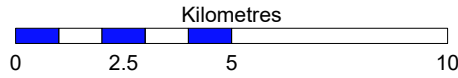



1:528



1:175,000

 City of Penticton Boundary

As of 2/28/2024

TAX INFORMATION

Tax Folio: 07947-010 **PID:** 030-187-541

Lot Size: 6811 SQUARE FEET

Legal Description:

LOT 2 DISTRICT LOT 2710 SIMILKAMEEN DIVISION YALE DISTRICT PLAN EPP69185

ASSESSMENT

Year	Gross	Improvements	Total
2024	\$381,000.00	\$104,000.00	\$485,000.00
2023	\$396,000.00	\$0.00	\$396,000.00
2022	\$367,000.00	\$0.00	\$367,000.00
2021	\$353,000.00	\$0.00	\$353,000.00
2020	\$349,000.00	\$0.00	\$349,000.00

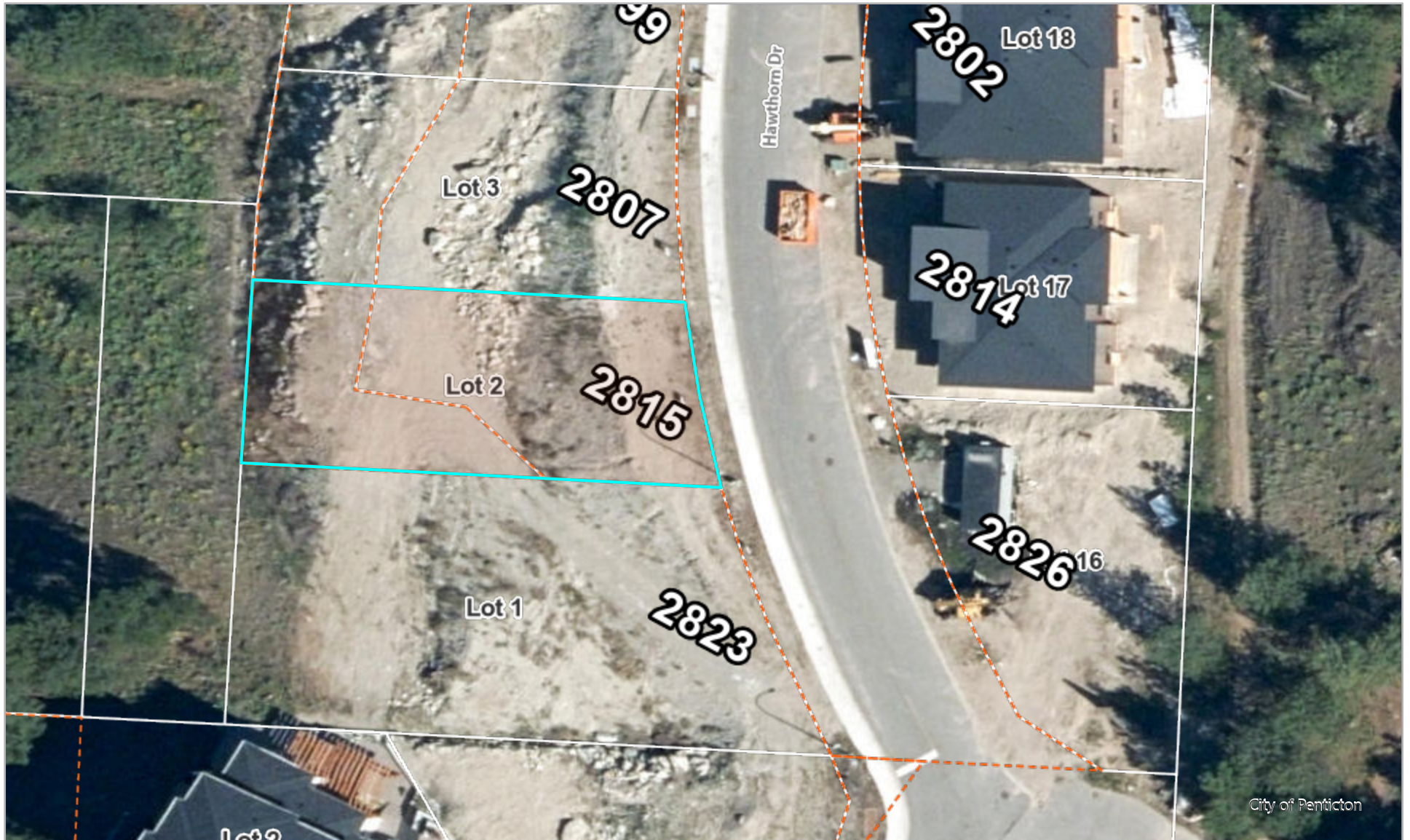
LAND USE INFORMATION

Agricultural Land Reserve Status: Not applicable
Federal Airport Zoning: Not applicable
Hazard Area: wildfire
Land Use Contract: Not applicable
Natural Area: Not applicable

Site Specific Zoning: Not applicable
2023 Geotechnical Hazard Assessment: Standard Geotechnical Investigation
Zoning: R1

Official Community Plan - Future Land Use: Low Density Residential
Official Community Plan - Downtown Development Permit Area: Not applicable
Official Community Plan - Hillside Development Permit Area: Not applicable
Official Community Plan - Riparian Development Permit Area: Not applicable
Official Community Plan - Environmental Development Permit Area: Not applicable

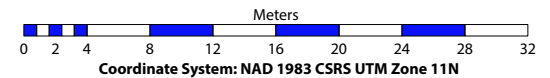
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Tuesday, June 25, 2024 4:19 PM

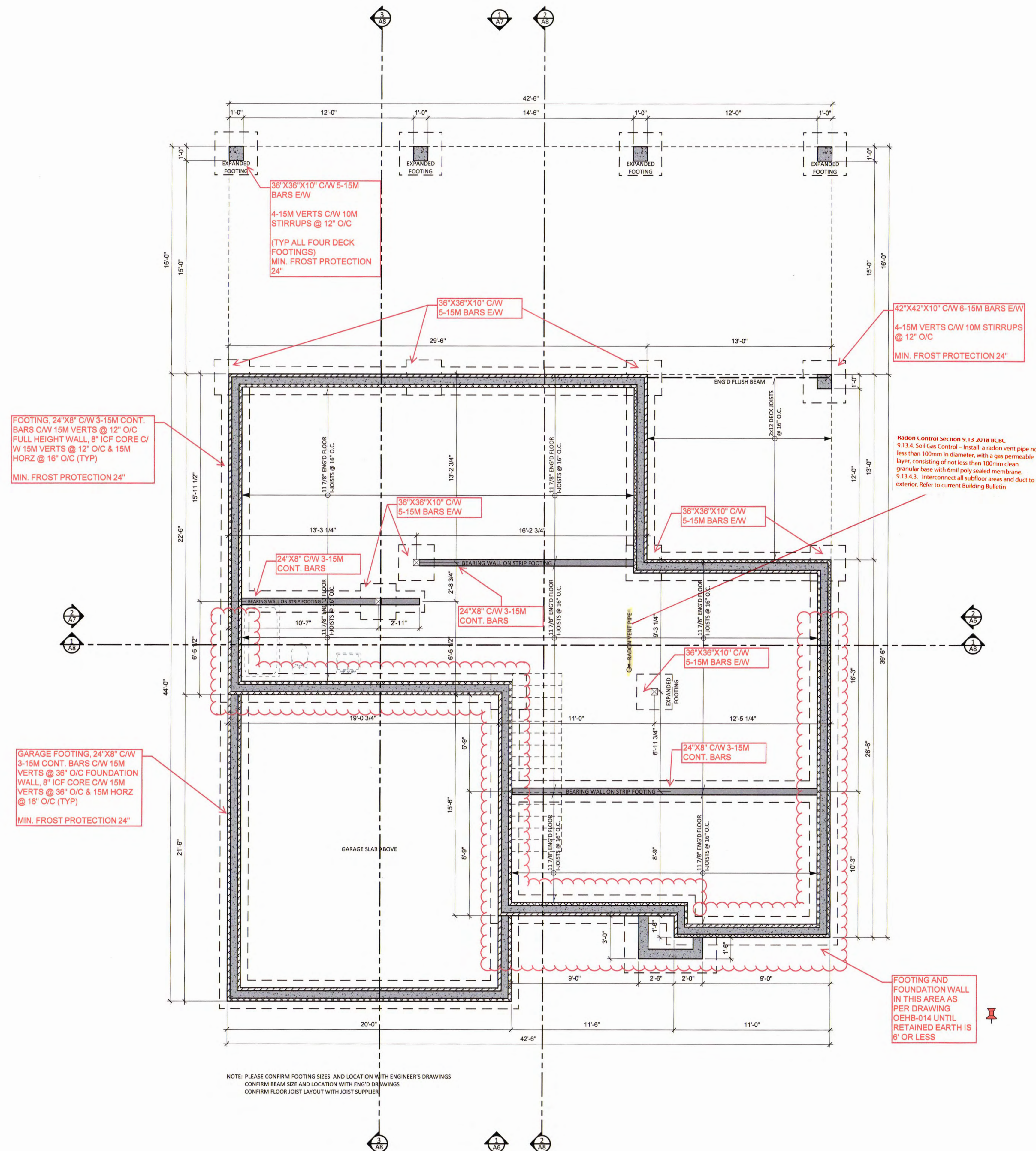


City of Penticton



FOUNDATION/CRAWLSPACE PLAN

SCALE: 1/4" = 1'-0"



"FORMS SURVEY REQUIRED,"
by a B.C. Land Surveyor, for all above grade foundations prior to inspection.

RECEIVED
CITY OF PENICTON
MAR 1 1 2022
BUILDING DEPARTMENT

ACCEPTED DRAWINGS
submitted to City of Penicton
2022 13288
Building Bylaw and Zoning Bylaw
And the B.C. Building Code



RK | STUDIO
RESIDENTIAL DESIGN AND DRAFTING
1760 KLOPPENBURG RD. KELOWNA, BC
(250)-317-6875 ryan.rkstudio@gmail.com

O K A N A G A N
EXTREME
HOME BUILDERS

PROJECT NAME: **LOT 2 PANORAMA**
DRAWN BY: **RK**
NOTES:

SHEET TITLE: **FOUNDATION/CRAWLSPACE PLAN**
ISSUED FOR: **WORKING DRAWINGS**
DATE: YYYY-MM-DD **2022-03-17**
SCALE: **1/4" = 1'-0"**
LEGAL DESCRIPTION: **2815 HAWTHORN DR. LOT 2, PLAN PLAN EPP69185, SDYD**

THESE DRAWINGS ARE THE EXCLUSIVE PROPERTY OF RK STUDIO AND ARE NOT TO BE REPRODUCED OR USED IN ANY WAY WITHOUT THE WRITTEN PERMISSION OF RK STUDIO

A2

WINDOW SCHEDULE				
NO.	SIZE	HEAD HT.	SILL HT.	TYPE
001	8/0 x 8/0	8'-0"	8'-0"	PATIO SLIDER
002	12/0 x 8/0	8'-0"	8'-0"	PATIO SLIDER
003	6/0 x 6/0	8'-0"	7'-0"	SINGLE SLIDING

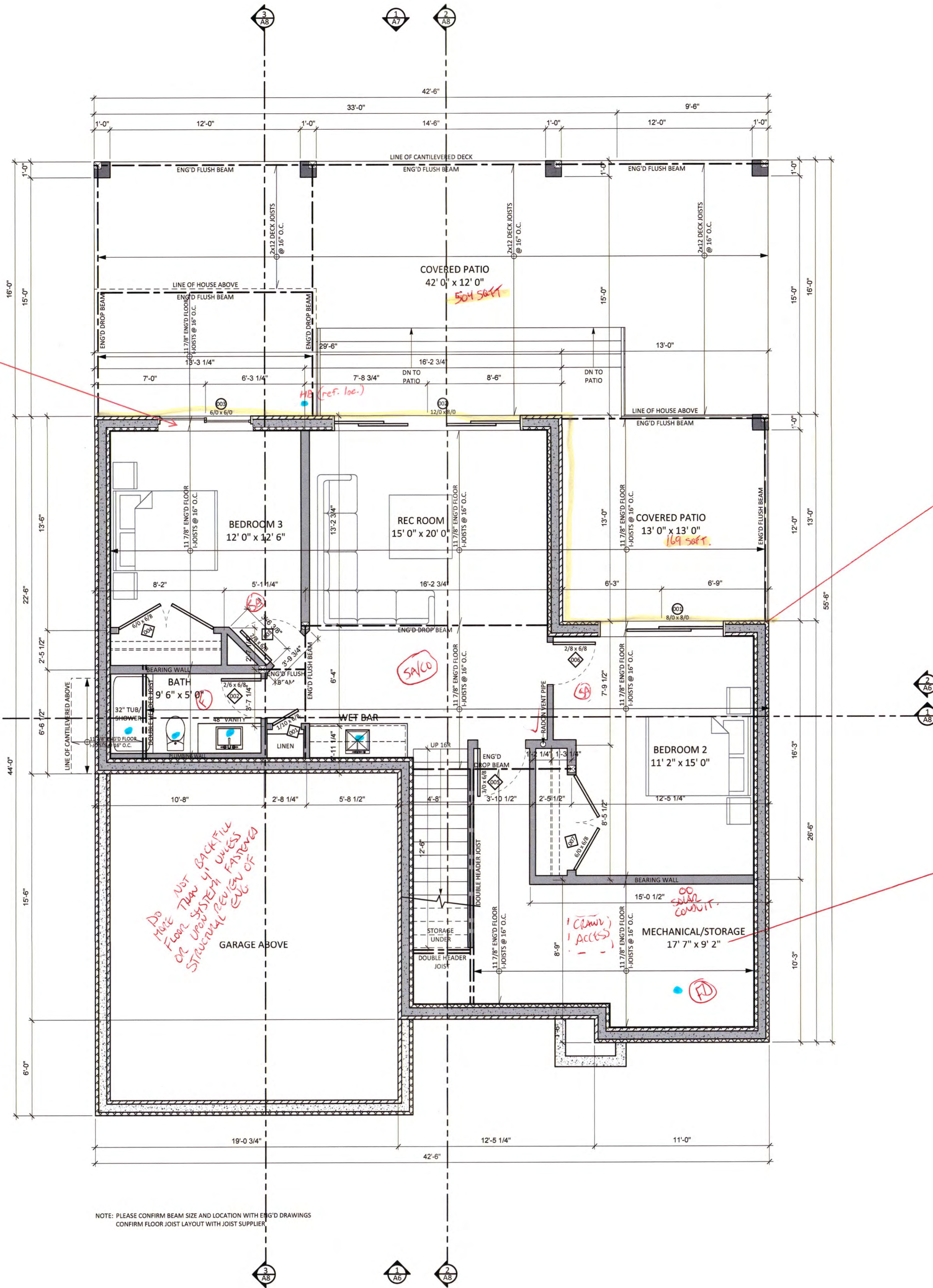
DOOR SCHEDULE		
NO.	SIZE	TYPE
001	12/0 x 6/6	SINGLE INTERIOR
002	2/6 x 6/6	SINGLE INTERIOR
003	2/6 x 6/6	SINGLE INTERIOR
004	6/0 x 6/6	DOUBLE INTERIOR
005	3/0 x 6/6	SINGLE INTERIOR
006	2/6 x 6/6	SINGLE INTERIOR
007	6/0 x 6/6	DOUBLE INTERIOR

NOTE:
 ALL DOORS TO BE MIN. 2 STUDS FROM CORNERS TO ALLOW FOR TRIM
 ALL DOORS TO BE CENTERED IN CORRIDORS AND CLOSET
 ALL OTHER INSTANCES WILL BE NOTED AND DIMENSIONED
 CONFIRM ALL DOOR AND WINDOW DIMENSIONS PRIOR TO ORDERING TO ENSURE PROPER EGRESS AND NO DISCREPANCIES

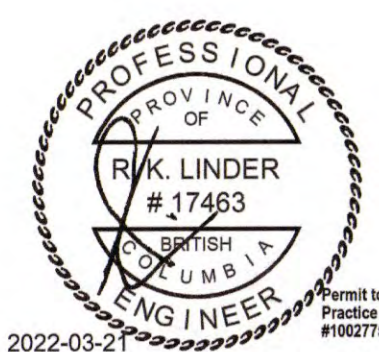
ICF LINTELS MINIMUM OF THREE ROWS OF 2-15M HORIZONTALS 24" PAST OPENINGS C/W 10M VERTS @ 12" O/C
 TO START 2" CLEAR ABOVE THE OPENING AND 2" CLEAR FROM TOP OF ICF
 (TYP THREE OPENINGS)

BCBC 9.3.2.9. (3) a, Provide 6" (150mm) clearance from finish grade to framing. BCBC 9.28.1.4, Stucco finish shall not be less than 8" (200mm) from finish grade except when applied over concrete or masonry
 Protection From Decay: Do not pour concrete against framing, tin, or blue skin or vapour barriers.
 RAISE FOUNDATION ACCORDINGLY. 12mm (1/2") air space between all framing and concrete slabs/stairs required.

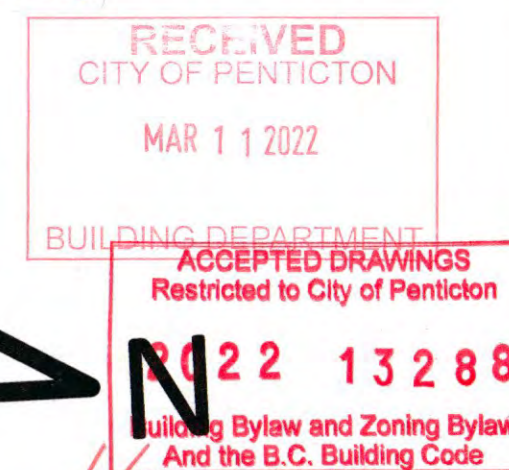
- Solar Hot Water Regulation BC**
 A min. of 2 conduits with a min. dia. of 50mm (2"), capped at both ends, accessible, using 22.5 deg. fittings to change direction, must be installed to allow for the future install of a solar hot water system.
- HWT Piping 9.36.4.4 (3) 2018 BCBC**
 The inlet and outlet of HWT, storage tank or heating vessel requires 12mm (0.5") wall insulation, a minimum of 2m (6'). Piping within an insulated interior wall would be considered insulated. The remainder of the piping from the wall back to the tank or vessel is required to be insulated as specified.
 - Expansion Tank 2.6.1.11 2018 BCPC**
 A diaphragm expansion tank or, thermal expansion relief valve, is required on the water distribution system. Install according to manufacture instructions.
 - Water Piping Size 2.6.3.4 2018 BCPC**
 Water piping needs to be designed and installed to meet the hydraulic load (FU's) for all fixtures downstream of the water service pipe and meter in the water distribution system.
 - Water Meter Requirements, Public Works**
 Install shutoffs located upstream and downstream of the meter to isolate. Ensure the meter is supported and accessible. Do not sever, cover over or limit access to the meter wire located inside or outside the building.

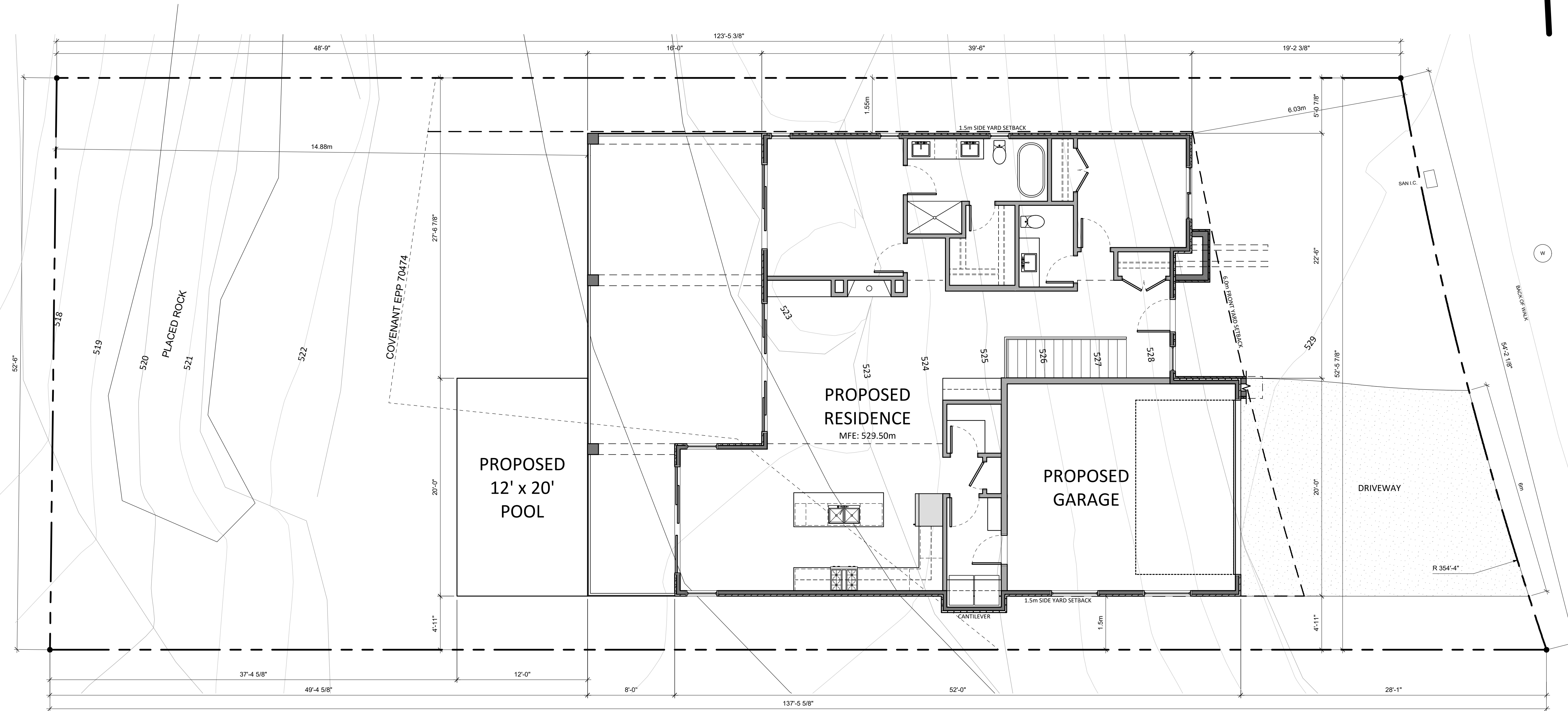


NOTE: PLEASE CONFIRM BEAM SIZE AND LOCATION WITH ETD DRAWINGS
 CONFIRM FLOOR JOIST LAYOUT WITH JOIST SUPPLIER



LOWER FLOOR FINISHED AREA: 883 SQ.FT.
 MECHANICAL FLOOR AREA: 232 SQ.FT.
 TOTAL LOWER FLOOR AREA: 1,118 SQ.FT.
LOWER FLOOR PLAN
 SCALE: 1/4" = 1'-0"





GENERAL NOTES:
 -ALL WORK SHALL CONFORM TO THE STANDARDS OF THE B.C. OF CANADA 2015, THE B.C. BUILDING CODE 2018 AND ALL LOCAL CODES, BYLAWS AND AMENDMENTS
 -ALL WORK SHALL BE OF GOOD BUILDING PRACTICE
 -ALL BUILDING MATERIALS TO BE OF GOOD QUALITY
 -DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS
 -PRIOR TO CONSTRUCTION THE BUILDER MUST CONFIRM ALL DETAILS AND DIMENSIONS TO VERIFY THEY ARE CORRECT AND THERE ARE NO DISCREPANCIES.
 -RK STUDIO IS NOT RESPONSIBLE OR LIABLE FOR ANY ERRORS AND OMISSIONS THAT MAY ALTER THE OVERALL CONSTRUCTION
 -PLEASE REPORT ANY DISCREPANCIES IN THESE DRAWINGS TO RK STUDIO
 -ALL TRADES SHALL CONFIRM ALL DIMENSIONS ON SITE PRIOR TO STARTING WORK
 -EXTERIOR DIMENSIONS TAKEN FROM OUTSIDE FACE OF RIGID INSULATION AND EXTERIOR FACE OF 1/2" CONCRETE WALL (U.N.O.)
 -INTERIOR DIMENSIONS TAKEN FROM CENTER LINE OF STUD (U.N.O.)
 -FOUNDATION WALLS AND FOOTINGS TO BE CONFIRMED BY P.ENG.

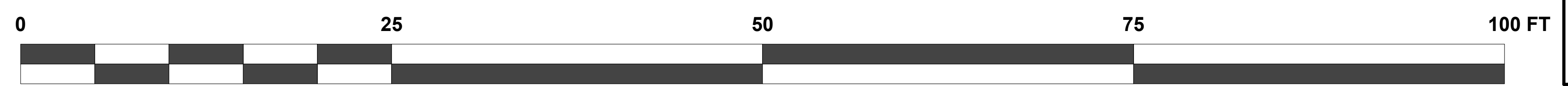
SITE STATISTICS
 ZONING: R1 - LARGE LOT RESIDENTIAL

TOTAL LOT AREA = 6,811 SQ.FT.
 40% MAX. SITE COVERAGE = 2,724 SQ.FT.
 SITE COVERAGE AS PROPOSED = 2,432 SQ.FT.

REQUIRED:	PROPOSED:
MAX. HEIGHT: 10.5m	5.60m
FRONT YARD SETBACK: 6.0m	6.03m
SIDE YARD SETBACK: 1.5m	1.50m/1.55m
REAR YARD SETBACK: 6.0m	14.88m

LEGAL DESCRIPTION:
 LOT 2 PANORAMA VIEW ESTATES
 2815 HAWTHORN DR.
 PENTICTON, BC
 PLAN EPP69185, SDYD

SITE PLAN
 SCALE: 3/16" = 1'-0"



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 1760 KLOPPENBURG RD., KELOWNA, BC
 (250)-317-6875 ryan.rkstudio@gmail.com

O K A N A G A N
EXTREME
 HOME BUILDERS

PROJECT NAME:
LOT 2 PANORAMA

DRAWN BY:
RK

NOTES:

SHEET TITLE:
SITE PLAN

DATE: YYYY-MM-DD
2022-09-15

ISSUED FOR:
POOL LOCATION

SCALE:
3/16" = 1'-0"

LEGAL DESCRIPTION:
2815 HAWTHORN DR. LOT 2, PLAN PLAN EPP69185, SDYD

A1

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