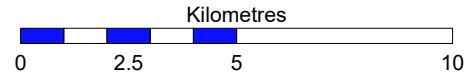
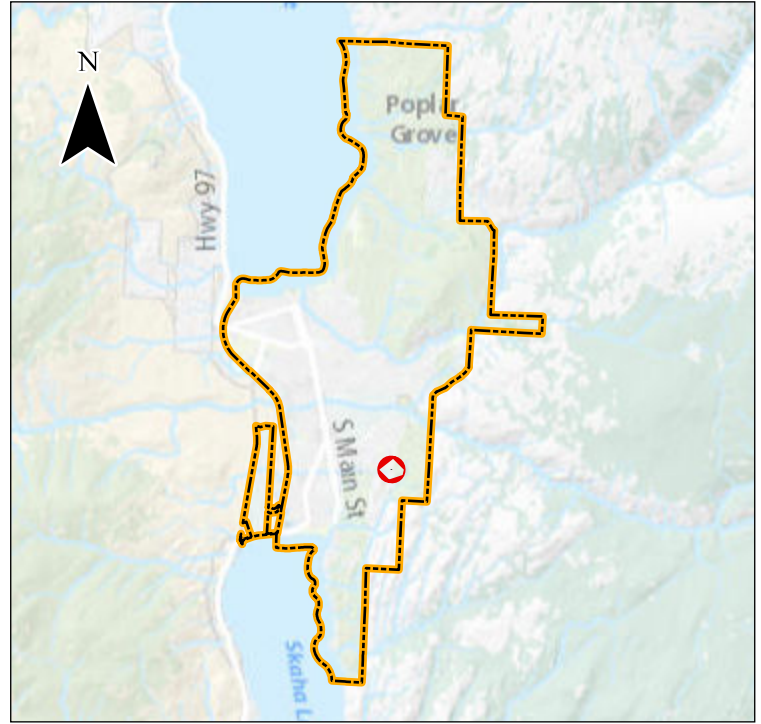


1:485



1:175,000

 City of Penticton Boundary

As of 2/28/2024

TAX INFORMATION

Tax Folio: 07947-015 **PID:** 030-187-559

Lot Size: 7162 SQUARE FEET

Legal Description:

LOT 3 DISTRICT LOT 2710 SIMILKAMEEN DIVISION YALE DISTRICT PLAN EPP69185

ASSESSMENT

Year	Gross	Improvements	Total
2024	\$384,000.00	\$100,000.00	\$484,000.00
2023	\$399,000.00	\$0.00	\$399,000.00
2022	\$370,000.00	\$0.00	\$370,000.00
2021	\$356,000.00	\$0.00	\$356,000.00
2020	\$351,000.00	\$0.00	\$351,000.00

LAND USE INFORMATION

Agricultural Land Reserve Status: Not applicable
Federal Airport Zoning: Not applicable
Hazard Area: wildfire
Land Use Contract: Not applicable
Natural Area: Not applicable

Site Specific Zoning: Not applicable

2023 Geotechnical Hazard Assessment: Detailed Geotechnical Investigation

Zoning: R1

Official Community Plan - Future Land Use: Low Density Residential
Official Community Plan - Downtown Development Permit Area: Not applicable
Official Community Plan - Hillside Development Permit Area: Not applicable
Official Community Plan - Riparian Development Permit Area: Not applicable
Official Community Plan - Environmental Development Permit Area: Not applicable

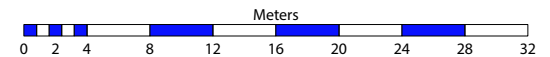
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1:480
Tuesday, June 25, 2024 4:19 PM



Coordinate System: NAD 1983 CSRS UTM Zone 11N



#211, 236 - 91 Street SW
 EDMONTON, ALBERTA
 Phone: 780.490.0234
 drafting@DRAWDesigns.ca
 www.DRAWDesigns.ca

DEVELOPED FOR: **OK Extreme Home Builders**
 756 Eckhardt Ave. NW
 Penticon, B.C.
 Phone: 1.250.488.7312
 Email: okextremebuilders@gmail.com

PROJECT: **Lot 3 Hawthorne Drive**
 ADDRESS: 2807 Hawthorne Drive
 LOT: 3
 BLOCK: PLAN: EPP69185

NOTES:
 THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND OTHER DATA NOTED HEREIN WITH CONDITIONS ON SITE.
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003	Sept 29 2021	JJS
004	Nov 1 2021	JB

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DATE: 2021-11-30
 DESIGNED BY: JJS
 DRAWN BY: JJS

DRAWING #: **1**
8

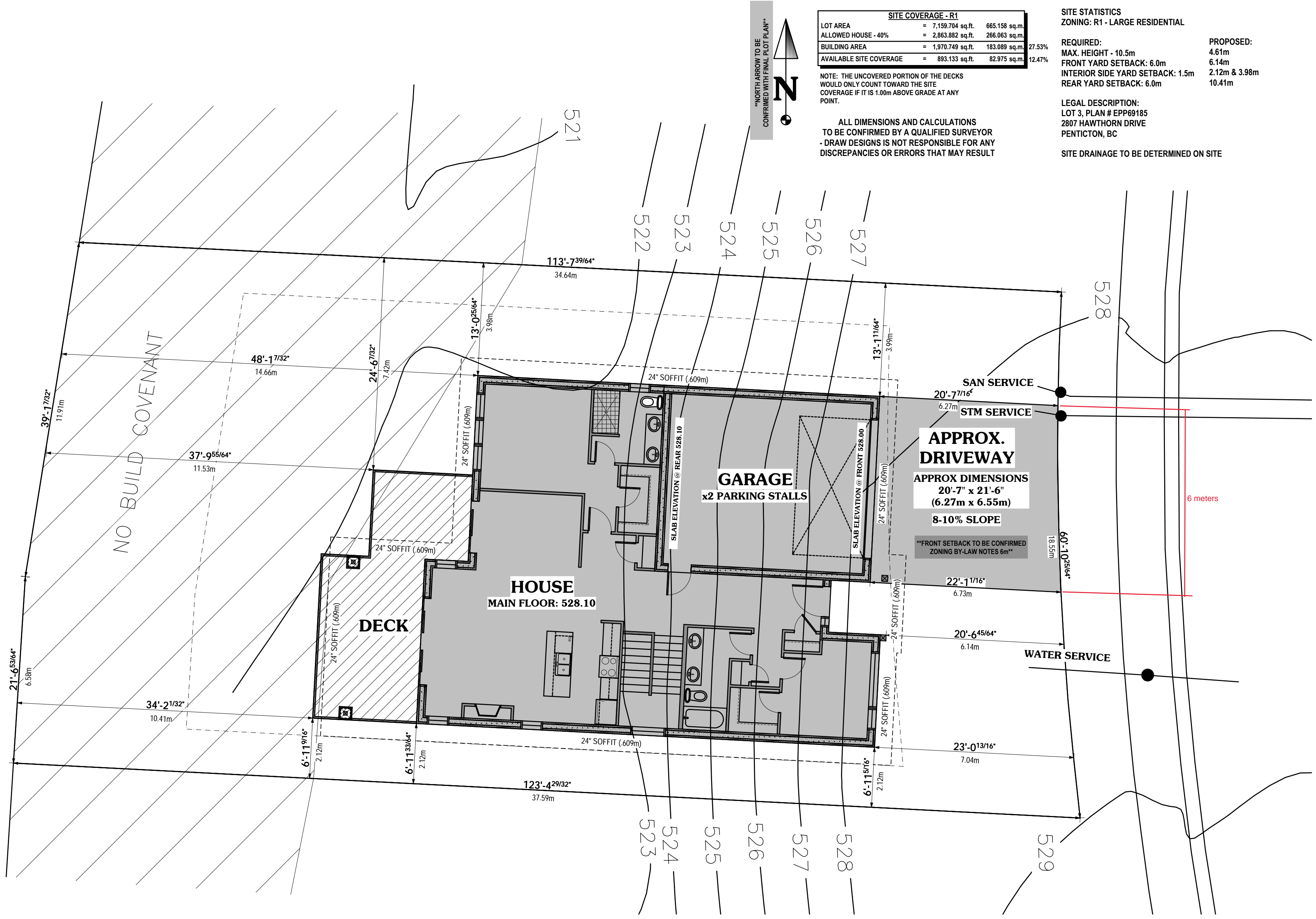
SITE COVERAGE - R1		
LOT AREA	= 7,159.704 sq.ft.	665,158 sq.m
ALLOWED HOUSE - 40%	= 2,863.882 sq.ft.	266,063 sq.m
BUILDING AREA	= 1,970.749 sq.ft.	183,089 sq.m
AVAILABLE SITE COVERAGE	= 893.133 sq.ft.	82,975 sq.m

27.53%
12.47%

NOTE: THE UNCOVERED PORTION OF THE DECKS WOULD ONLY COUNT TOWARD THE SITE COVERAGE IF IT IS 1.00m ABOVE GRADE AT ANY POINT.

ALL DIMENSIONS AND CALCULATIONS TO BE CONFIRMED BY A QUALIFIED SURVEYOR - DRAW DESIGNS IS NOT RESPONSIBLE FOR ANY DISCREPANCIES OR ERRORS THAT MAY RESULT

SITE STATISTICS
 ZONING: R1 - LARGE RESIDENTIAL
 REQUIRED:
 MAX. HEIGHT - 10.5m
 FRONT YARD SETBACK: 6.0m
 INTERIOR SIDE YARD SETBACK: 1.5m
 REAR YARD SETBACK: 6.0m
 PROPOSED:
 4.61m
 6.14m
 2.12m & 3.98m
 10.41m
 LEGAL DESCRIPTION:
 LOT 3, PLAN # EPP69185
 2807 HAWTHORNE DRIVE
 PENTICON, BC
 SITE DRAINAGE TO BE DETERMINED ON SITE



SITE PLAN
 SCALE 1:100

DESIGNED/DRAWN BY:



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DATE: 2021-11-30
DESIGNED BY: JJS
DRAWN BY: JJS

DRAWING #:

2

8

- GENERAL NOTES:**
- ALL CONSTRUCTION TO CONFORM TO LOCAL BYLAWS AND THE N.B.C. - A.E. BUILDING CODE
 - DESIGN IS BASED ON AN ENGINEERED FLOOR JOIST SYSTEM - SEE ENGINEER'S DESIGN
 - DESIGN IS BASED ON AN ENGINEERED ROOF TRUSS SYSTEM - SEE ENGINEER'S DESIGN
 - EXTERIOR WALLS ARE SHOWN AS 6" THICK AND INCLUDE AN ALLOWANCE FOR 1/2" OF SHEATHING ON THE EXTERIOR
 - INTERIOR WALLS ARE SHOWN AS 3 1/2", 5 1/2" OR 7 1/2" THICK - WALLBOARD REDUCES THE ROOM SIZES
 - ALL DIMENSIONS ARE TAKEN TO THE FACE OF INTERIOR STUDS AND OUTSIDE FACE OF SHEATHING ON EXTERIOR WALLS AND OUTSIDE FACE OF CONCRETE WALLS
 - ALL BEAMS (ENGINEERED OR DIMENSIONAL) TO BE SIZED / VERIFIED BY SUPPLIER
 - ALL WINDOWS SUBJECT TO LOCAL BYLAWS AND MUST MEET CODE FOR EGRESS IN REQUIRED ROOMS
 - WINDOW SIZES SHOWN ARE APPROXIMATE AND SHOULD BE VERIFIED WITH THE BUILDER / CONTRACTOR / OWNER PRIOR TO ORDERING / INSTALLATION - INCLUDING ROUGH OPENINGS / STYLE / TYPE / GRILLES
 - ALL OVERHANGS SUBJECT TO LOCAL BYLAWS
 - WEEPING TILE TO BE INSTALLED AROUND ALL STRIP FOOTINGS AND TIED TO DRAINAGE SYSTEM
 - ALL WALLS / CEILINGS / FLOORS / DOORS THAT ARE COMMON TO HOUSE AND GARAGE TO BE FIRE-RATED AND GAS-PROOFED TO MEET CODE
 - GARAGE PILE LAYOUT (IF REQUIRED) TO BE DESIGNED AND VERIFIED BY A QUALIFIED STRUCTURAL ENGINEER
 - ATTIC ACCESS(ES) TO BE MINIMUM 21" x 23" AS PER N.B.C. - A.E. CW WEATHERSTRIPPING AND INSULATION
 - ROOF VENTS TO BE PROVIDED TO MEET CODE
 - INSULATION STOPS TO BE INSTALLED AS REQUIRED
 - SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS TO BE PROVIDED TO MEET CODE
 - FLASHING TO BE INSTALLED TO MEET CODE AND LOCAL REQUIREMENTS
 - GRADE LINES ARE ESTIMATED ONLY AND SHOULD BE VERIFIED WITH A QUALIFIED SURVEYOR - ENTRY STEPS TO BE ADJUSTED ACCORDINGLY
 - MAIN FLOOR ELEVATION TO FRONT OF GARAGE SLAB ELEVATION TO BE VERIFIED WITH A QUALIFIED SURVEYOR
 - MINIMUM 2" CLEARANCE TO BE MAINTAINED AROUND FURNACE AND FIREPLACE FLUES
 - ALL GLASS SHOWER DOORS / WALLS MUST BE TEMPERED GLASS
 - DRYER VENT TO BE 4" DIAMETER CW HOOD
 - ALL EXHAUST FANS TO VENT TO EXTERIOR
 - ALL WINDOWS 8'-0" AND OVER TO HAVE LINTEL SIZED BY SUPPLIER
 - INTERIOR DOOR FRAMING HEIGHT TO BE 83" FOR 6'-8" DOOR, 99" FOR 8'-0" DOOR
 - DECK SLOPE = MIN. 1/4" PER 12", MAX. 1/2" PER 12"
 - ALL CONSTRUCTION TO ADHERE TO ENERGY EFFICIENCY DETAILS & EFFECTIVE THERMAL RESISTANCE CALCULATIONS (RSI) SHOWN ON LATER PAGES OF THESE DRAWINGS IF BUILDING TO PRESCRIPTIVE PATH



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

*** MAX 24" PARGING ***
PROVIDE NAILING STRIPS
IN FOUNDATION WALL
FOR DROPPED SIDING
AS REQUIRED

**GRADES ARE ESTIMATED
- VERIFY WITH PLOT PLAN**

ESTIMATED PROPOSED GRADE

MAIN CLG 14' - 9 3/8"
GEO: 532.61

24" OVERHANGS (TYP.)
UNLESS OTHERWISE NOTED

MAIN CLG 10' - 1 1/8"
GEO: 531.18

10" FASCIA (TYP.)
UNLESS OTHERWISE NOTED

ACRYLIC STUCCO
AS SHOWN

CULTURED STONE
C/W 2" CAP - AS SHOWN

8"x8" WOOD TIMBER POSTS
@ FRONT ENTRY

RAILING AT STAIRS / DECK /
VERANDA TO MEET CODE

T.O. MAIN FLOOR 0' - 0"
GEO: 528.10

GEO: 527.78

T.O. BSMT. SLAB -10' - 0"
GEO: 524.73



REAR ELEVATION
SCALE: 1/4" = 1'-0"

*** MAX 24" PARGING ***
PROVIDE NAILING STRIPS
IN FOUNDATION WALL
FOR DROPPED SIDING
AS REQUIRED

**GRADES ARE ESTIMATED
- VERIFY WITH PLOT PLAN**

ESTIMATED PROPOSED GRADE

MAIN CLG 14' - 7 1/8"
GEO: 532.61

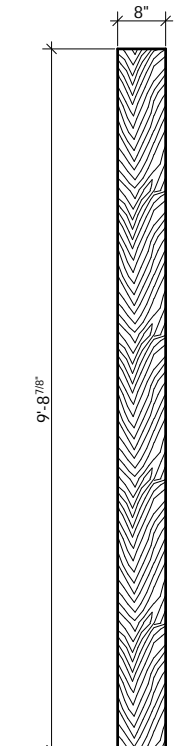
MAIN CLG 10' - 1 1/8"
GEO: 531.18

T.O. MAIN FLOOR 0' - 0"
GEO: 528.10

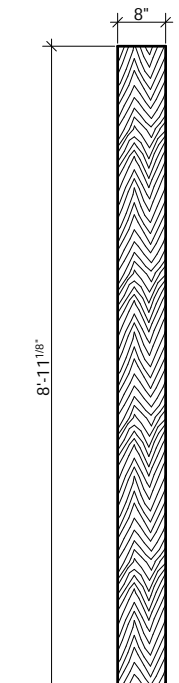
GEO: 527.78

T.O. BSMT. SLAB -10' - 0"
GEO: 524.73

FRONT ENTRY & REAR BALCONY POST DETAIL
SCALE: 3/8" = 1'-0"



REAR WALK-OUT POST DETAIL
SCALE: 3/8" = 1'-0"



2022-02-15

15896

DESIGNED/DRAWN BY:



#211, 236 - 91 Street SW
EDMONTON, ALBERTA
Phone: 780.490.0234
drafting@DRAWDesigns.ca
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DEVELOPED FOR: **OK Extreme Home Builders**
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Penticton, B.C.
Phone: 1.250.488.7312
Email: okextremebuilders@gmail.com

PROJECT: **Lot 3 Hawthorne Drive**
ADDRESS: 2807 Hawthorne Drive
LOT: 3
BLOCK: EPP69185

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DATE: 2021-11-30
DESIGNED BY: JJS
DRAWN BY: JJS

DRAWING #:

3 / 8

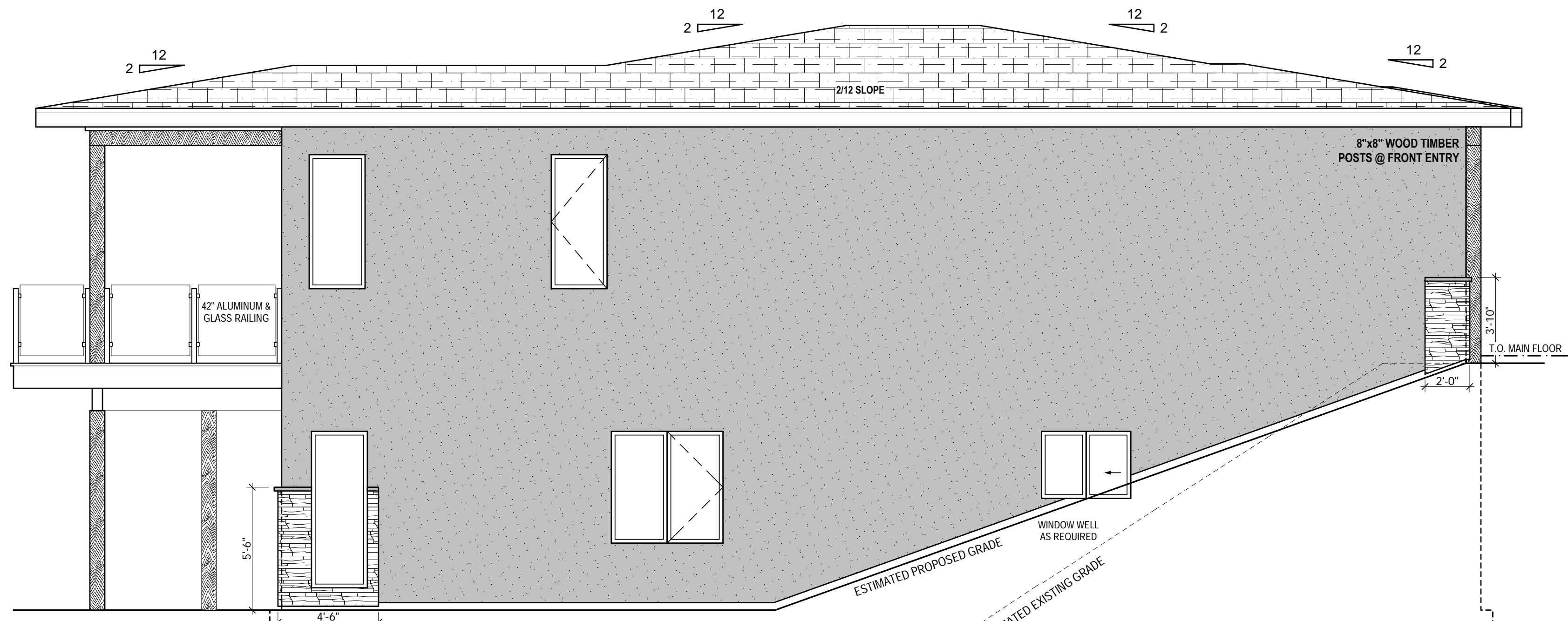
MAIN CLG 14' - 9 3/8"
GEO: 532.61

MAIN CLG 10' - 1 1/8"
GEO: 531.18

T.O. MAIN FLOOR 0' - 0"
GEO: 528.10

GEO: 527.78

T.O. BSMT. SLAB - 10' - 0"
GEO: 524.73



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

**GRADES ARE ESTIMATED
- VERIFY WITH PLOT PLAN**

*** MAX 24" PARGING ***
PROVIDE NAILING STRIPS
IN FOUNDATION WALL
FOR DROPPED SIDING
AS REQUIRED

SPATIAL SEPARATION

TOTAL WALL AREA	= 967.574 sq.ft.
SEPARATING DISTANCE	= 6.92 ft.
ALLOWED OPENINGS (9%)	= 87.082 sq.ft.
TOTAL OPENINGS	= 84.5 sq.ft.

* THESE NUMBERS WILL BE ADJUSTED UPON RECEIPT OF THE FINAL PLOT PLAN & THE SIZE OF WINDOWS MAY NEED TO BE ADJUSTED



2022-02-15

15896

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LOT: 3
BLOCK: PLAN: EPP69185

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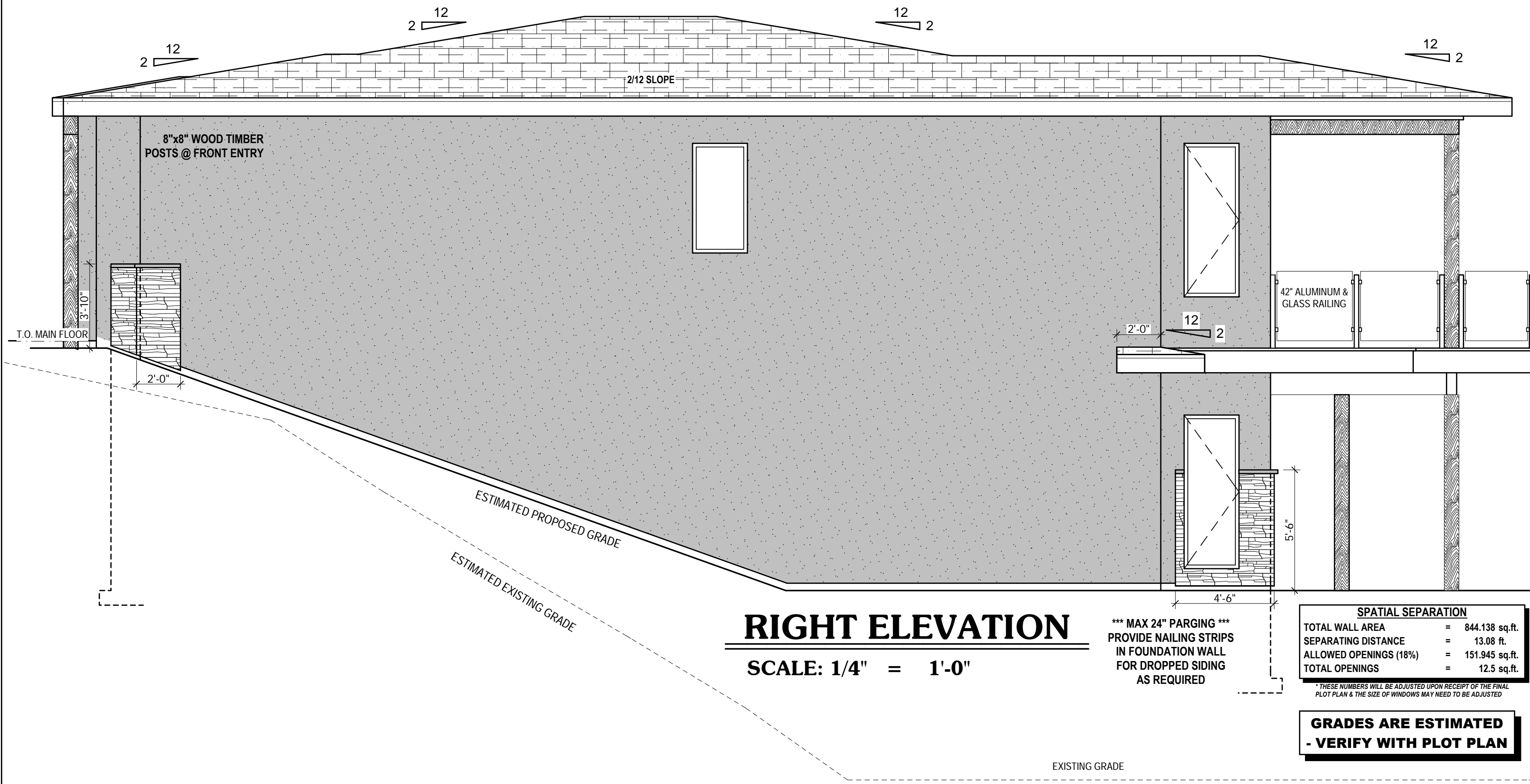
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DATE: 2021-11-30
DESIGNED BY: JJS
DRAWN BY: JJS

DRAWING #:

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8



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

SPATIAL SEPARATION	
TOTAL WALL AREA	= 844.138 sq.ft.
SEPARATING DISTANCE	= 13.08 ft.
ALLOWED OPENINGS (18%)	= 151.945 sq.ft.
TOTAL OPENINGS	= 12.5 sq.ft.

* THESE NUMBERS WILL BE ADJUSTED UPON RECEIPT OF THE FINAL PLOT PLAN & THE SIZE OF WINDOWS MAY NEED TO BE ADJUSTED

GRADES ARE ESTIMATED - VERIFY WITH PLOT PLAN



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PROJECT: **Lot 3 Hawthorne Drive**
ADDRESS: 2807 Hawthorne Drive

LOT: 3
BLANK:
PLAN: EPP69185

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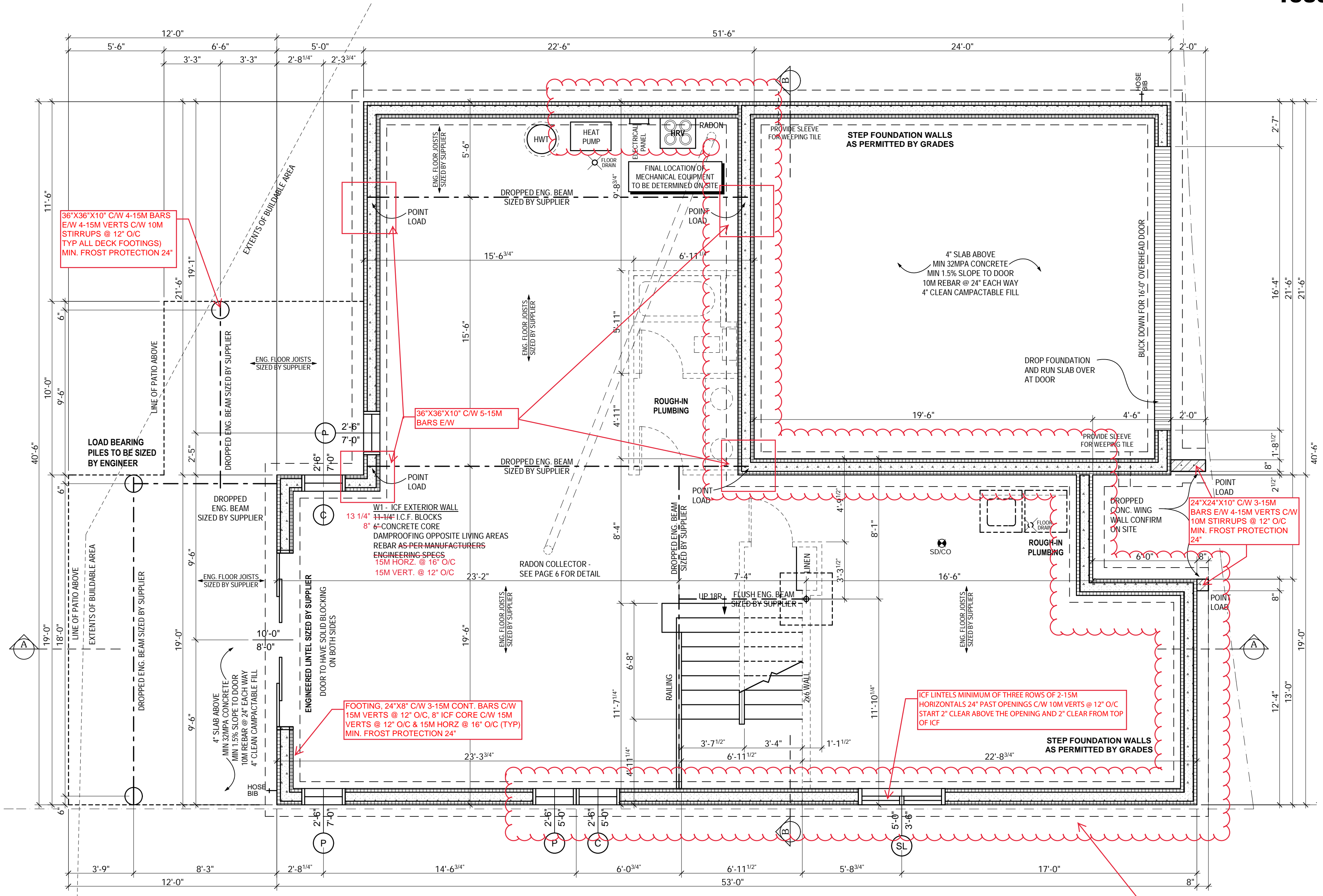
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8



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

10'-0" FOUNDATION WALLS - TOP OF WINDOWS @ 8'-0" (UNLESS OTHERWISE NOTED)

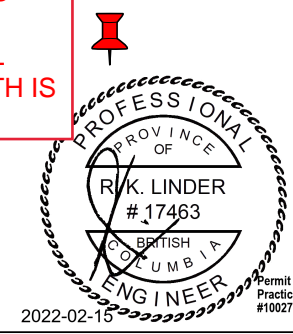
SEE ENGINEERED FLOOR LAYOUT FROM SUPPLIER FOR COLUMN AND PAD SIZING

DRAW Designs Ltd. TO BE NOTIFIED IF BEAMS/POSTS/BEARING WALLS REQUIRE ADJUSTMENT TO MATCH ENGINEER'S DESIGN

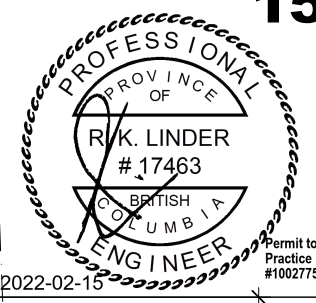
NORTH ARROW TO BE CONFIRMED WITH FINAL PLOT PLAN



FOOTING AND FOUNDATION WALL IN THIS AREA AS PER DRAWING OEHB-015 UNTIL RETAINED EARTH IS 6' OR LESS



2022-02-15



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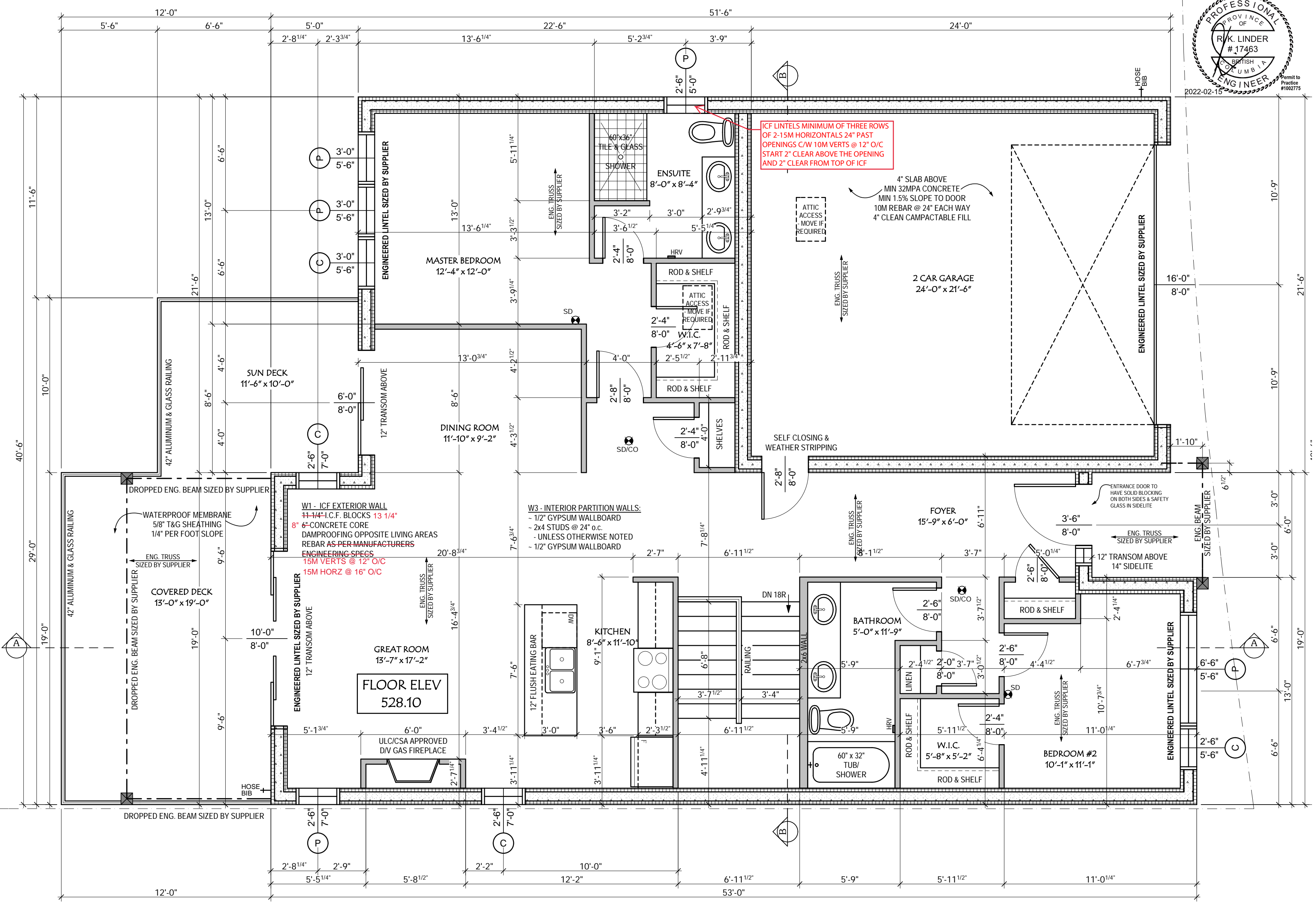
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DATE: 2021-11-30
 DESIGNED BY: JJS
 DRAWN BY: JJS

DRAWING #: **6**
8



MAIN FLOOR PLAN

1360 sq.ft. SCALE: 1/4" = 1'-0"

- 10'-1 1/8" MAIN FLOOR WALLS - TOP OF WINDOWS @ 9'-0" (UNLESS NOTED)
- ALL ANGLED WALLS ARE AT 45 DEGREES UNLESS NOTED
- CANTILEVERS WITHIN 1.2m OF THE PROPERTY LINE MUST USE NON-COMBUSTIBLE CLADDING OR MUST HAVE 12.7mm THICK EXTERIOR GYPSUM BOARD UNDER CLADDING & MAINTAIN A 45 MINUTE FIRE-RESISTANCE RATING FOR WALL ASSEMBLY - N.B.C. - A.E. 9.10.15.5(7).
- CANTILEVERS WITHIN 1.2m OF THE PROPERTY LINE & WITH THE UNDERSIDE OF THE CANTILEVER MORE THAN 0.6 METRES ABOVE GRADE MUST BE PROTECTED IN THE SAME WAY AS PROJECTING SOFFITS - N.B.C. - A.E. 3.2.3.6.5b & 9.10.15.5(8) & 9.10.15.5(10)
- CANTILEVERS WITHIN 1.2m OF THE PROPERTY LINE MUST HAVE FLUSH ROOF OVERHANGS ON ALL SIDES
- GARAGE WALLS TO BE INSULATED, VAPOUR BARRIER APPLIED & MINIMUM 12.7mm DRYWALL TO MEET N.B.C. - A.E. 9.35.4.1 & 9.35.4.4
- SOFFITS WITHIN 1.2m OF PROPERTY LINE TO BE 0.44mm NON-VENTED ALUMINUM - VENTING TO BE MADE UP IN OTHER LOCATIONS - 25% OF VENTILATION TO STILL COME FROM BOTTOM PORTION OF ROOF N.B.C. - A.E. 3.2.3.6(5b) & 9.10.15.5(8) & 9.10.15.5(10)

****NOI CONFIRMED**

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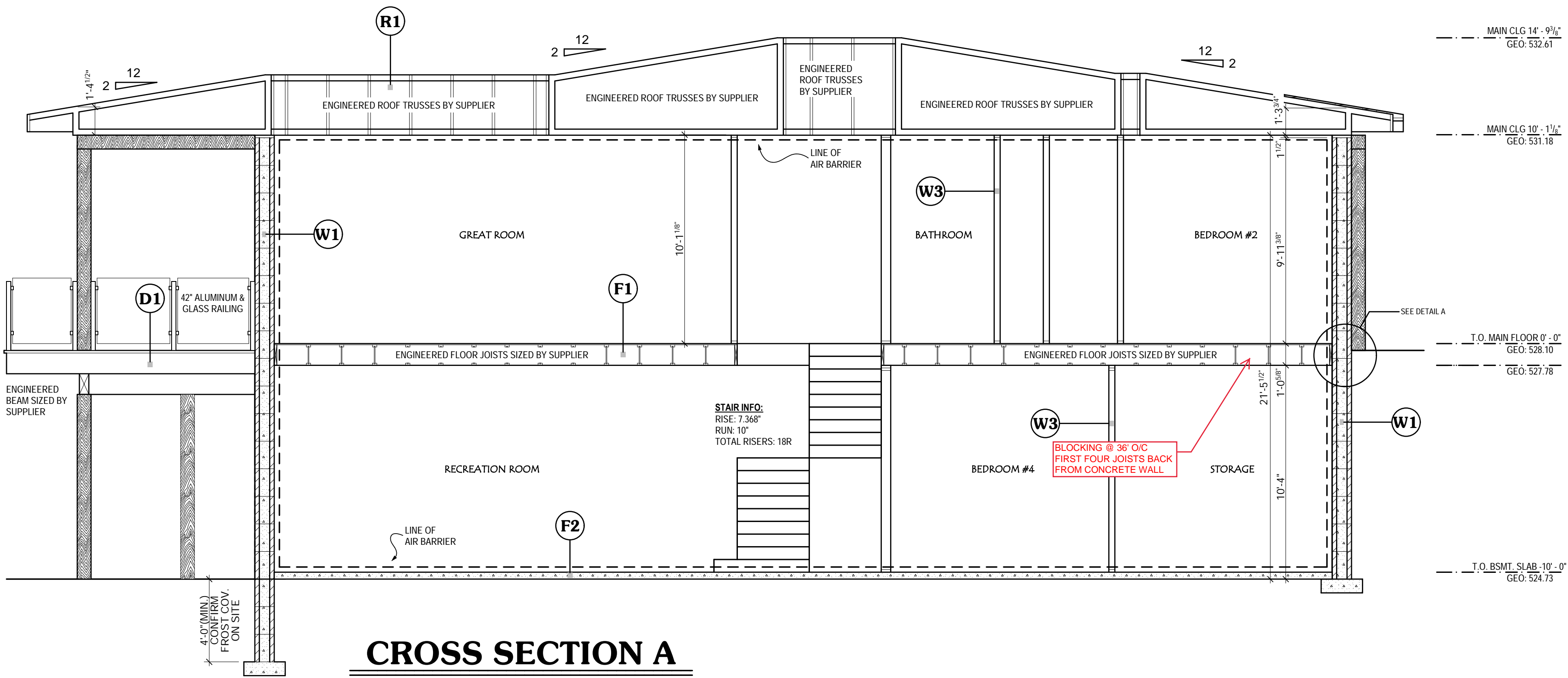
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001	July 6, 2021	JJS
002	Aug 12, 2021	KP
003	Sept 29 2021	JJS
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FAILURE TO COMPLY WILL RESULT IN PROSECUTION TO THE FULLEST EXTENT OF THE LAW.

DATE: 2021-11-30
DESIGNED BY: JJS
DRAWN BY: JJS

DRAWING #: **7** / **8**



CROSS SECTION A
SCALE: 1/4" = 1'-0"

GENERAL NOTES:

- ENTRANCE DOORS TO BE SOLID CORE IN ACCORDANCE WITH NATIONAL BUILDING CODE 9.2.2.1.
- FINISH WOOD RAILINGS - PICKETS MAXIMUM 4" O.C.
- PRECAST CONCRETE STEPS OR CAST IN PLACE AS PER PLAN UNLESS OTHERWISE SHOWN
- TOP OF FIREPLACE FLUE SHALL BE 3'-0" ABOVE HIGHEST POINT AT WHICH IT COMES IN CONTACT WITH THE ROOF 2'-0" ABOVE ROOF SURFACE WITHIN A HORIZONTAL DISTANCE OF 10'-0" FROM FLUE
- ULC RATED CLASS "B" VENT 2'-0" HIGH FROM POINT IN CONTACT W/ ROOF FOR SLOPES UP TO 9/12 & 4'-0" FOR SLOPES GREATER THAN 9/12 - MINIMUM 2" CLEARANCE AIR SPACE AROUND FLUE
- PROVIDE FRESH AIR INTAKES FOR ALL FURNACES & FIREPLACES
- COMBUSTION AIR FOR THE FIREPLACE MUST BE SUPPLIED BY AIR INTAKES OTHER THAN A DOOR OR A WINDOW
- PROVIDE FLASHING ABOVE ALL EXTERIOR DOORS, WINDOWS & OPENINGS
- STAIR SUPPORT TO BE MINIMUM OF 3" DIAMETER STEEL TELEPOST ON 24"x24"x8" CONCRETE FOOTING REINFORCED W/ 10M REBAR @ 8" o.c. BOTH WAYS - SEE ENG. FLOOR LAYOUT
- PROVIDE SELF-CLOSER ON GARAGE-HOUSE DOOR c/w WEATHERSTRIPPING
- NON-HARDENING CAULKING COMPOUND TO BE USED OVER & AROUND ALL EXTERIOR OPENINGS
- PLUMBING ACCESS OF MINIMUM 16"x20" TO BE PROVIDED FOR EACH TUB & SHOWER
- ALL WORKMANSHIP TO BE A STANDARD EQUAL OR BETTER IN ALL RESPECTS TO GOOD BUILDING PRACTICE IN ACCORDANCE WITH THE NATIONAL BUILDING CODE
- PROVIDE 30" DIAMETER SUMP PIT c/w PUMP, PUMP COVER & POWER SUPPLY. LOCATE NEAR OUTSIDE BASEMENT WALL c/w DISCHARGE LINE & SPLASH PAD - CONNECT WEeping TILE & FLOOR DRAIN (c/w BACK WATER VALVE) TO PIT - CONNECT DISCHARGE LINE TO STORM SEWERS WHERE REQUIRED
- ALL DIMENSIONS TO BE TAKEN TO FACE OF INTERIOR STUDS & OUTSIDE FACE OF SHEATHING ON EXTERIOR WALLS & OUTSIDE FACE OF CONCRETE WALLS
- IN ANY INSTANCE OF DISCREPANCIES BETWEEN THIS PLAN & THE NATIONAL BUILDING CODE, THE NATIONAL BUILDING CODE WILL OVERRIDE UNLESS THE PLAN IS DESIGNED ABOVE THE REQUIREMENTS OF THE NATIONAL BUILDING CODE

NOTES:

- ALL CONSTRUCTION TO CONFORM TO LOCAL BYLAWS AND THE NATIONAL BUILDING CODE
- DESIGN IS BASED ON AN ENGINEERED FLOOR SYSTEM - SEE ENGINEER'S LAYOUT
- DESIGN IS BASED ON AN ENGINEERED ROOF TRUSS SYSTEM - SEE ENGINEER'S LAYOUT
- ALL BEAMS TO BE DESIGNED BY SUPPLIER - SEE ENGINEER'S LAYOUT
- ALL WINDOWS SUBJECT TO LOCAL BYLAWS AND THE NATIONAL BUILDING CODE
- ALL OVERHANGS SUBJECT TO LOCAL BYLAWS
- WEeping TILE TO BE INSTALLED AROUND ALL STRIP FOOTINGS AND TIED TO DRAINAGE
- ALL WALLS / CEILING / FLOORS THAT ARE COMMON TO HOUSE AND GARAGE TO BE 1HR. FIRE RATED AND GASPROOFED
- GARAGE PILE LAYOUT TO BE DESIGNED AND VERIFIED BY AN ENGINEER
- ATTIC ACCESS TO BE MINIMUM 21 1/2"x23" AS PER CODE c/w WEATHERSTRIPPING AND INSULATION
- ROOF VENTS TO BE PROVIDED AS PER CODE
- INSULATION STOPS AS REQUIRED
- SMOKE / CARBON MONOXIDE DETECTORS TO BE PROVIDED AS PER CODE
- WINDOW SIZES SHOWN ARE APPROXIMATE AND SHOULD BE VERIFIED WITH OWNER PRIOR TO ORDERING / INSTALLATION - INCLUDING ROUGH OPENING, STYLE AND TYPE
- FLASHING TO BE PROVIDED AS PER CODE
- GRADE LINES ARE SUGGESTED ONLY AND SHOULD BE VERIFIED WITH PLOT PLAN AND/OR GRADES ON SITE - STEPS TO BE ADJUSTED ACCORDINGLY
- MAIN FLOOR HEIGHT TO FRONT OF GARAGE SLAB HEIGHT TO BE VERIFIED WITH SURVEYOR
- MINIMUM 2" CLEARANCE AROUND FURNACE AND FIREPLACE FLUES
- SHOWER DOORS MUST BE TEMPERED GLASS
- ALL EXHAUST FANS TO VENT TO EXTERIOR
- ALL WALLS 11'-10" OR TALLER REQUIRE AN ENGINEER'S APPROVAL DETAIL
- INTERIOR DOOR FRAMING HEIGHT TO BE 82 1/8" FOR 6'-8" DOOR, 98 1/8" FOR 8'-0" DOOR
- DECK SLOPE = MIN. 1/8" PER 12", MAX. 1/2" PER 12"
- ALL WINDOWS 8'-0" AND OVER TO HAVE LINTEL SIZED BY SUPPLIER

HOUSE DESIGN INCLUDES HRV

W1 - ICF EXTERIOR WALL 8"
13 1/4" H-14#4 C.F. BLOCKS w/ CONCRETE CORE.
DAMP PROOFING OPPOSITE LIVING AREAS
REBAR AS PER MANUFACTURERS
ENGINEERING SPECS
- CONCRETE STRIP FOOTING AS PER ICF MANUFACTURER'S SPECIFICATION AND SUBJECT TO ENGINEER'S SOIL REPORT
- FOOTING TO BE PLACED ON UNDISTURBED OR COMPACTED SOIL
ENSURE MIN. 2" FROST COVERAGE
- ALL CONCRETE TO BE MINIMUM OF 20MPa - TYPE 10 c/w 25mm AGGREGATE

W2 - EXTERIOR FRAMED WALL:
- EXTERIOR FINISH
- 2" EPS
- 1/2" O.S.B. EXTERIOR SHEATHING
- 2x6 KILN DRIED SPRUCE STUDS @ 24" o.c.
- R22 FRICTION FIT BATT INSULATION
- 6mil POLY VAPOUR BARRIER
- 1/2" INTERIOR GYPSUM WALLBOARD

W3 - INTERIOR PARTITION WALLS:
- 1/2" GYPSUM WALLBOARD
- 2x4 STUDS @ 24" o.c.
- UNLESS OTHERWISE NOTED
- 1/2" GYPSUM WALLBOARD

W4 - SECONDARY SUITE SEPARATION WALL:
- 1/2" GYPSUM WALLBOARD
- 2x6 STUDS @ 24" o.c.
- ROXUL INSULATION
- RESILIENT CHANNEL
- 1/2" GYPSUM WALLBOARD

D1 - FRAMED FLOOR @ DECK:
- WATERPROOF MEMBRANE
- 5/8" T&G SHEATHING
- 11-7/8" ENGINEERED FLOOR JOISTS AT 16" O.C.
- BLOCKING AS SPEC'D BY MANUFACTURER
- 1/4" PER FOOT SLOPE TO EDGE

F1 - FRAMED FLOOR:
- FINISH FLOORING 3/4" T&G SHEATHING
- 11-7/8" ENGINEERED FLOOR JOISTS AT 16" O.C.
- BLOCKING AS SPEC'D BY MANUFACTURER
- 1/2" DRYWALL OVER FINISHED SPACES

F2 - CONCRETE SLAB:
- MINIMUM 3" THICK 20MPa TYPE 10 CONCRETE c/w 25mm AGGREGATE
- DRAIN ROCK OR OTHER CLEAN MATERIAL SUITABLE FOR THE MOVEMENT OF RADON GAS
- 6mil POLY VAPOUR BARRIER

F3 - FLOOR ABOVE GARAGE SPACE:
- FINISH FLOORING
- 3/4" T&G SHEATHING
- 11-7/8" JOISTS @ 16" O.C.
- MIN. R22 SPRAY FOAM INSULATION
- BLOCKING AS SPEC'D BY MANUFACTURER
- 1/2" DRYWALL

F4 - GARAGE SLAB
- 4" SLAB, MIN 32MPa CONCRETE
- MIN. 1.5% SLOPE
- 10M REBAR @ 24" EACH WAY
- 4" CLEAN COMPACT GRANULAR FILL

R1 - ROOF ASSEMBLY:
- ASPHALT SHINGLES
- ROOFING FELT
- 1/2" O.S.B. SHEATHING c/w H-CLIPS
- ENGINEER APPROVED TRUSSES @ 24" o.c.
- UNLESS OTHERWISE SPECIFIED
- 1x4 SPRUCE TRUSS BRACING @ 7'-0" o.c. **R60**
- NAILED TO BOTTOM CHORDS
- MINIMUM 2" CLEARANCE IN INSULATION INSULATION c/w INSULATION STOPS
- 6mil POLY VAPOUR BARRIER
- 1/2" CD DRYWALL w/ CEILING FINISH
- PROVIDE EAVE PROTECTION TO MEET OR EXCEED THE NATIONAL BUILDING CODE
- ALUMINUM EAVESTROUGH
- 10" ALUMINUM FASCIA ON 2x10 WOOD BACKING
- UNLESS OTHERWISE SPECIFIED
- VENTED ALUMINUM SOFFITS





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DEVELOPED FOR: **OK Extreme Home Builders**
 756 Eckhardt Ave. NW
 Penticton, B.C.
 Phone: 1.250.488.7312
 Email: okextremebuilders@gmail.com

PROJECT: **Lot 3 Hawthorne Drive**
 ADDRESS: 2807 Hawthorne Drive
 LOT: 3
 BLOCK:
 PLAN: EPP69185

NOTES:
 THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND OTHER DATA NOTED HEREIN WITH CONDITIONS ON SITE.
 WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.
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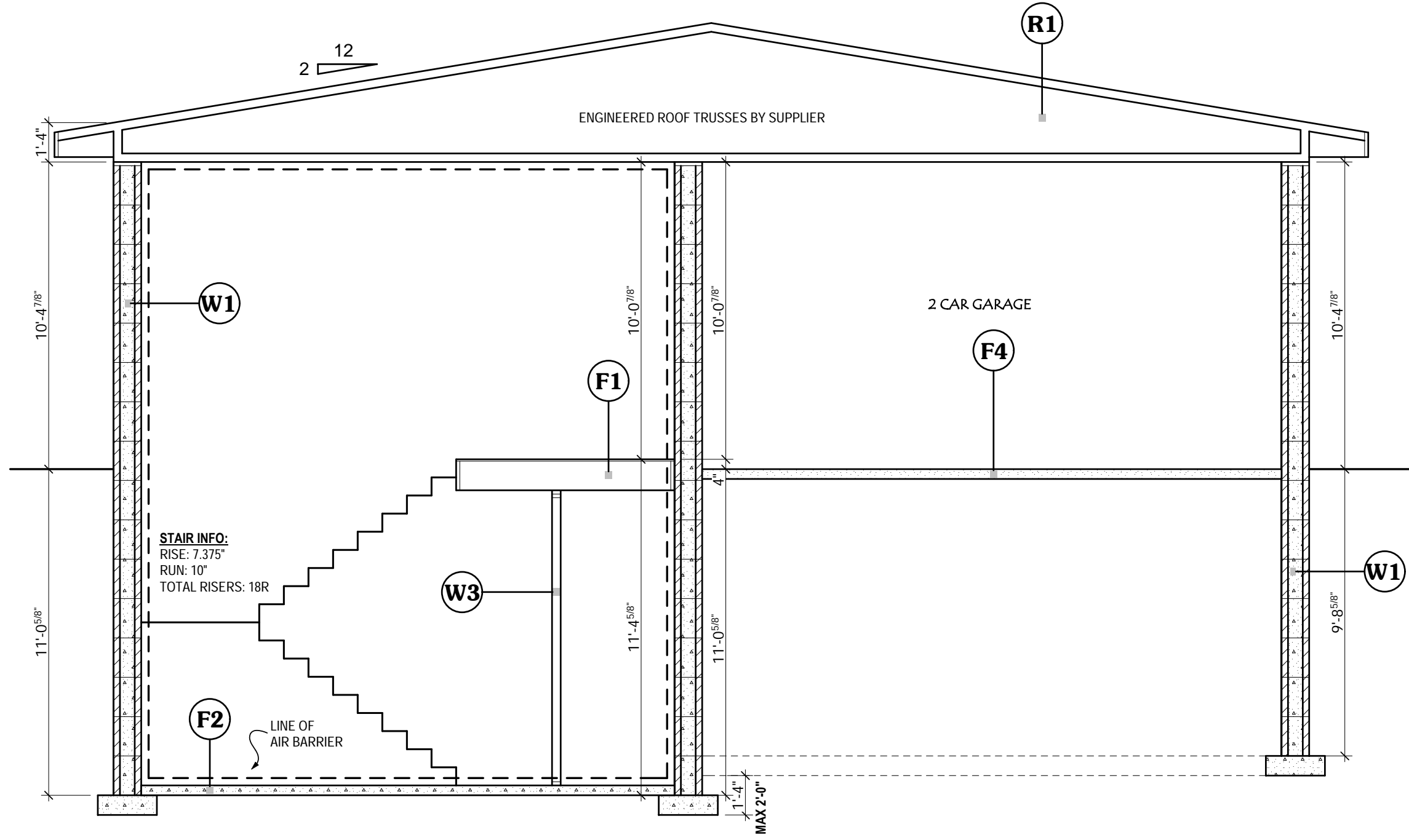
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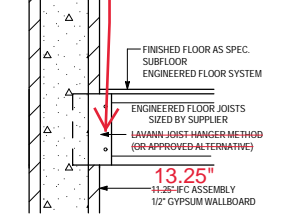
DRAWING #: **8**



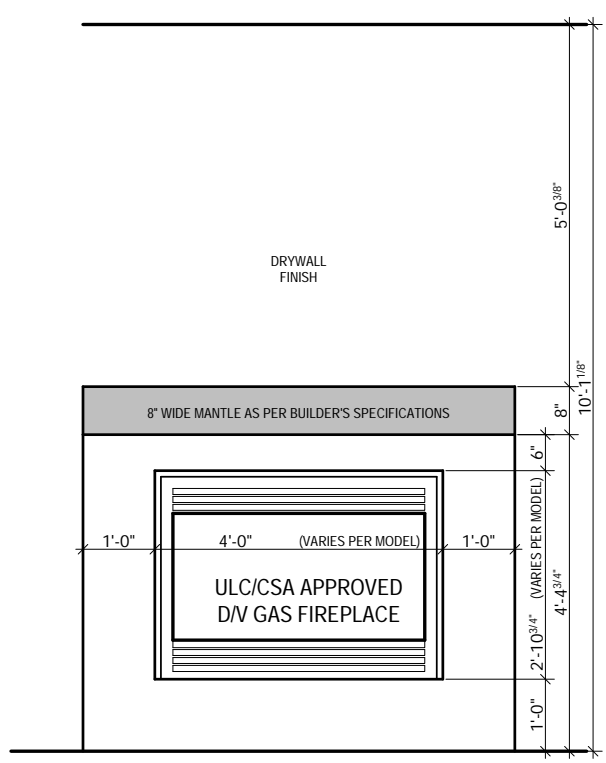
CROSS SECTION B
 SCALE: 1/4" = 1'-0"

MAIN CLG 14' - 9 1/8"
 GEO: 532.61
 MAIN CLG 10' - 1 1/8"
 GEO: 531.18
 T.O. MAIN FLOOR 0' - 0"
 GEO: 528.10
 T.O. BSMT. SLAB - 10' - 0"
 GEO: 524.73

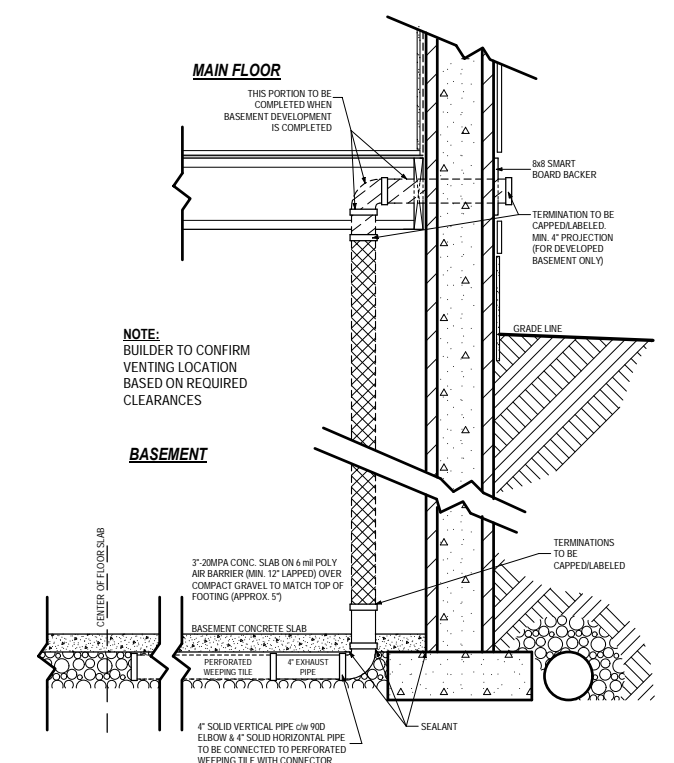
LEDGER ATTACHMENT AS PER DRAWING OEHB-002



DETAIL A (HOUSE FLOOR AT EXTERIOR)
 SCALE 3/8" = 1'-0"



FIREPLACE DETAIL
 SCALE: 3/8" = 1'-0"



RADON MITIGATION DETAIL
 SCALE: 3/8" = 1'-0"





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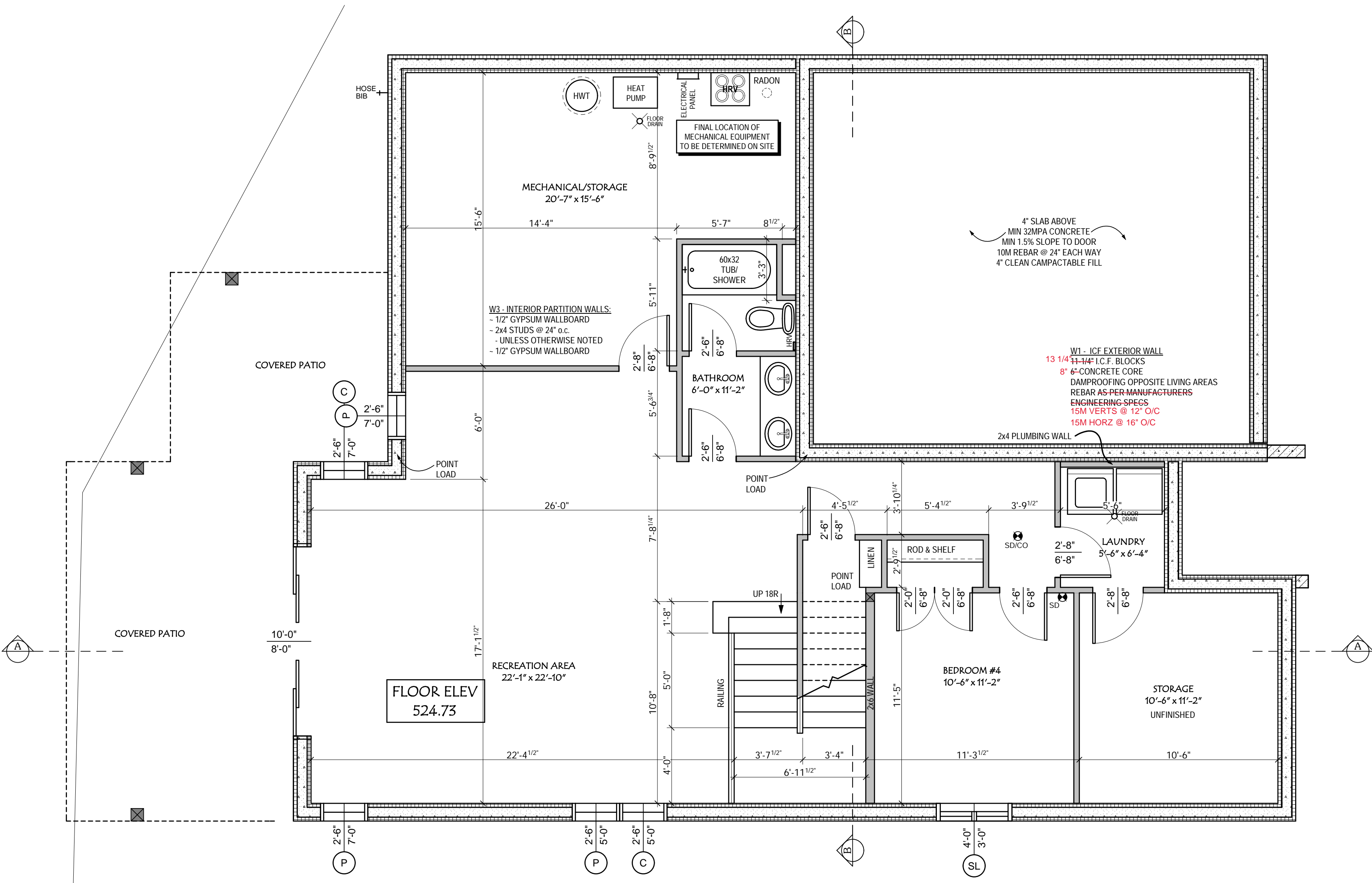
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BASEMENT DEV. PLAN
1051 sq.ft. SCALE: 1/4" = 1'-0"

