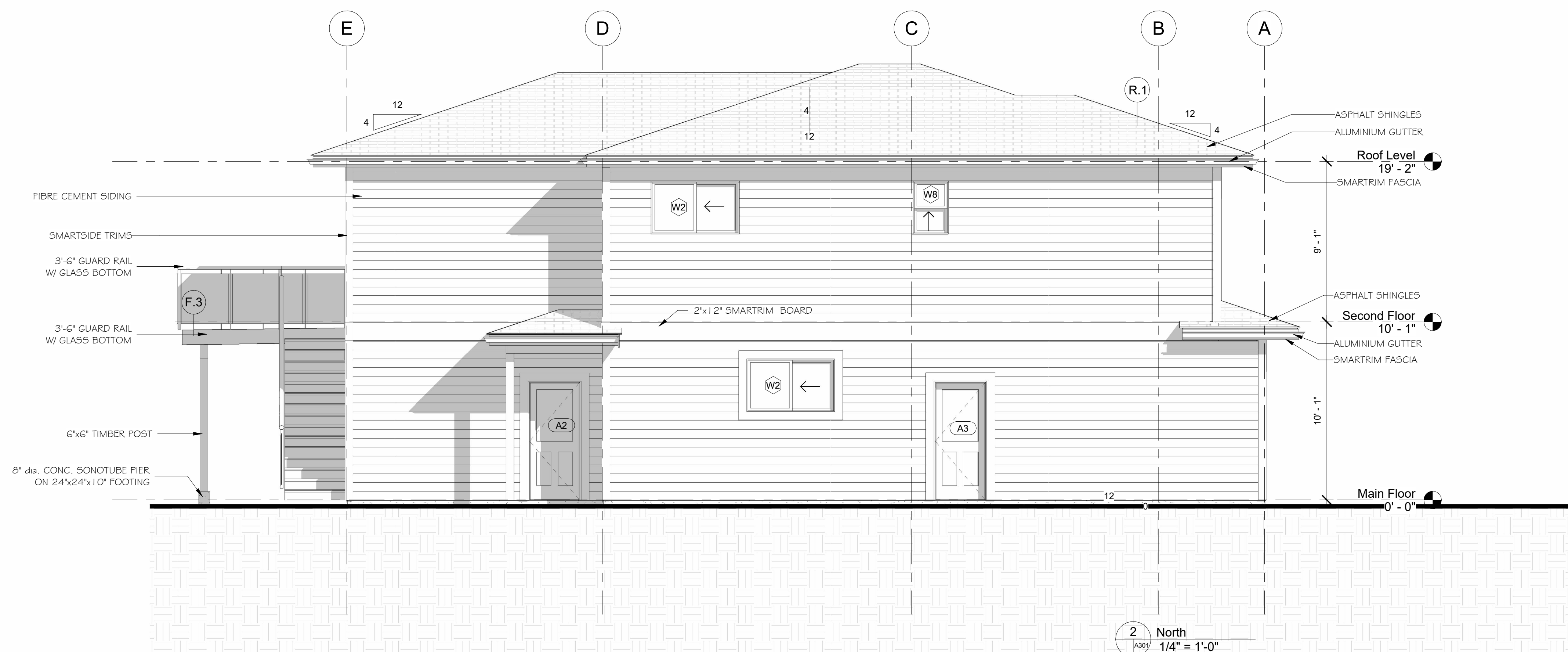
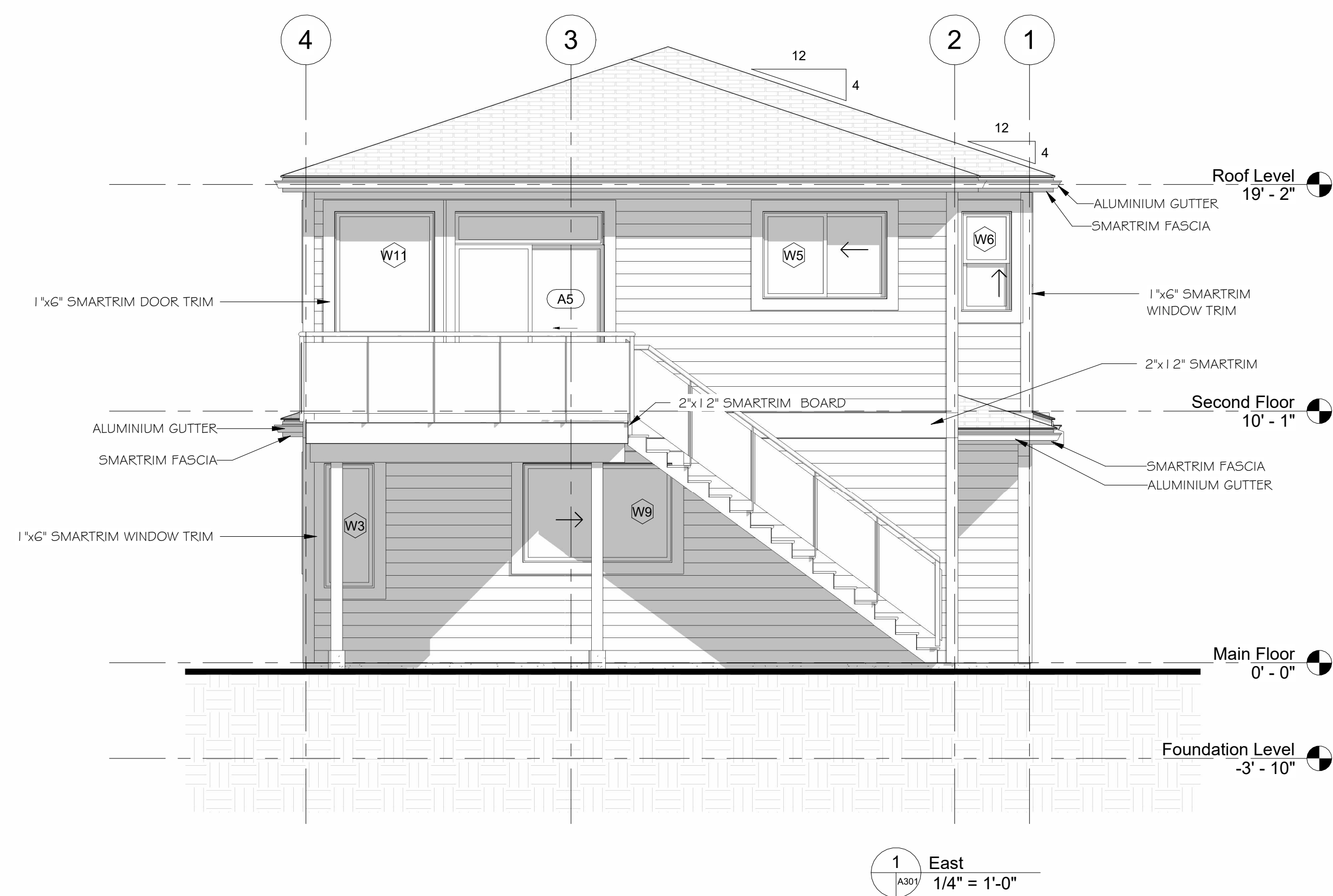
NOTE: These drawings are half size when printed at 50% on 11x17 size paper

Exterior Elevations

PROJECT # 2022-360
 SCALE 1/4" = 1'-0"
 DATE January 2022

Revision Schedule			
#	by	Description	Date

2		Review & energy Model	2022-01-31
3		Review & energy Model	2022-02-16
5		Revised for final Review	2022-8-15
6		Revised for Construction	2022-12-30
7		Revised for Construction	2023-01-17
8		Revision for Construction (1'-0" Overhang)	2023-01-27
9		Revision for Construction	2023-02-14



**SINGLE FAMILY
FOR SURESQUARE
HOMES**

Crestline St. Lot A
Kamloops, BC

DISCLAIMER

These drawings and subject matter are the confidential property of JFDESIGNS, and are not to be reproduced, copied, scaled or used for anything without written consent.

NOTE: These drawings are half size when printed at 50% on 11x17 size paper

Exterior Elevations

PROJECT # 2022-360
SCALE 1/4" = 1'-0"
DATE January 2022

A301

Revision Schedule			
#	by	Description	Date
2		Review & energy Model	2022-01-31
3		Review & energy Model	2022-02-16
5		Revised for final Review	2022-8-15
6		Revised for Construction	2022-12-30
7		Revised for Construction	2023-01-17
8		Revision for Construction (1'-0" Overhang)	2023-01-27
9		Revision for Construction	2023-02-14

SINGLE FAMILY FOR SURESQUARE HOMES

Crestline St. Lot A
Kamloops, BC

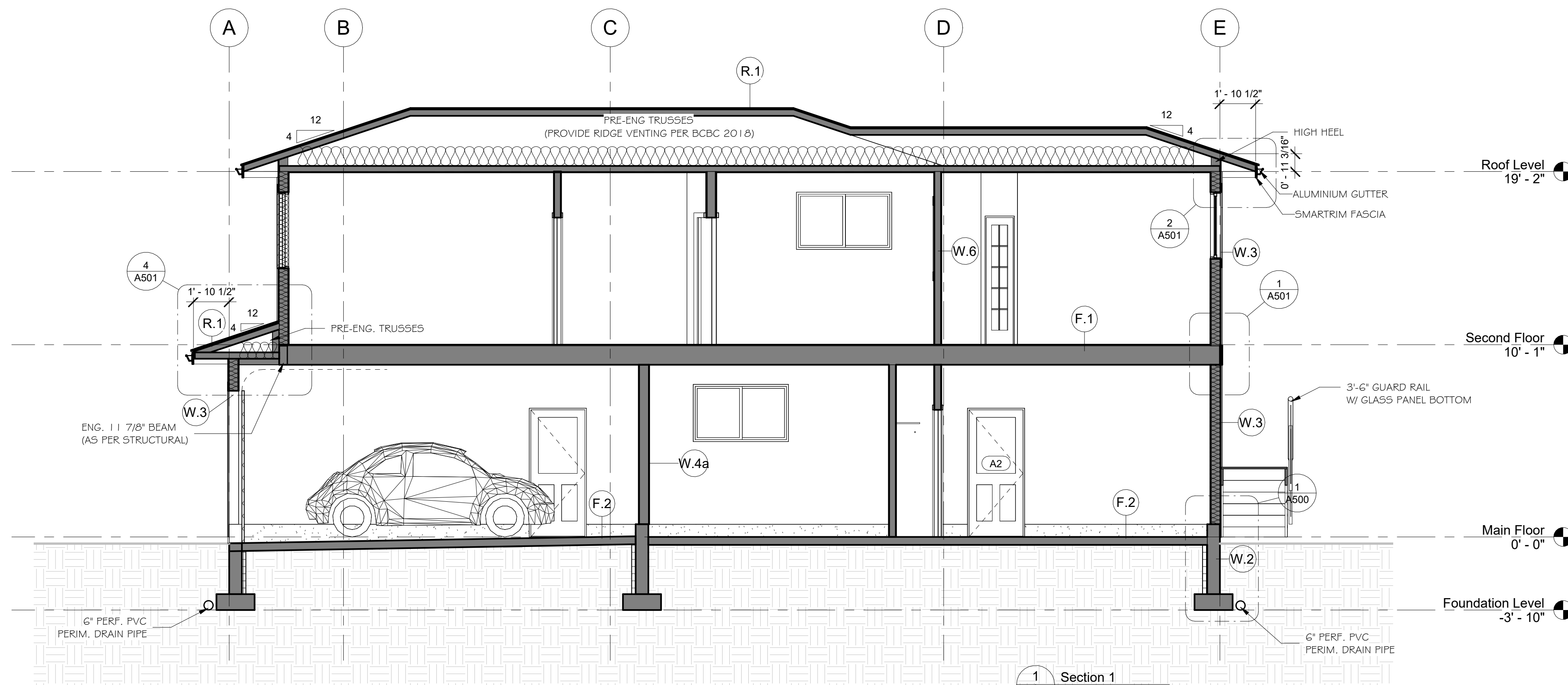
DISCLAIMER
These drawings and subject matter are the confidential property of JFDESIGNS, and are not to be reproduced, copied, scaled or used for anything without written consent.

NOTE: These drawings are half size when printed at 50% on 11x17 size paper

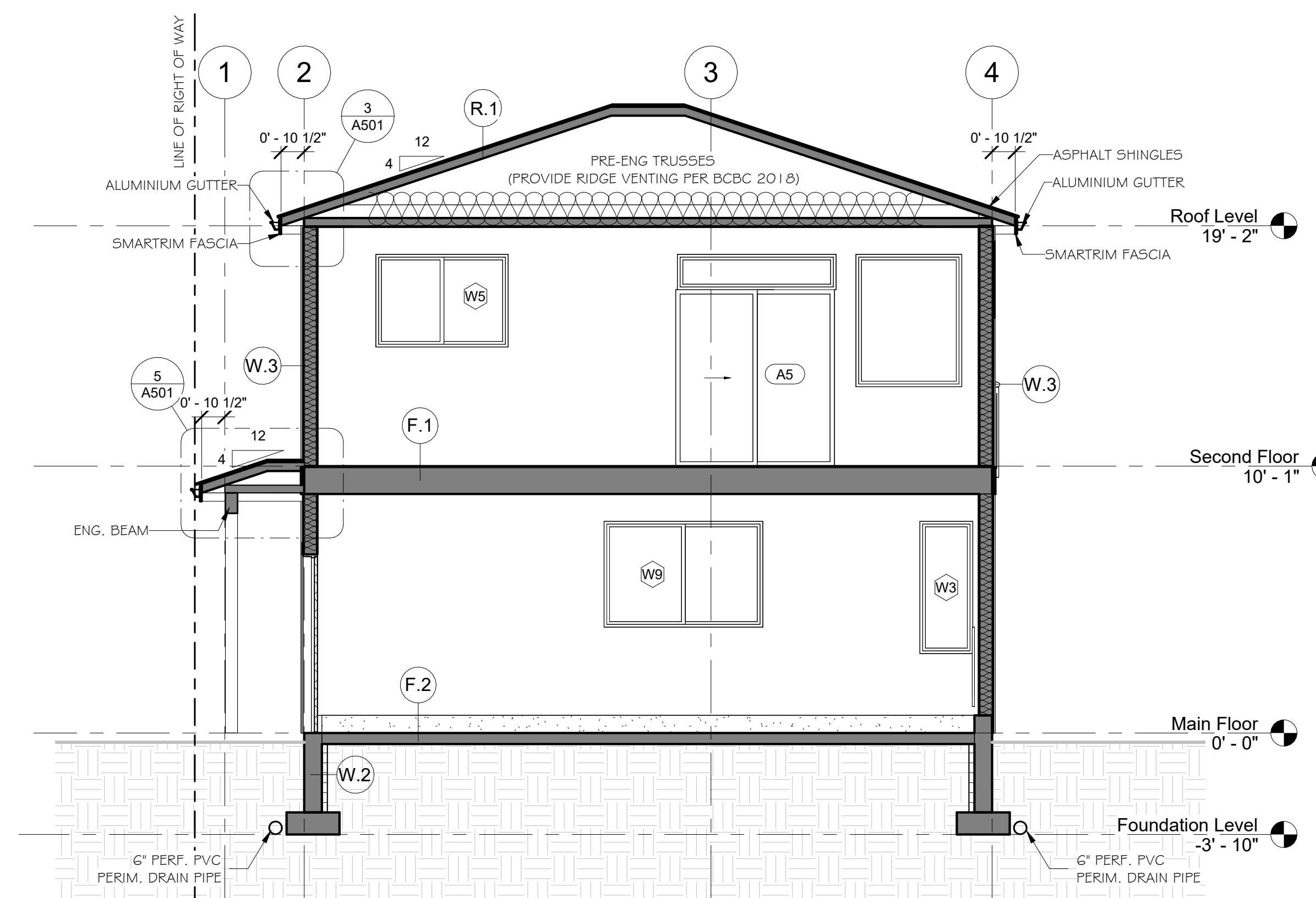
Building Sections

PROJECT # 2022-360
SCALE 1/4" = 1'-0"
DATE January 2022

A401



1 Section 1
1/4" = 1'-0"



2 Section 2
1/4" = 1'-0"

W.1

8" CONCRETE FND. WALL (REQ'D RSI = 2.98)	
DAMP-PROOFING	
8" REINF. CONC. WALL WITH 1.0M BARS E.W. @ 2'-0" O.C.	0.08
1 1/2" EPS RIGID INSULATION	1.32
2"x4" WOOD STUDS @ 2'-0" O.C. W/ R14 BATT INSUL.	1.7
6 MIL POLY VAPOUR BARRIER	-
1/2" GWB SHEATHING	0.076
INTERIOR AIR FILM	0.12
TOTAL	3.30

W.2

8" CONCRETE FND. WALL	
DAMP-PROOFING	
8" REINF. CONC. WALL WITH 1.0M BARS E.W. @ 2'-0" O.C.	
2 1/2" EPS RIGID INSULATION TO 4'-0" BELOW SLAB ON GRADE	

W.3

2"x6" EXTERIOR WALL (REQ'D RSI = 3.08)	
EXTERIOR AIR FILM	0.03
HARDIPANEL OR PLANK FIBRE CEMENT SIDING	0.026
5/8" HALO BOARD	0.55
TYVEK HOME BUILDING WRAP	0.011
1/2" PLYWOOD SHEATHING	0.108
2"x6" STUDS @ 1'-4" O.C.	
R 22 BATT INSULATION	2.67
6 MIL POLY VAPOUR BARRIER	
1/2" PTD. GWB	0.076
INTERIOR AIR FILM	0.12
TOTAL	3.59

W.4

2"x6" INT. GARAGE WALL (REQ'D RSI = 2.92)	
EXTERIOR AIR FILM	0.03
1/2" GYPSUM WALL BOARD	0.076
2"x6" STUDS @ 1'-4" O.C.	
R 22 BATT INSULATION	2.67
6 MIL POLY VAPOUR BARRIER	
1/2" PTD. GWB	0.076
INTERIOR AIR FILM	0.12
TOTAL	2.97

W.4a = 45min. FRR & includes Roxul Ins. in Cavity

W.5

2"x6" INTERIOR WALL	
1/2" PTD. GWB	
2"x6" STUDS @ 2'-0" O.C.	
1/2" PTD. GWB	

W.6

2"x4" INTERIOR WALL	
1/2" PTD. GWB	
2"x4" STUDS @ 2'-0" O.C.	
1/2" PTD. GWB	

W.6a = 45min. FRR & includes Roxul Ins. in Cavity

PRE-ENGINEERED SLOPED ROOF (RSI 8.67 REQ'D)

R.1

EXTERIOR AIR FILM	
ASPHALT SHINGLES	
2 PLY ROOFING PAPER	
1/2" PLYWOOD SHEATHING	1.86
PRE-ENG. TRUSSES @ 2'-0" O.C. WITH INSULATION	7.04
R - 40" INSULATION	0.00
6 MIL POLY VAPOUR BARRIER	0.076
1/2" PTD. GWB	0.11
INTERIOR AIR FILM	9.1
TOTAL	9.1

$$RSI_{parallel} = 100 / (1 / 1.79) + (89 / 2.23) = 1.86$$

PRE-ENGINEERED MONOCHORD SLOPED ROOF (RSI 4.67 REQ'D)

R.2

EXTERIOR AIR FILM	
ASPHALT SHINGLES	
SELF HEALING MEMBRANE (BAKOR BLUESKIN OR EQUAL)	
1/2" PLYWOOD SHEATHING	
PRE-ENG. MONOCHORD TRUSSES @ 2'-0" O.C.	4.59
R - 23" INSULATION	0.00
6 MIL POLY VAPOUR BARRIER	0.076
1/2" PTD. GWB	0.11
INTERIOR AIR FILM	4.784
TOTAL	4.784

$$RSI_{parallel} = 100 / (6 / 2.683) + (94 / 4.93) = 4.59$$

2"x10" RAFTER ROOF

R.3

ASPHALT SHINGLES	
SELF HEALING MEMBRANE (BAKOR BLUESKIN OR EQUAL)	
1/2" PLYWOOD SHEATHING	
2"x10" D.FIR RAFTERS @ 2'-0" O.C.	
T&G WOOD SOFFIT	

TYPICAL FLOOR (2"x10" JOISTS)

F.1

FINISH AS PER OWNER	
U-LAY AS REQUIRED	
3/4" T&G PLYWOOD SHEATHING	
1 1/2" 7/8" I-JOISTS @ 2'-0" O.C.	
R30 INSULATION	
1/2" GYPSUM CEILING BOARD	

F.2

BASEMENT & GARAGE FLOOR (5" CONC. FLOOR)	
AIR FILM	0.16
5" THICK REINF. CONC SLAB ON GRADE (1.0M BARS @ 2'-0" O.C.)	0.051
(6" min. CLEAN ROCK SUITABLE FOR RADON EXTRACTION)	
2 1/2" RIGID INSULATION UNDER SLAB	2.22
TOTAL RSI PROVIDED	2.431

F.3

DECK FLOOR (2"x10" WOOD JOISTS)	
DURADECK TYPE WATERPROOF MEMBRANE	
5/8" T&G EXTERIOR GRADE PLYWOOD SHEATHING	
2"x10" WOOD FLOOR JOISTS @ 2'-0" O.C.	

F.4

EXTERIOR CONC. SLAB (5" CONC. FLOOR)	
5" THICK REINF. CONC SLAB ON GRADE (1.0M BARS @ 2'-0" O.C.)	

Construction Legend
1/4" = 1'-0"

Revision Schedule			
#	by	Description	Date
2		Review & energy Model	2022-01-31
3		Review & energy Model	2022-02-16
4		Revised Plans for Review	2022-7-26
5		Revised for final Review	2022-8-15
6		Revised for Construction	2022-12-30
7		Revised for Construction	2023-01-17
8		Revision for Construction (1'-0" Overhang)	2023-01-27
9		Revision for Construction	2023-02-14

SINGLE FAMILY FOR SURE SQUARE HOMES

Crestline St. Lot A
Kamloops, BC

DISCLAIMER
These drawings and subject matter are the confidential property of JFDESIGNS, and are not to be reproduced, copied, scaled or used for anything without written consent.

NOTE: These drawings are half size when printed at 50% on 11x17 size paper

Building Sections

PROJECT # 2022-360
SCALE 1/4" = 1'-0"
DATE January 2022

A402

W.1 8" CONCRETE FND. WALL (REQD RSI = 2.98)

DAMPROOFING	
8" REINF CONC. WALL WITH 10M BARS E.W. @ 2'-0" O.C.	0.08
1 1/2" EPS RIGID INSULATION	1.32
2"x4" WOOD STUDS @ 2'-0" O.C. W/ R14 BATT INSUL.	1.7
6 MIL POLY VAPOUR BARRIER	-
1/2" GWB SHEATHING	0.076
INTERIOR AIR FILM	0.12
TOTAL	3.30

W.2 8" CONCRETE FND. WALL

DAMPROOFING	
8" REINF CONC. WALL WITH 10M BARS E.W. @ 2'-0" O.C.	
2 1/2" EPS RIGID INSULATION TO 4'-0" BELOW SLAB ON GRADE	

W.3 2"x6" EXTERIOR WALL (REQD RSI = 3.08)

EXTERIOR AIR FILM	0.03
HARDIPANEL OR PLANK FIBRE CEMENT SIDING	0.026
5/8" HALO BOARD	0.55
TYVEK HOME BUILDING WRAP	0.011
1/2" PLYWOOD SHEATHING	0.108
2"x6" STUDS @ 1'-4" O.C.	
R 22 BATT INSULATION	2.67
6 MIL POLY VAPOUR BARRIER	
1/2" PTD. GWB	0.076
INTERIOR AIR FILM	0.12
TOTAL	3.59

W.4 2"x6" INT. GARAGE WALL (REQD RSI = 2.92)

EXTERIOR AIR FILM	0.03
1/2" GYPSUM WALL BOARD	0.076
2"x6" STUDS @ 1'-4" O.C.	
R 22 BATT INSULATION	2.67
6 MIL POLY VAPOUR BARRIER	
1/2" PTD. GWB	0.076
INTERIOR AIR FILM	0.12
TOTAL	2.97

W.4a = 45min. FRR & includes Roxul Ins. in Cavity

W.5 2"x6" INTERIOR WALL

1/2" PTD. GWB	
2"x6" STUDS @ 2'-0" O.C.	
1/2" PTD. GWB	

W.6 2"x4" INTERIOR WALL

1/2" PTD. GWB	
2"x4" STUDS @ 2'-0" O.C.	
1/2" PTD. GWB	

W.6a = 45min. FRR & includes Roxul Ins. in Cavity

R.1 PRE-ENGINEERED SLOPED ROOF (RSI 6.67 REQ'D)

EXTERIOR AIR FILM	
ASPHALT SHINGLES	
2 PLY ROOFING PAPER	
1/2" PLYWOOD SHEATHING	
PRE-ENG. TRUSSES @ 2'-0" O.C. WITH INSULATION	1.86
R - 40 INSULATION	7.04
6 MIL POLY VAPOUR BARRIER	0.00
1/2" PTD. GWB	0.076
INTERIOR AIR FILM	0.11
TOTAL	9.1

RSI parallel = 100(1/1.79)+(89/2.23) = 1.86

R.2 PRE-ENGINEERED MONOCHORD SLOPED ROOF (RSI 4.67 REQ'D)

EXTERIOR AIR FILM	
ASPHALT SHINGLES	
SELF HEALING MEMBRANE (BAKOR BLUESKIN OR EQUAL)	
1/2" PLYWOOD SHEATHING	
PRE-ENG. MONOCHORD TRUSSES @ 2'-0" O.C.	4.59
R - 23 INSULATION	0.00
6 MIL POLY VAPOUR BARRIER	0.076
1/2" PTD. GWB	0.11
INTERIOR AIR FILM	0.11
TOTAL	4.784

RSI parallel = 100(6/2.683)+(94/4.93) = 4.59

R.3 2"x10" RAFTER ROOF

ASPHALT SHINGLES	
SELF HEALING MEMBRANE (BAKOR BLUESKIN OR EQUAL)	
1/2" PLYWOOD SHEATHING	
2"x10" D.FIR RAFTERS @ 2'-0" O.C.	
T&G WOOD SOFFIT	

F.1 TYPICAL FLOOR (2"x10" JOISTS)

FINISH AS PER OWNER	
U-LAY AS REQUIRED	
3/4" T&G PLYWOOD SHEATHING	
1 1/2" 7/8" I-JOISTS @ 2'-0" O.C.	
R30 INSULATION	
1/2" GYPSUM CEILING BOARD	

F.2 BASEMENT & GARAGE FLOOR (5" CONC. FLOOR)

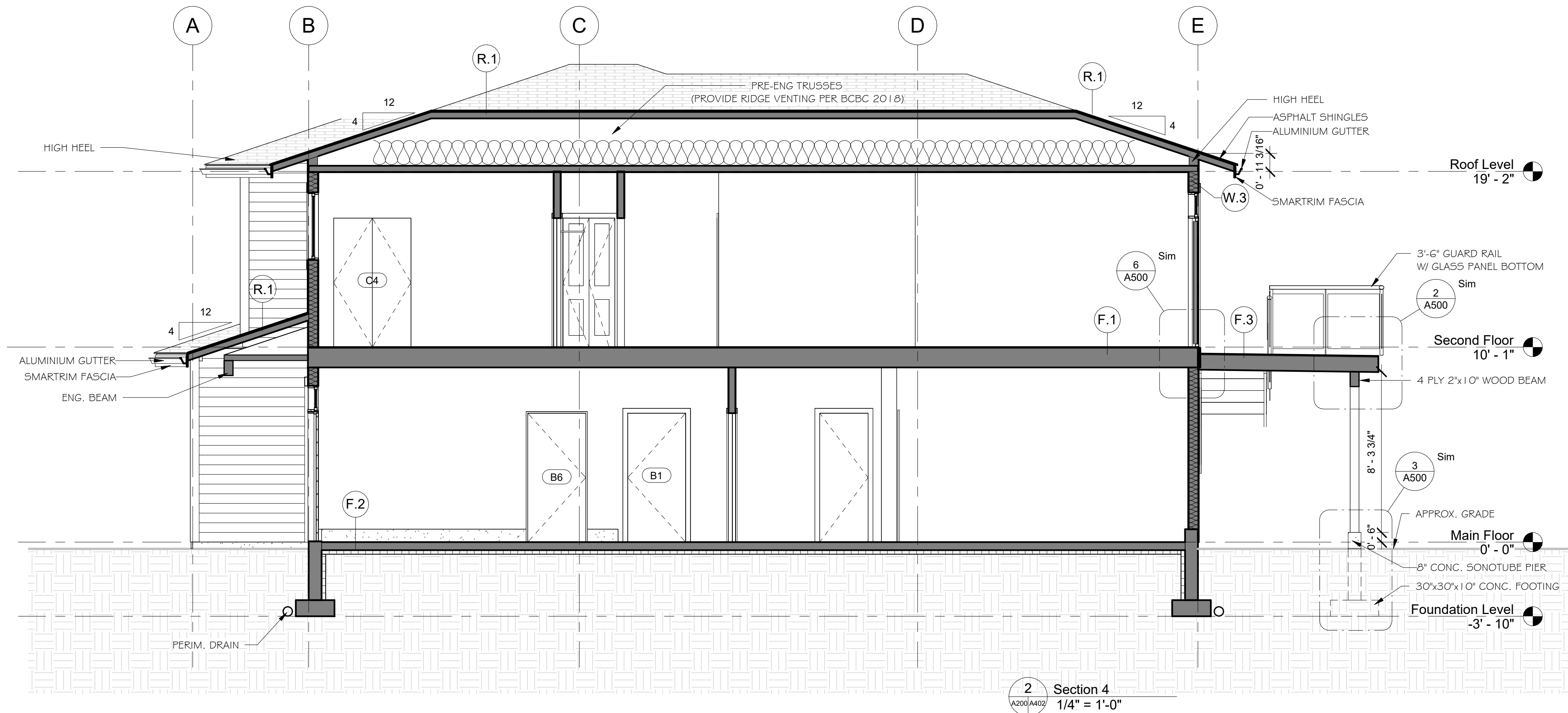
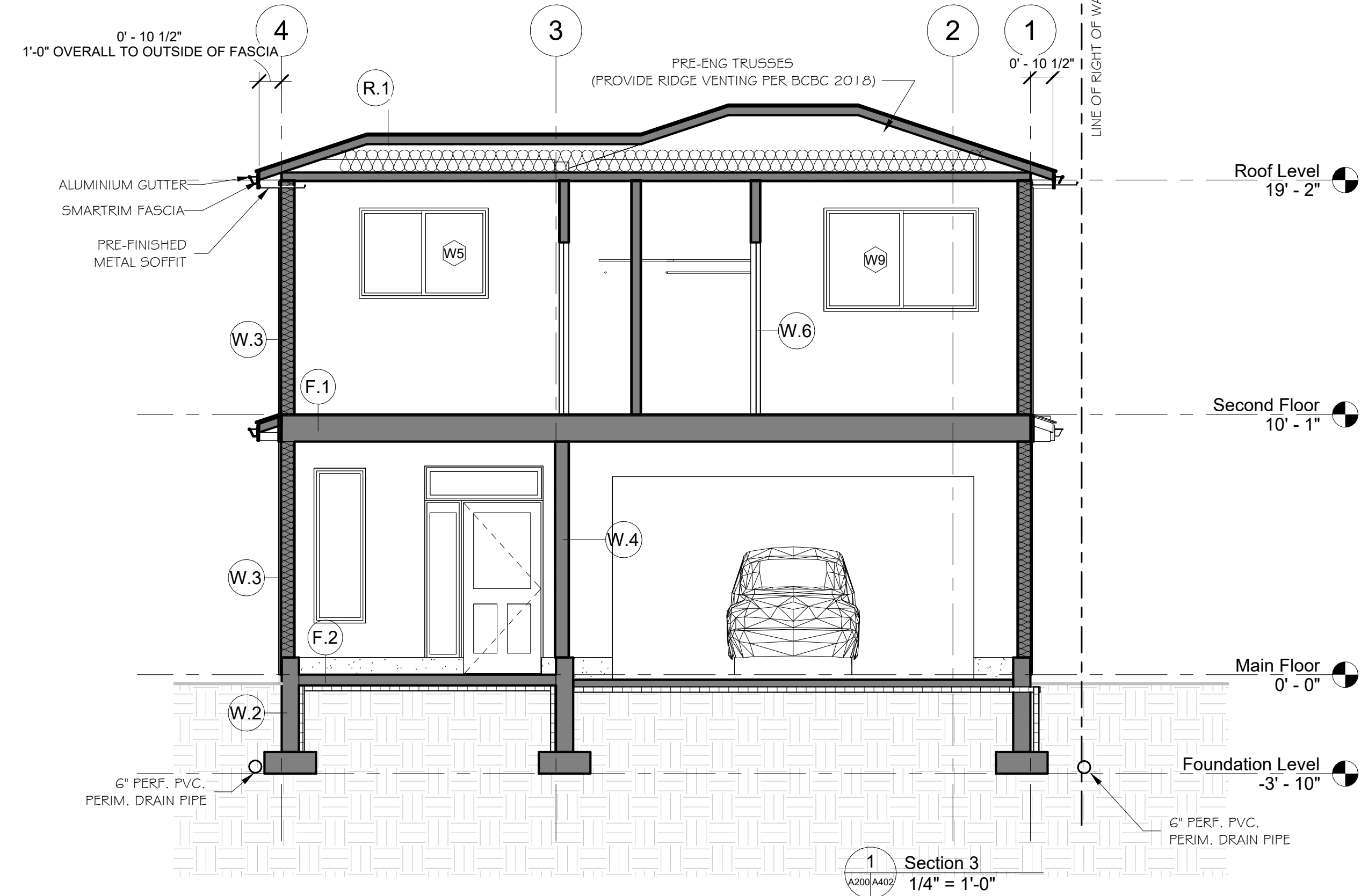
AIR FILM	0.16
5" THICK REINF. CONC SLAB ON GRADE (10M BARS @ 2'-0" O.C.) (6"min. CLEAN ROCK SUITABLE FOR RADON EXTRACTION)	0.051
2 1/2" RIGID INSULATION UNDER SLAB	2.22
TOTAL RSI PROVIDED	2.431

F.3 DECK FLOOR (2"x10" WOOD JOISTS)

DURADECK TYPE WATERPROOF MEMBRANE	
5/8" T&G EXTERIOR GRADE PLYWOOD SHEATHING	
2"x10 WOOD FLOOR JOISTS @ 2'-0" O.C.	

F.4 EXTERIOR CONC. SLAB (5" CONC. FLOOR)

5" THICK REINF. CONC SLAB ON GRADE (10M BARS @ 2'-0" O.C.)	
--	--



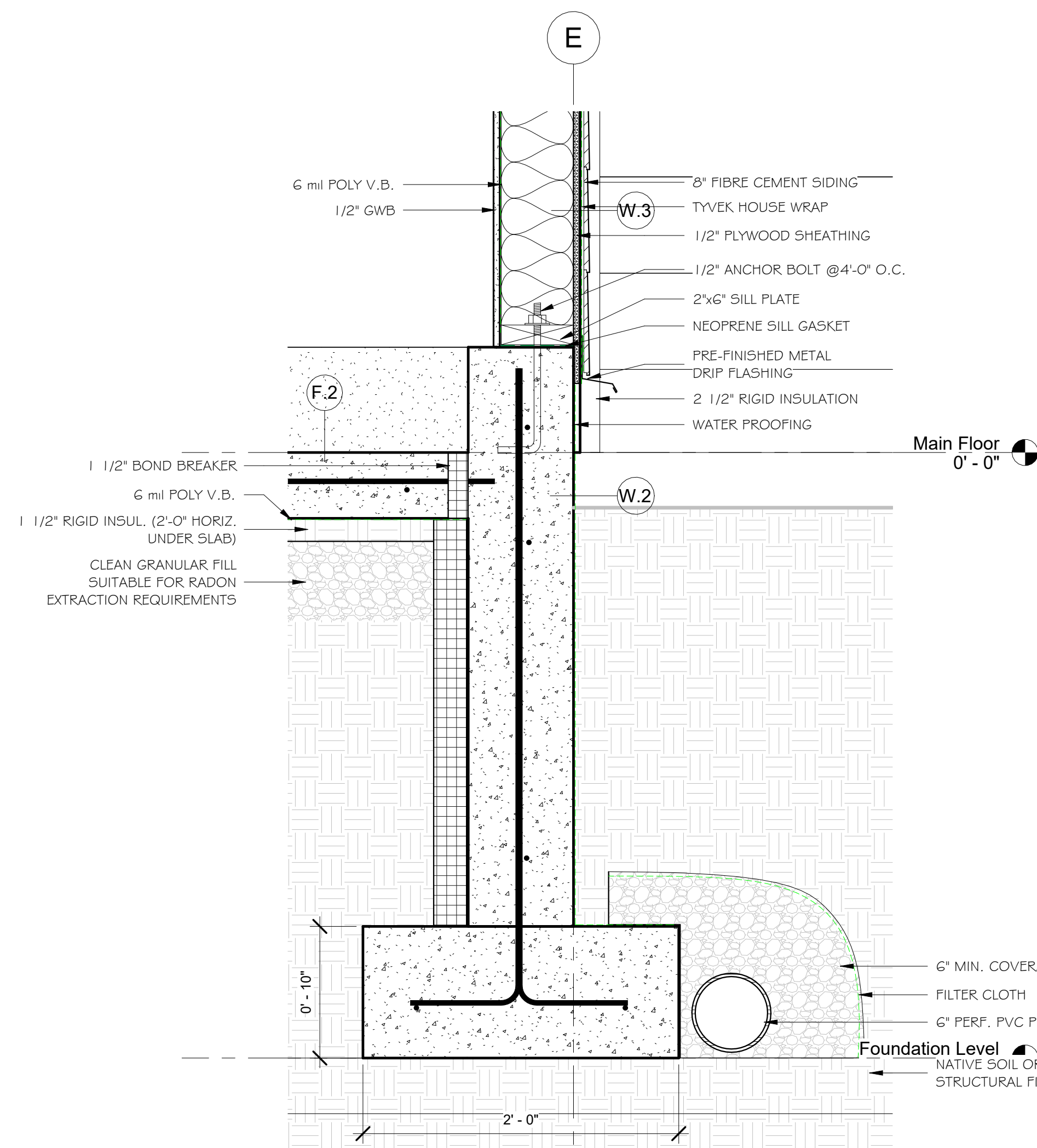
2 Section 4
1/4" = 1'-0"

1 Section 3
1/4" = 1'-0"

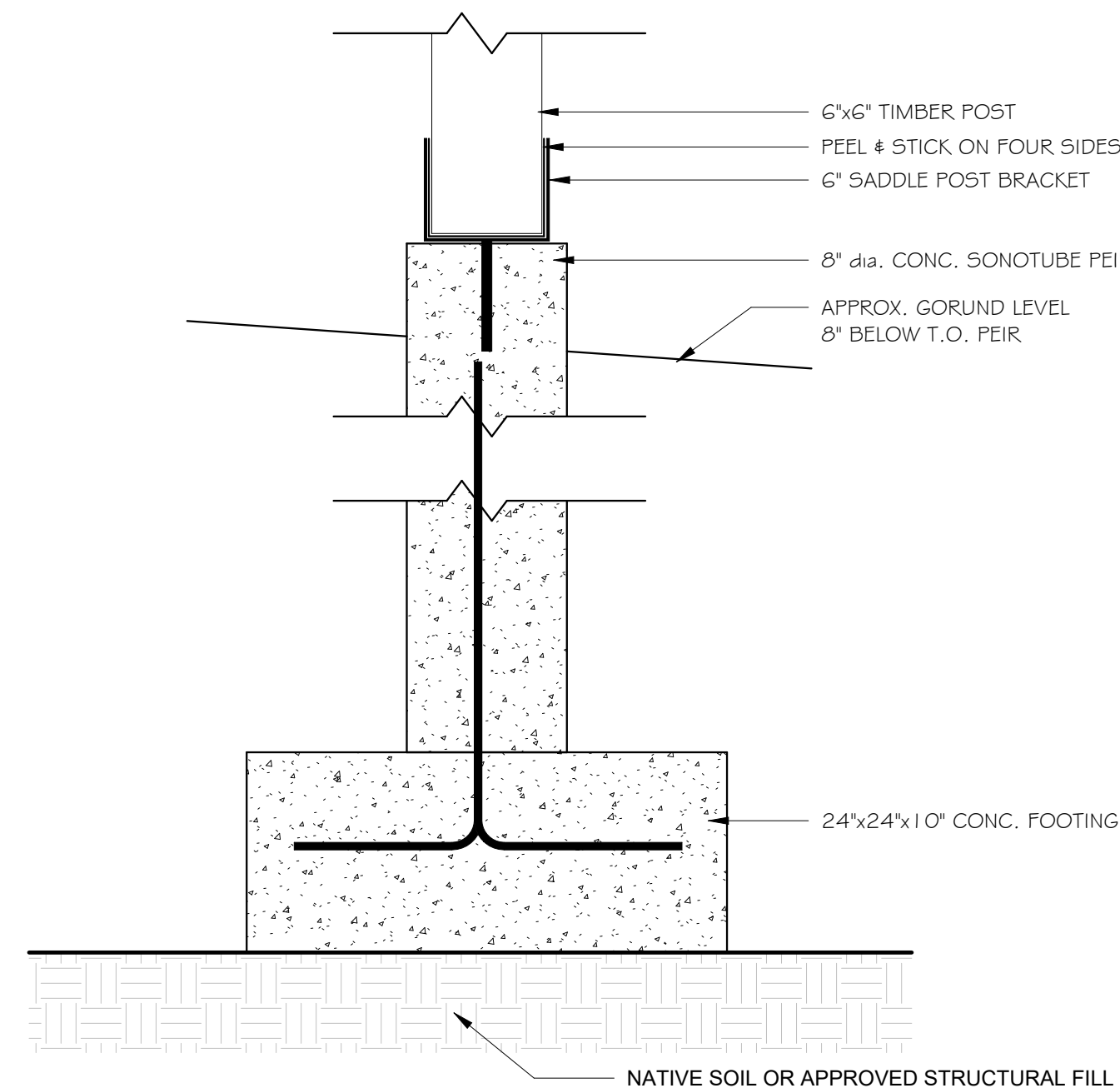
Construction Legend
1/4" = 1'-0"

Revision Schedule

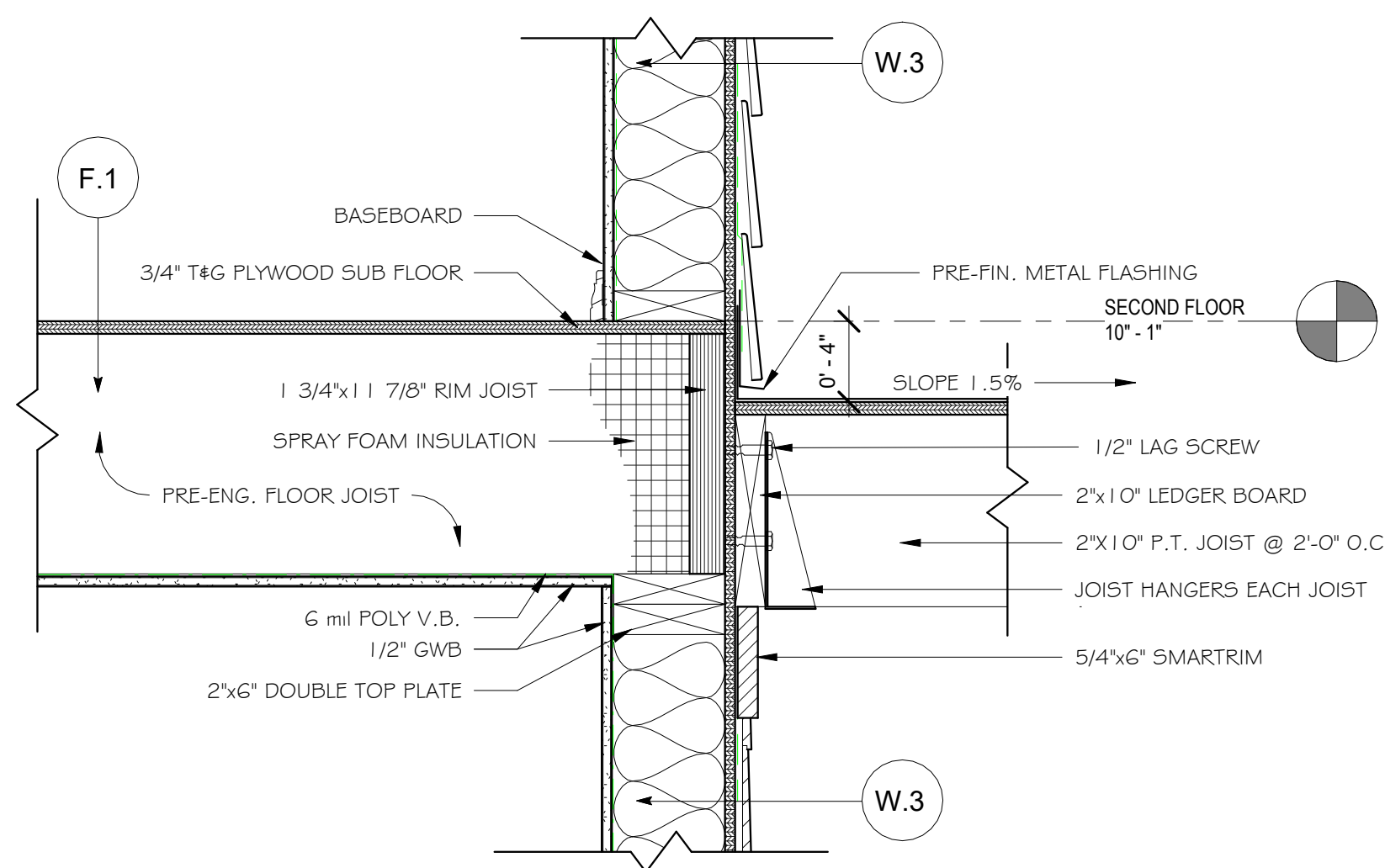
#	by	Description	Date
5		Revised for final Review	2022-8-15
6		Revised for Construction	2022-12-30
7		Revised for Construction	2023-01-17
8		Revision for Construction (1'-0" Overhang)	2023-01-27
9		Revision for Construction	2023-02-14



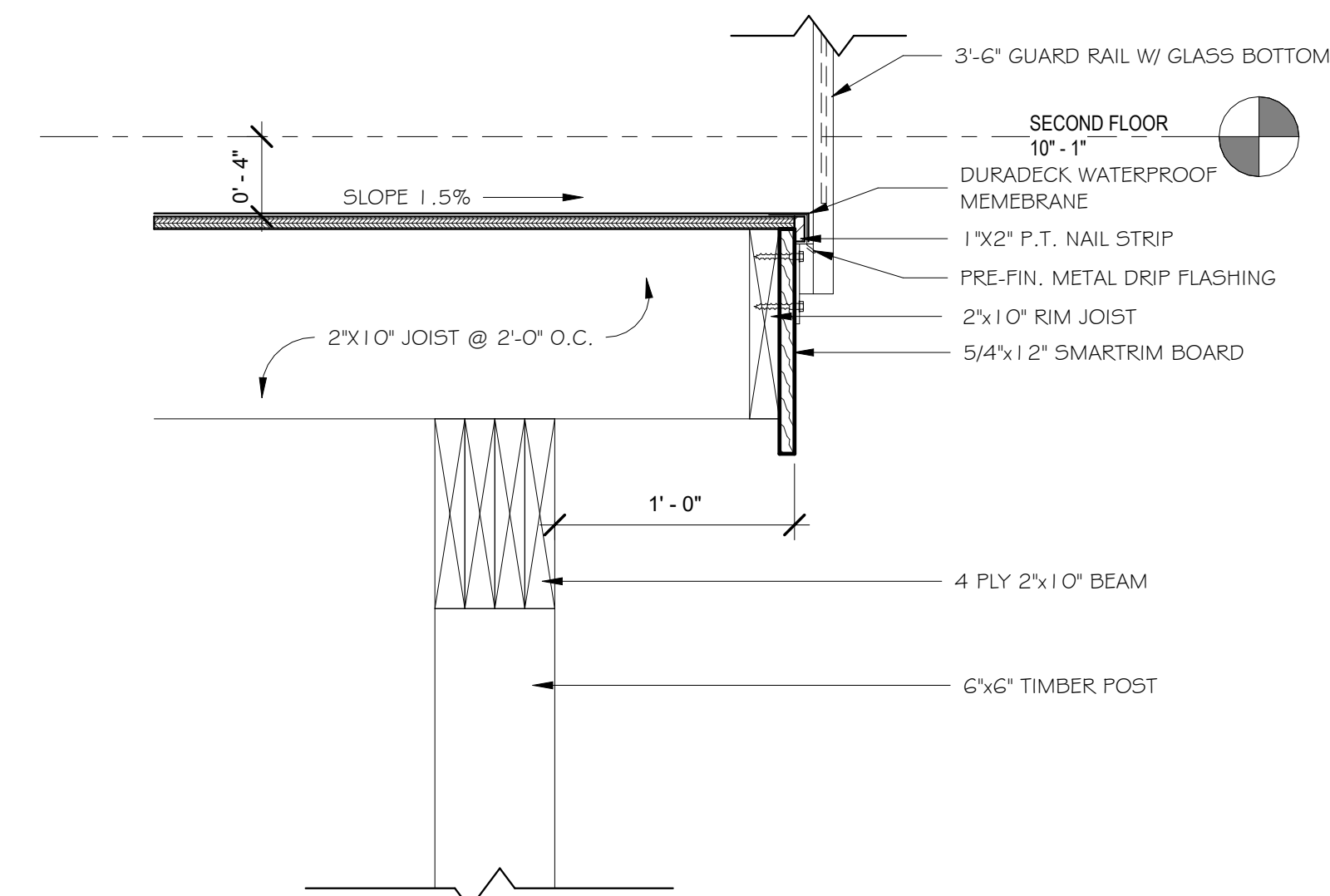
1 Section 1 - Callout 1
1 1/2" = 1'-0"



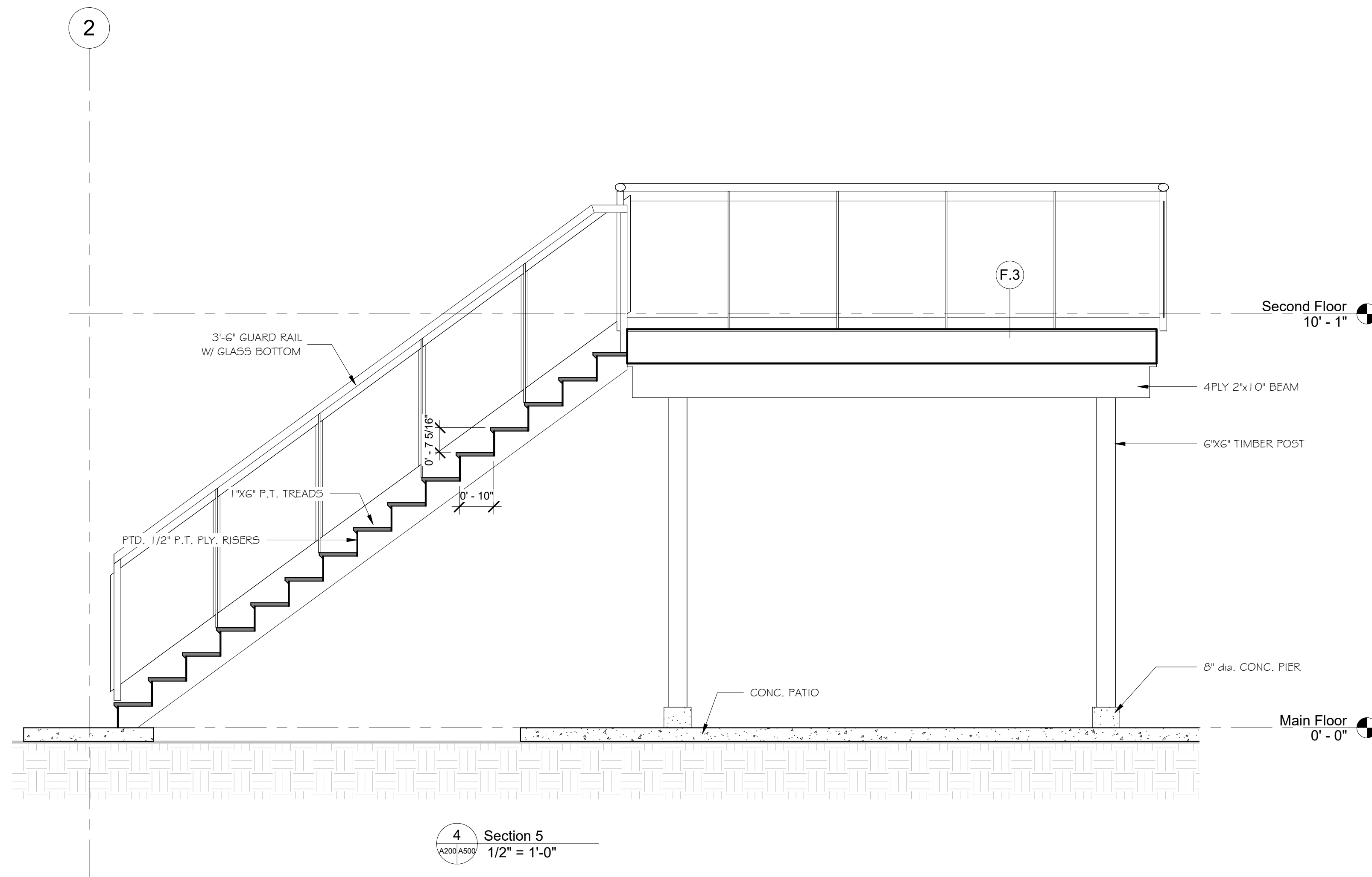
3 Foundation / Footing Detail
1 1/2" = 1'-0"



6 Floor - Floor Deck Connection Detail
1 1/2" = 1'-0"



2 Floor / Deck - Post Connection Detail
1 1/2" = 1'-0"



4 Section 5
1/2" = 1'-0"

**SINGLE FAMILY
FOR SURE SQUARE
HOMES**

Crestline St. Lot A
Kamloops, BC

DISCLAIMER
These drawings and subject matter are the confidential property of JFDESIGNS, and are not to be reproduced, copied, scaled or used for anything without written consent.

NOTE: These drawings are half size when printed at 50% on 11x17 size paper

Building Details

PROJECT # 2022-360
SCALE As indicated
DATE January 2022

A500

Revision Schedule			
#	by	Description	Date

5		Revised for final Review	2022-8-15
6		Revised for Construction	2022-12-30
7		Revised for Construction	2023-01-17
8		Revision for Construction (1'-0" Overhang)	2023-01-27
9		Revision for Construction	2023-02-14

SINGLE FAMILY HOMES FOR SURESQUARE

Crestline St. Lot A
Kamloops, BC

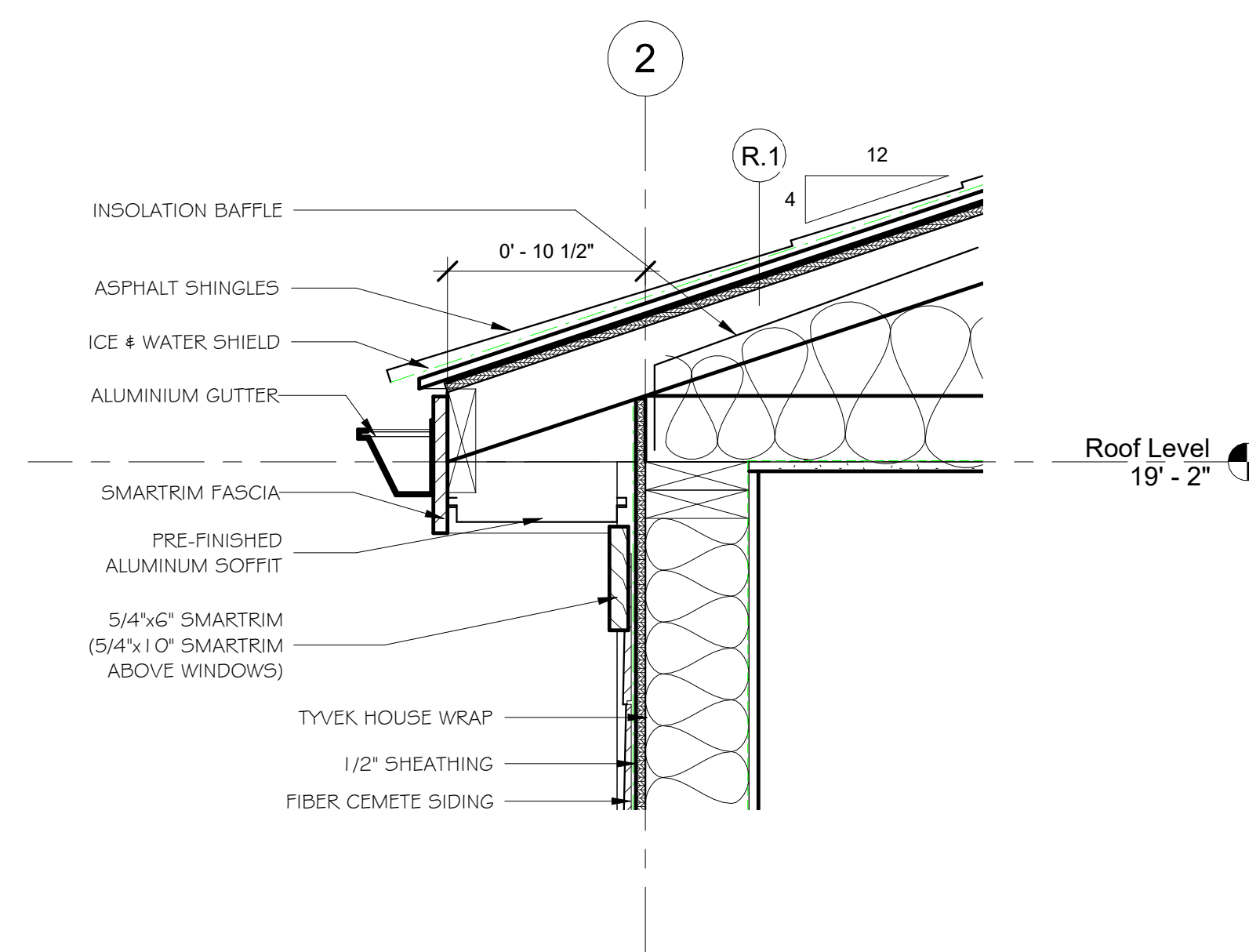
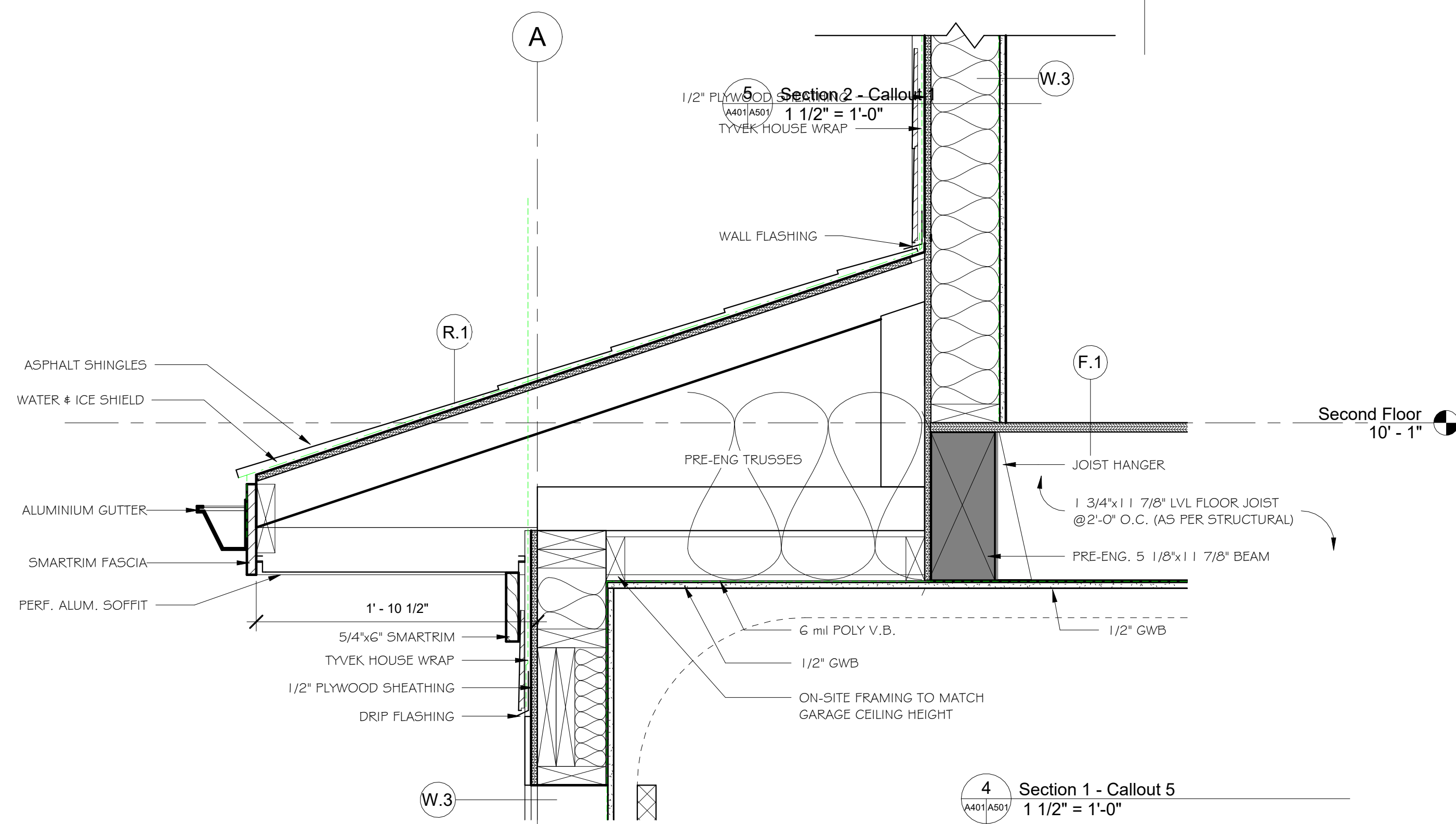
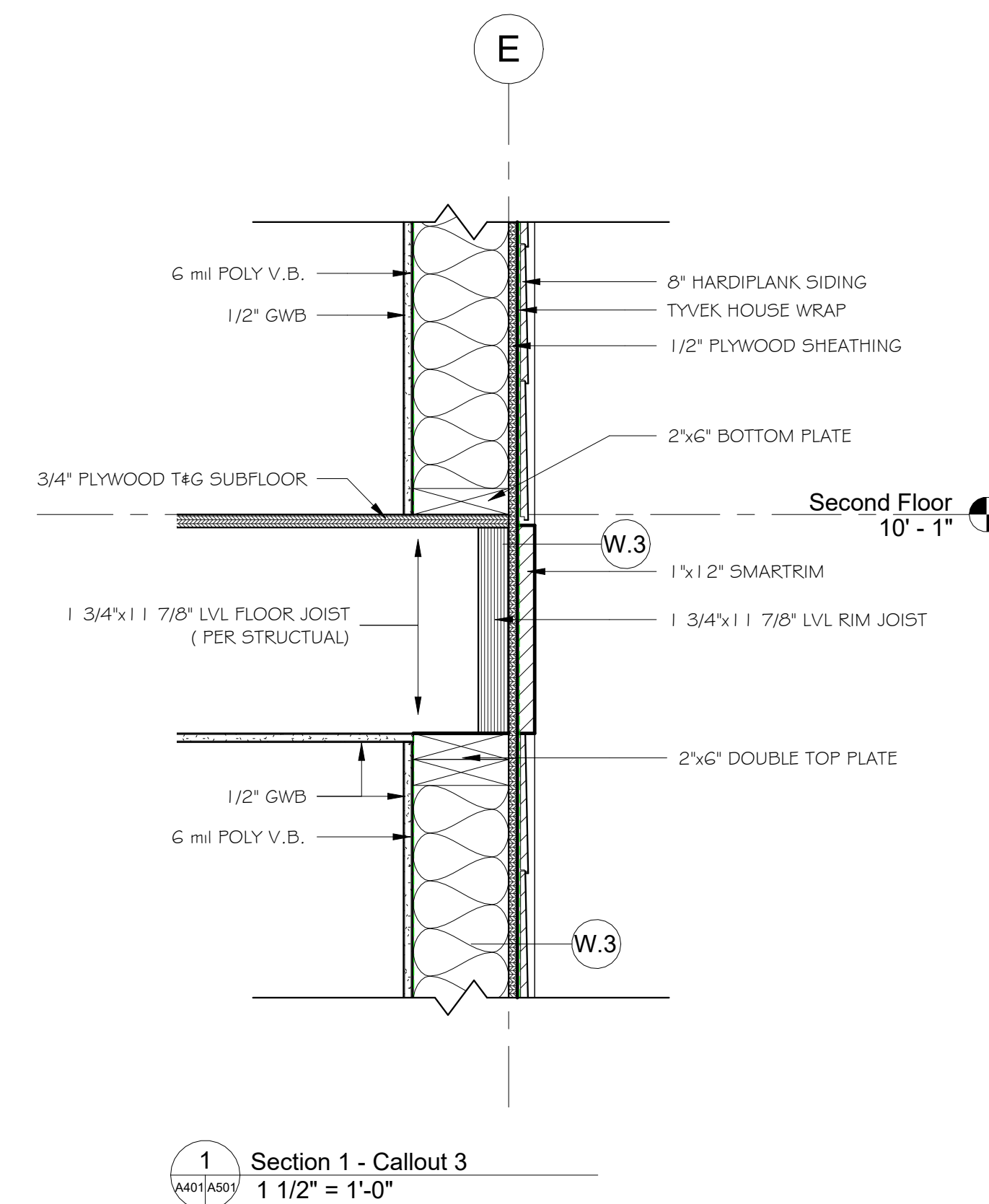
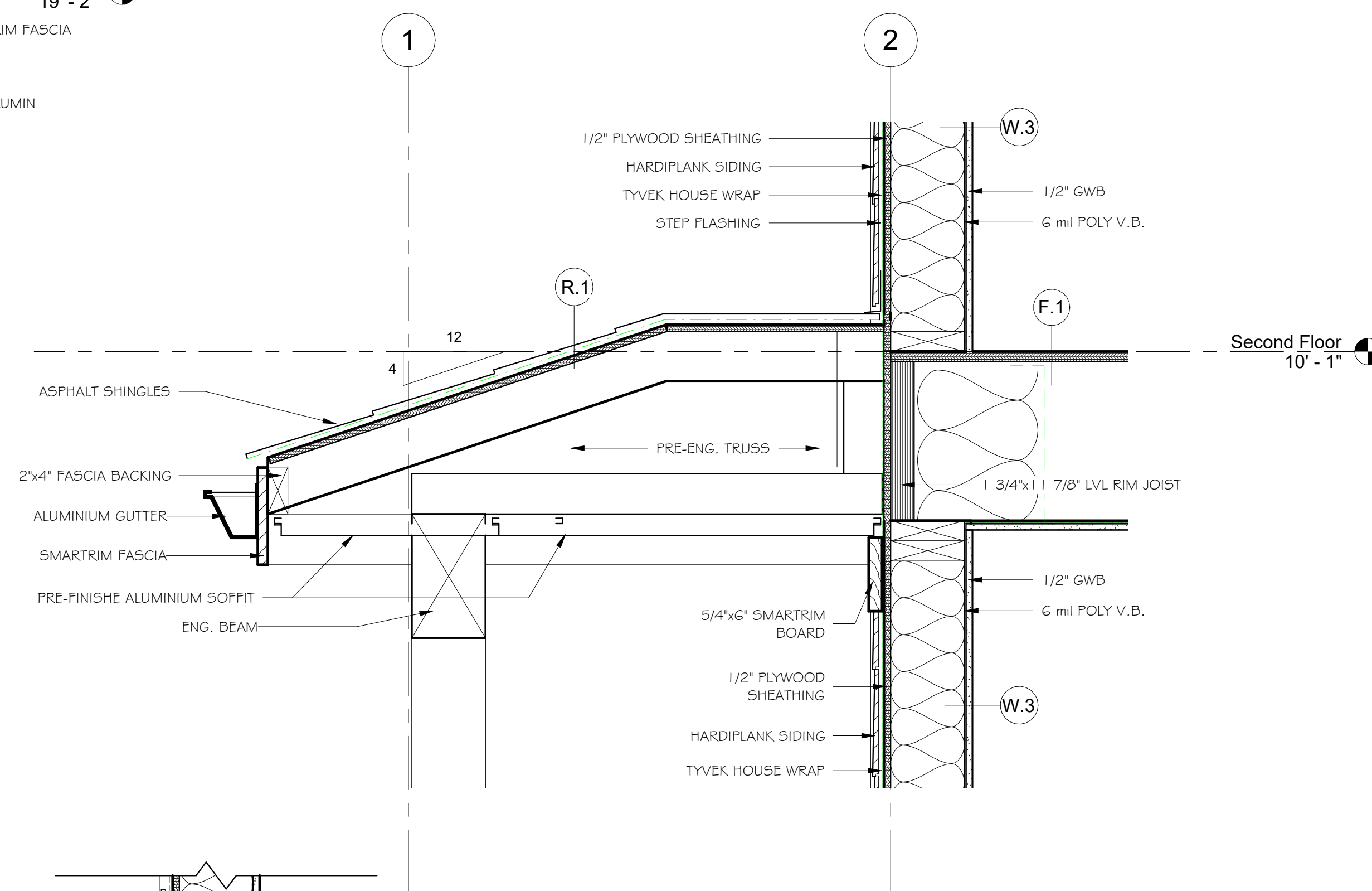
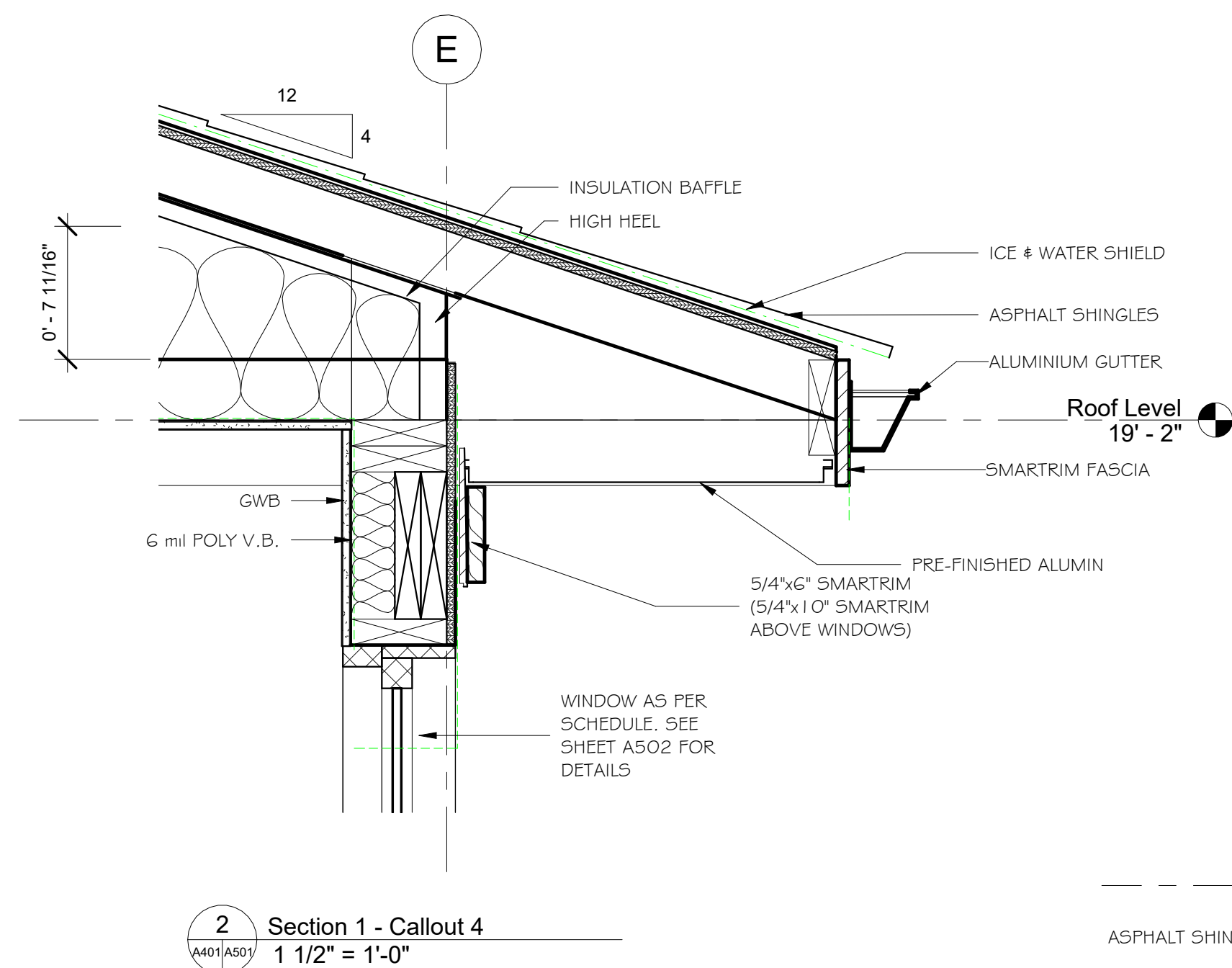
DISCLAIMER
These drawings and subject matter are the confidential property of JFDESIGNS, and are not to be reproduced, copied, scaled or used for anything without written consent.

NOTE: These drawings are half size when printed at 50% on 11x17 size paper

Building Details

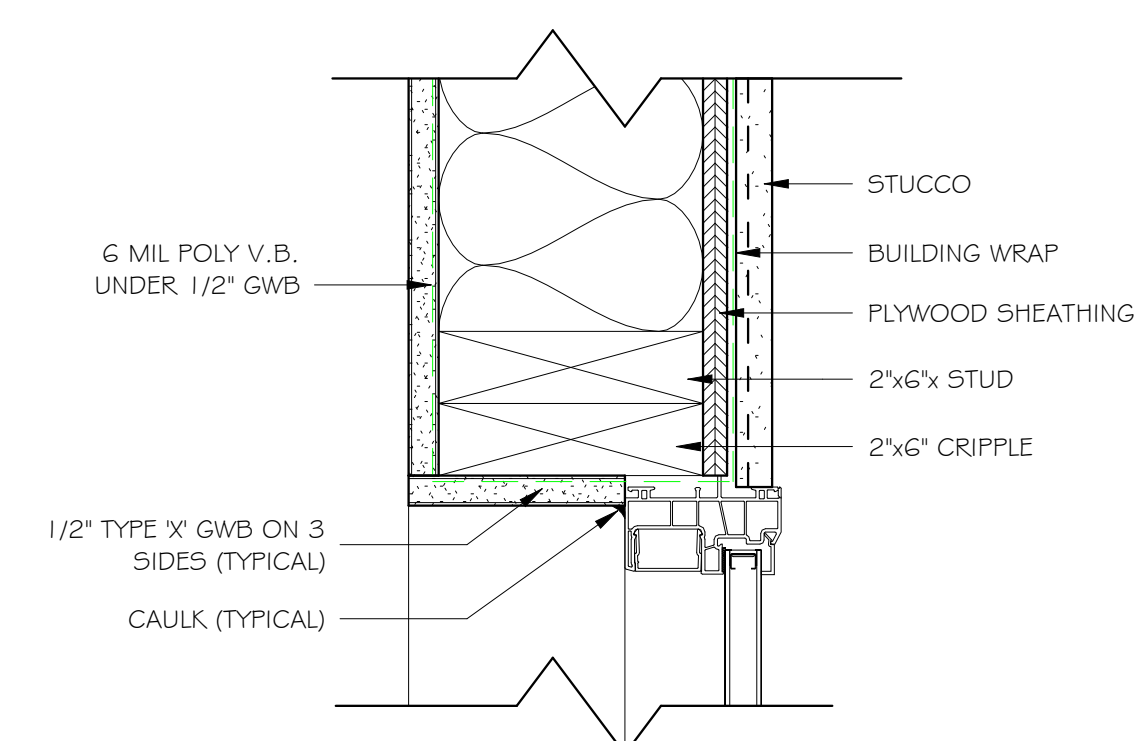
PROJECT # 2022-360
SCALE 1 1/2" = 1'-0"
DATE January 2022

A501

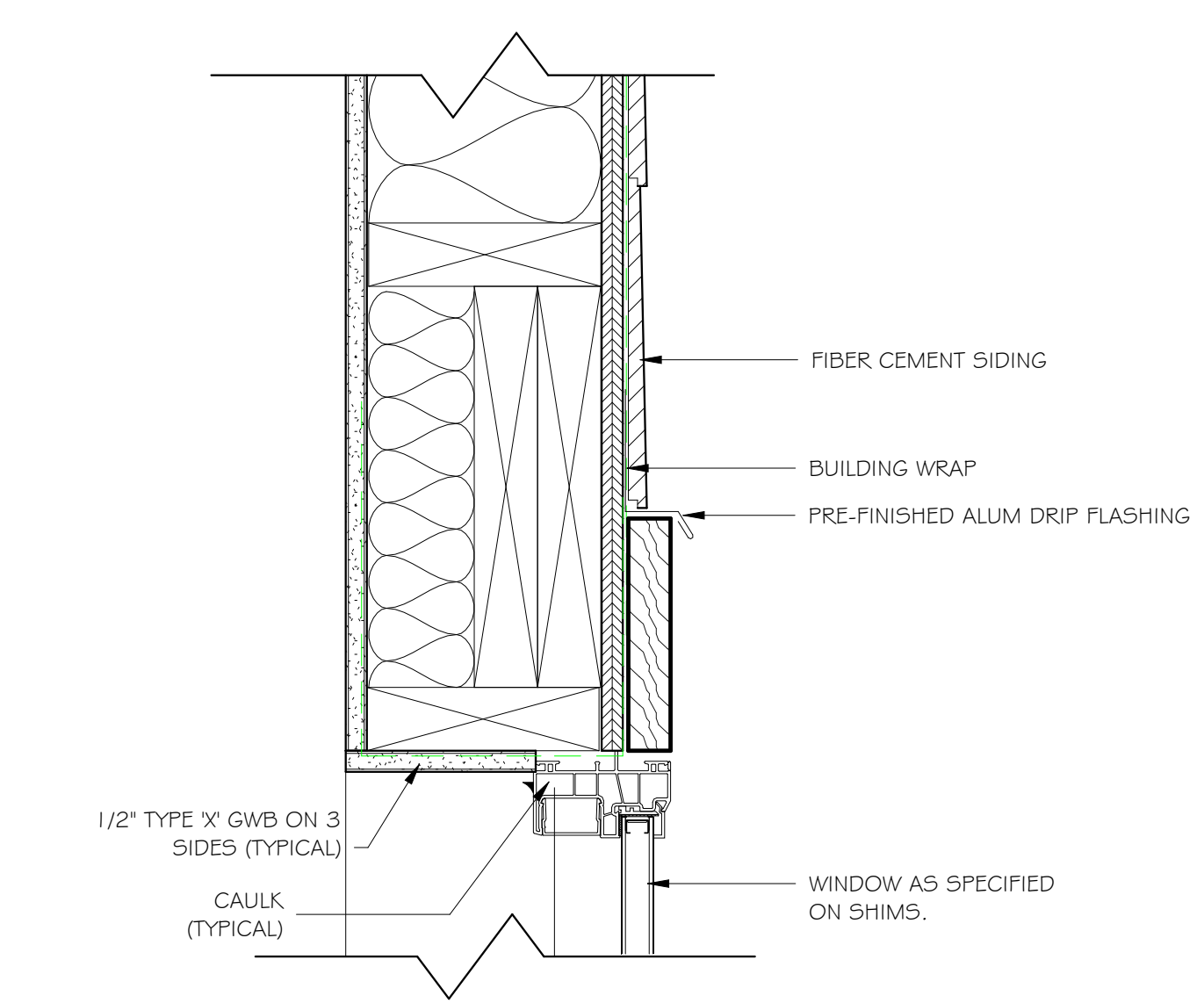


Revision Schedule			
#	by	Description	Date

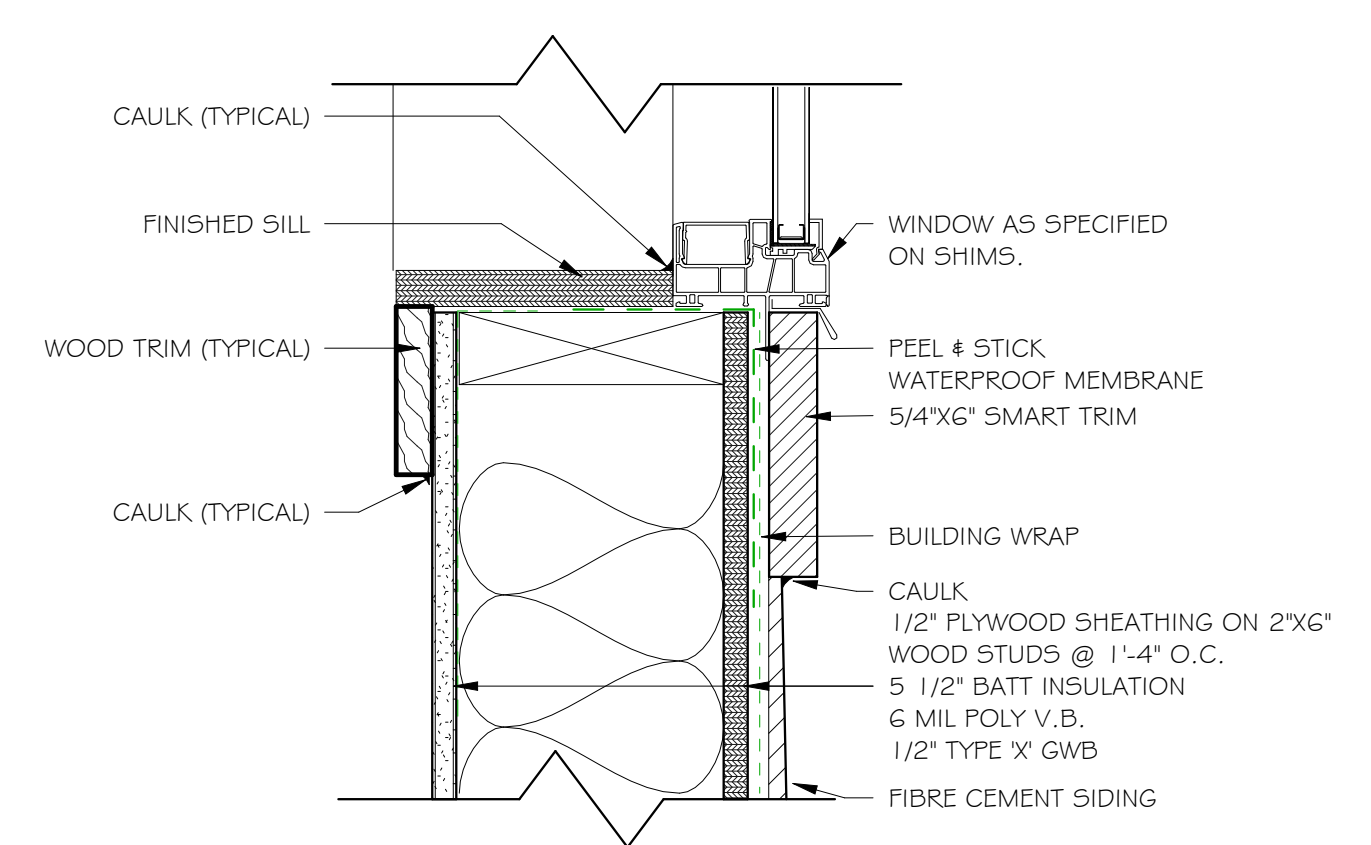
4		Revised Plans for Review	2022-7-26
5		Revised for final Review	2022-8-15
6		Revised for Construction	2022-12-30
7		Revised for Construction	2023-01-17
8		Revision for Construction (1'-0" Overhang)	2023-01-27
9		Revision for Construction	2023-02-14



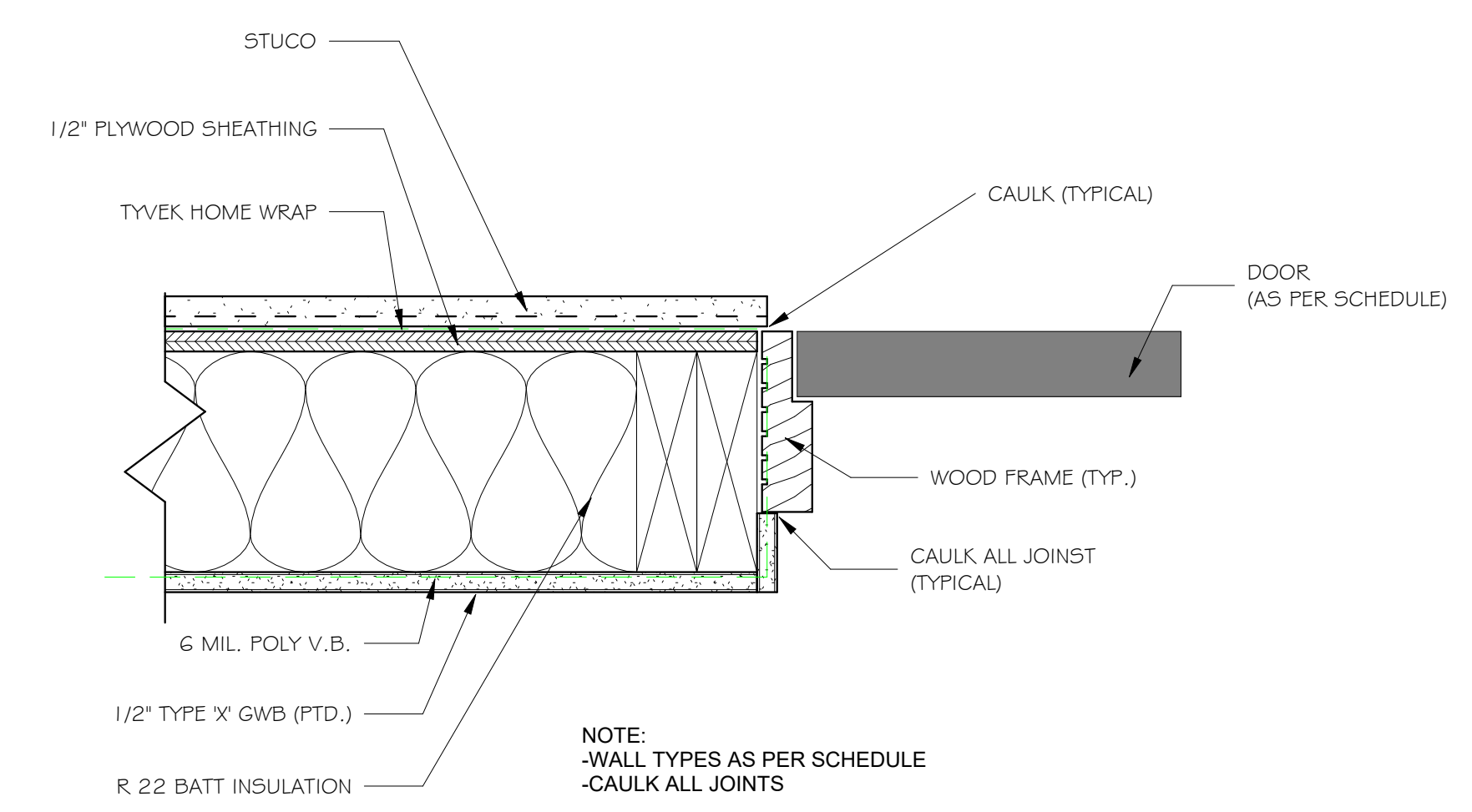
④ TYPICAL EXT. WINDOW JAMB DETAIL 1
3" = 1'-0"



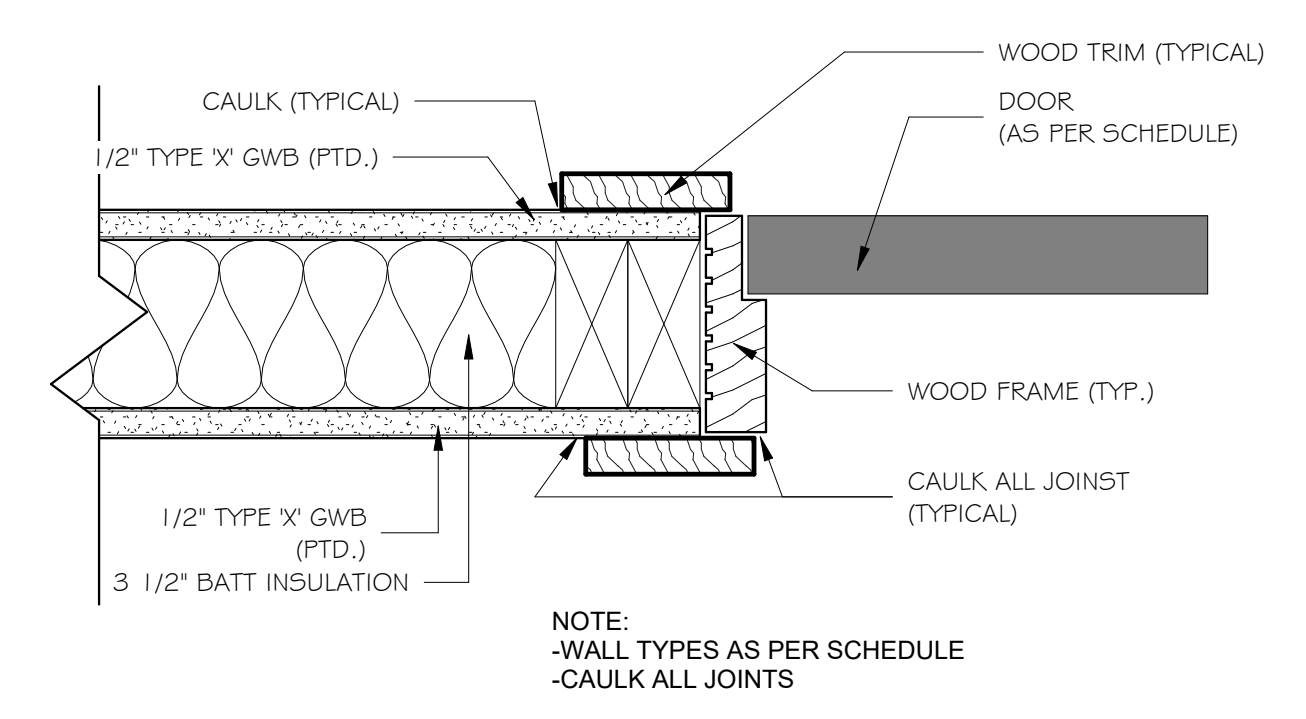
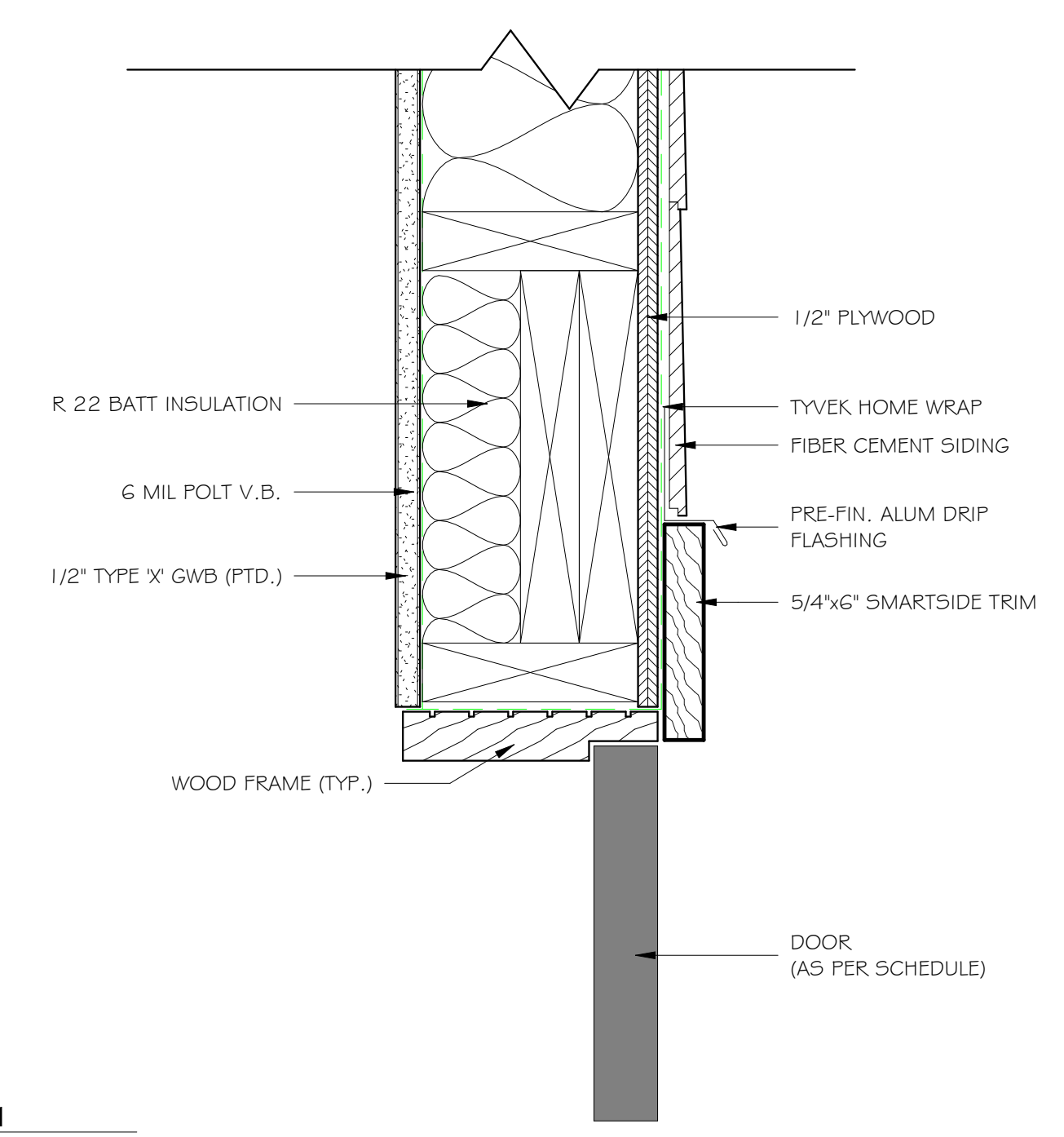
① TYPICAL EXT. WINDOW HEAD DETAIL
3" = 1'-0"



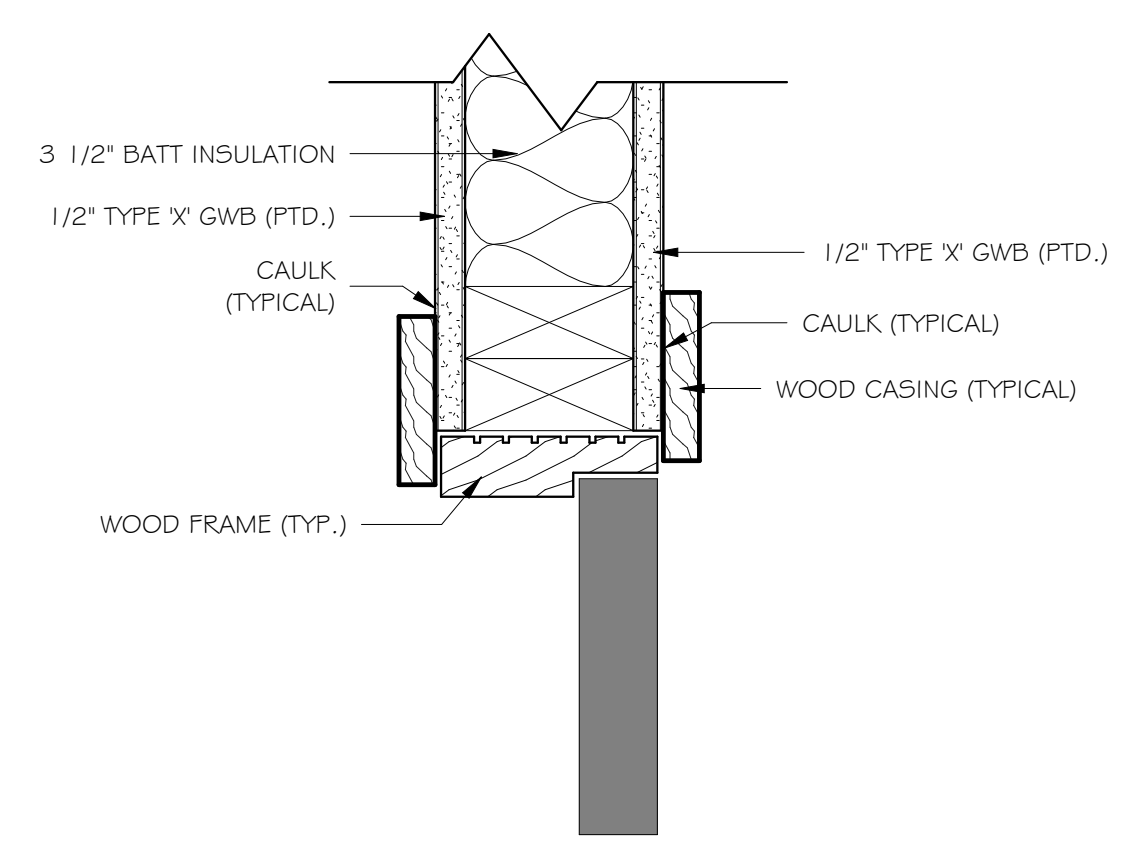
③ TYPICAL EXT. WINDOW SILL DETAIL
3" = 1'-0"



⑤ Typical Exterior Door Jamb Detail 1
3" = 1'-0"



② Typical Interior Door Jamb Detail 1
3" = 1'-0"



**SINGLE FAMILY
FOR SURESQUARE
HOMES**
Crestline St. Lot A
Kamloops, BC

DISCLAIMER
These drawings and subject matter are the confidential property of JFDESIGNS, and are not to be reproduced, copied, scaled or used for anything without written consent.

NOTE: These drawings are half size when printed at 50% on 11x17 size paper

Door & Window Details

PROJECT #	2022-360
SCALE	3" = 1'-0"
DATE	January 2022