

## GENERAL PERFORMANCE SPECIFICATIONS

### CODES AND STANDARDS

ALL WORKMANSHIP IS TO BE OF A STANDARD EQUAL IN ALL RESPECTS TO GOOD BUILDING PRACTICE.

AT THE TIME OF PREPARATION, THIS PLAN WAS DRAWN IN ACCORDANCE WITH THE CURRENT EDITION OF THE B.C. BUILDING CODE. IT IS THE RESPONSIBILITY OF THE OWNER/BUILDER TO ENSURE THAT CHANGES MADE TO THE CODE ARE COMPLIED WITH AND ALL AMENDMENTS ARE INCORPORATED IN THE CONSTRUCTION OF THIS PLAN. ALL WORK SHALL CONFORM TO LOCAL BUILDING CODES AND BYLAWS WHICH MAY TAKE PRECEDENCE.

PRIOR TO PROCEEDING WITH CONSTRUCTION, THE OWNER/BUILDER MUST VERIFY ALL INFORMATION, DIMENSIONS AND SPECIFICATIONS OF THIS PLAN. WRITTEN DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALE MEASUREMENTS. ANY VARIANCE FROM STRUCTURAL DRAWINGS AND SPECIFICATIONS OR FROM CONDITIONS ENCOUNTERED AT THE JOB SITE, SHALL BE RESOLVED BY THE OWNER/BUILDER AND SUCH SOLUTIONS SHALL BE THEIR SOLE RESPONSIBILITY.

### SITE SPECIFICATIONS

BUILDING AND SITE GRADE ELEVATIONS SHALL BE CONFIRMED WITH UTILITY PROVIDERS AND LOCAL AUTHORITIES AND COMPLY WITH UTILITY SERVICE AND SITE DRAINAGE REQUIREMENTS.

ALL BUILDING AND UTILITY EXCAVATIONS SHALL BE FILLED AND COMPACTED IN 12" LAYERS TO MINIMUM 95% PROCTOR DENSITY TO ENSURE MINIMAL SETTLEMENT.

DIMENSIONS ARE SHOWN TO EXTERIOR OF ROUGH FRAMING (WOOD STUD) ON EXTERIOR WALLS AND TO THE CENTRE OF INTERIOR WALLS (WOOD STUD).

CONTRACTOR IS TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.

### CONCRETE AND FOOTINGS

ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2,900 PSI (20 MPa) AT 28 DAYS.

CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION. FOOTINGS SHOWN ON THESE DRAWINGS HAVE BEEN DESIGNED FOR SOIL BEARING CAPACITY OF 2,500 PSF. IF A LESSER BEARING CAPACITY IS ENCOUNTERED, IT IS THE RESPONSIBILITY OF THE OWNER/BUILDER TO HAVE THE FOOTINGS REDESIGNED BY QUALIFIED PERSONS TO SUIT EXISTING CONDITIONS.

ALL FOUNDATION WALLS 24" (600 MM) AND HIGHER SHOULD HAVE ONE HORIZONTAL 10 MM REINFORCING BAR 3" (75 MM) FROM THE TOP. CORNER REINFORCING TO BE LAPPED MINIMUM 24" (600 MM).

ALL FOOTINGS ARE TO HAVE TWO ½" (#4) REINFORCING BARS. THE REINFORCING BARS ARE TO BE SITUATED SUCH THAT ONE BAR IS 3" (75 MM) CLEAR OF THE SIDE AND BOTTOM OF THE FOOTING ON BOTH SIDES OF THE FOOTING.

GRADES SHOWN ON ELEVATIONS ARE ESTIMATED. ADJUST ON SITE AS REQUIRED.

RETAINING WALLS OTHER THAN THE FOUNDATION WALLS OF THE RESIDENCE ARE BEYOND THE SCOPE OF THESE DRAWINGS UNLESS OTHERWISE NOTED.

### ABOVE GRADE MASONRY

ALL ABOVE GRADE MASONRY IS TO CONFORM TO THE BC BUILDING CODE. IF BRICK VENEER IS TO BE INSTALLED, COUNTER FLASHING SHALL BE INSTALLED UP TO 8" (200 MM) BEHIND THE WEATHER RESISTANT BARRIER AND BELOW THE BOTTOM COURSE WITH VERTICAL JOINTS RAKED CLEAN. WEEP HOLES 24" (600 MM) O.C.

### CARPENTRY

ALL DIMENSIONS AND GRIDLINES AT EXTERIOR WALLS ARE TO FACE OF SHEATHING. INTERIOR DIMENSIONS ARE TO MIDDLE OF STUD AT PARTITIONS AND EDGE OF STUD AT STAIR OPENINGS UNLESS OTHERWISE NOTED

FRAMING LUMBER SHALL BE NUMBER TWO (2) OR BETTER SPRUCE UNLESS OTHERWISE SPECIFIED ON THE PLAN. ALL BEAM AND LINTEL SIZES SHOWN ON THE DRAWINGS TO BE REVIEWED & CONFIRMED BY TRUSS MANUFACTURER AND CONTRACTOR. ANY BEAM OR LINTEL SIZES PROVIDED BY TRUSS/FLOOR MANUFACTURER TAKE PRECEDENCE.

JOISTS ARE TO BE DOUBLED UNDER PARALLEL PARTITIONS.

JOISTS SHALL BE PLACED TO ACCOMMODATE PLUMBING. IN THE EVENT OF A DISCREPANCY PLEASE CONTACT FLOOR SUPPLIER BEFORE ANY ALTERATIONS OR CUTS ARE MADE.

WOOD IN CONTACT WITH CONCRETE SHALL BE DAMPROOFED WITH A SILL PLATE GASKET AND PRESSURE TREATED WITH A WATERBORNE PRESERVATIVE OR OTHER APPROVED METHOD ON EXTERIOR WALLS.

INTERIOR FRAMING TO BE 4" (100 MM) CLEAR OF BACK AND SIDES OF FIREBOX AND 2" (50 MM) CLEAR OF BRICK CHIMNEYS. FRAME EXTERIOR WALLS 1" (25 MM) CLEAR FROM EXTERIOR FIREPLACES.

PLATES ARE TO BE ANCHORED TO CONCRETE WITH ½" ANCHOR BOLTS, MAXIMUM 6 FT. O.C. OR OTHER APPROVED METHOD.

FLUSH FRAMED WOOD MEMBERS SHALL BE ANCHORED WITH 200 LB. JOIST HANGERS UNLESS OTHERWISE SPECIFIED.

STAMPED AND SEALED SHOP DRAWINGS SHALL BE PROVIDED FOR ALL STRUCTURAL BEAM, FLOOR AND ROOF SYSTEMS.

LINTELS ARE (2) 2x10" SPF. w/ 2" THICK RIGID INSULATION SEALED AT PERIMETER U.N.O.

PROVIDE 2x6" SOLID BLOCKING AT TOWEL BARS, TOILET PAPER HOLDERS, COAT HOOKS, MIRRORS AND WALL MOUNTED VANITIES.

### INSULATION/VENTILATION

MINIMUM INSULATION REQUIREMENTS:

ROOF/CEILING - R 60  
WALLS - 2 X 6 - R 22  
GARAGE CEILING - R 32

REFER TO FLOOR/WALL/ROOF SCHEDULE FOR INSULATION TYPE

WALLS AND CEILINGS DURING RESIDENCE AND ATTACHED GARAGE SHALL BE INSULATED.

INSULATION REQUIREMENTS MAY VARY WITH HEATING SYSTEMS AND WITH LOCAL CONDITIONS.

ALL ROOF SPACES SHALL BE VENTILATED WITH SOFFIT, ROOF OR GABLE VENTS OR A COMBINATION OF THESE, EQUALLY DISTRIBUTED BETWEEN THE TOP OF THE ROOF SPACE AND SOFFITS.

### MISCELLANEOUS

CAULK OVER AND AROUND ALL EXTERIOR OPENINGS USING NON-HARDENING CAULKING COMPOUND.

FLASH ALL CHANGES OF MATERIALS ON EXTERIOR WALLS.

FLASH OVER ALL EXTERIOR OPENINGS.

ALL SIDING OR STUCCO TO BE A MINIMUM OF 8" (150 MM) ABOVE FINISHED GRADE.

ALL BALCONY RAILINGS TO BE 3"6" (1070 MM) IN HEIGHT. MAXIMUM SPACING BETWEEN VERTICAL MEMBERS IS 4" (100 MM). MINIMUM DISTANCE BETWEEN HORIZONTAL RAILS TO BE 32" (800 MM). TOP RAIL TO SUSTAIN OUTWARD LOAD OF 40 LBS. PER LINEAL FOOT.

COAT AND CLOTHES CLOSETS SHALL HAVE AT LEAST ONE ROD AND SHELF WITH MINIMUM DEPTH OF 24" UNLESS OTHERWISE STATED. LINEN CLOSET SHALL HAVE 5 ADJUSTABLE SHELVES WHEREVER POSSIBLE. BROOM CLOSETS SHALL HAVE ONE SHELF.

WHERE TUBS OR SHOWERS OCCUR, PROVIDE MOISTURE RESISTANT GYPSUM BOARD.

ASPHALT (TAR) PAPER NOT ALLOWED. USE ONLY TYVEK OR APPROVED WEATHER RESISTANT BARRIER EQUIVALENT. TAPE ALL VERTICAL AND HORIZONTAL SEAMS AS PER MANUFACTURERS INSTRUCTIONS.

### ELECTRICAL SPECIFICATIONS

200 AMP SERVICE CONNECTION

ALL ELECTRICAL JUNCTION BOXES TO BE NUTEK PLASTIC BOX WITH AIRTIGHT FOAM GASKET COUPLED WITH PLASTIC VAPOUR BARRIER BOOT. PROVIDE SPRAY FOAM AT WIRE PENETRATION

ALL ELECTRICAL OUTLET AND FIXTURES LOCATIONS ARE TO BE CONFIRMED WITH OWNER.

ALL ELECTRICAL OUTLETS, SERVICES AND FIXTURES TO COMPLY WITH CURRENT ELECTRICAL CODES. ALL ELECTRICAL SERVICES TO BE INSTALLED BY A QUALIFIED TRADESMAN.

HEIGHT OF STANDARD OUTLETS (CENTER OF BOX)

- WALL OUTLETS 14"
- SWITCHES 46"
- OUTLETS ABOVE COUNTERTOP 6"

### HVAC SPECIFICATIONS

ALL HVAC SYSTEMS TO COMPLY WITH BC BUILDING CODE.

ALL HVAC SYSTEMS TO BE DESIGNED BY A QUALIFIED DESIGNER.

ALL FIXTURES AND MATERIALS TO BE CSA APPROVED.

ALL EQUIPMENT AND APPLIANCES TO BE INSTALLED AND TESTED AS PER TRADE STANDARDS.

## SYMBOLS LEGEND

	ROOM NAME ROOM NUMBER
	DOOR REFERENCE NUMBER REFER TO DOOR SCHEDULE FOR SPECIFIC INFORMATION
	WINDOW REFERENCE LETTER
	DETAIL NUMBER SHEET NUMBER
	BUILDING SECTION NUMBER SHEET NUMBER
	WALL SECTION NUMBER SHEET NUMBER
	INTERIOR ELEVATION NUMBER SHEET NUMBER
	KEYNOTE NUMBER
	REVISION NUMBER
	WALL TYPE
	FLOOR TYPE
	ROOF TYPE
	CONTROL POINT
	SPOT ELEVATION
	POINT LOAD
	LOAD BEARING PARTITION

## FLOOR ASSEMBLY LEGEND

<b>(F1) SLAB ON GRADE - GARAGE/DRIVEWAY</b>			
- 4" THICK EXPOSED AGGREGATE 32 mPa CONCRETE SLAB W/ 10M REINFORCING @ 24" O.C. BOTH WAYS			
- COMPACTED GRANULAR FILL AND PREPARED SUBGRADE - REFER TO GEOTECH REPORT			
<b>(F2) SLAB ON GRADE - PATIO/SIDEWALK</b>			
- 4" THICK 32 mPa COLOURED CONCRETE SLAB W/ SMOOTH TROWEL FINISH AND 10M REINFORCING @ 24" O.C. BOTH WAYS			
- COMPACTED GRANULAR FILL AND PREPARED SUBGRADE - REFER TO GEOTECH REPORT			
<b>(F3) SLAB ON GRADE - LOWER FLOOR</b>	<b>EFFECTIVE RSI</b>	<b>R-VALUE</b>	
- FINISHED FLOORING	(INT. AIR FILM) 0.16	0.90	
- 4" THICK, 32 mPa CONCRETE SLAB W/ 10M REINFORCING @ 24" O.C. BOTH WAYS	0.12	0.68	
- 10 MIL. POLY VAPOUR BARRIER WITH SEALED SEAMS	0.04	0.22	
- R15 EPS EXPANDED RIGID INSULATION.	0.00	0.00	
MIN. COMPRESSIVE STRENGTH 25 LBS/PSI	2.64	15.00	
- COMPACTED GRANULAR FILL AND PREPARED SUBGRADE - REFER TO GEOTECH REPORT	-	-	
EFFECTIVE RSI / R-VALUE OF ENTIRE ASSEMBLY	2.96	16.80	
MINIMUM RSI VALUE WITH HRV INSTALLED	1.96	11.12	
<b>(F4) MAIN FLOOR - OVER LIVING SPACE</b>			
- FINISHED FLOOR			
- 11/32" PLYWOOD UNDERLAY (LINO OR TILE AREAS)			
- 3/4" T&G PLYWOOD SUBFLOOR, GLUED & SCREWED			
- 11 7/8" ENGINEERED I-JOIST			
- 12" GYPSUM BOARD			
*FILL END OF JOIST CAVITIES WITH R22 2LB CLOSED CELL SPRAY INSULATION			
<b>(F5) FLOOR OVER GARAGE</b>	<b>EFFECTIVE RSI</b>	<b>R-VALUE</b>	
- FINISHED FLOOR	(INT. AIR FILM) 0.16	0.91	
- 11/32" PLYWOOD UNDERLAY (LINO OR TILE AREAS)	0.00	0.00	
- 3/4" T&G PLYWOOD SUBFLOOR, GLUED & SCREWED	0.00	0.00	
- 11 7/8" ENGINEERED I-JOIST	0.00	0.00	
- FILL I-JOIST WITH DENSE PACK CELLULOSE INSULATION @ 3-1/2 POUNDS PER CUBIC FOOT. (APPROVED ALTERNATE MINERAL WOOL BATTS)	5.55	31.5	
- INSULWEB CELLULOSE NETTING	0.00	0.00	
- 1/2" GYPSUM BOARD	0.08	0.45	
EFFECTIVE RSI / R-VALUE OF ENTIRE ASSEMBLY	5.79	32.88	
MINIMUM RSI VALUE WITH HRV INSTALLED	4.51	25.61	
<b>(F6) BALCONY</b>			
- VINYL DECK MEMBRANE			
- WOOD DECKING			
- 2x10" DECK JOISTS @ 16" O.C.			
- VENTED ALUMINIUM SOFFIT			

## WALL ASSEMBLY LEGEND

<b>(W1) FOUNDATION WALL</b>	<b>EFFECTIVE RSI</b>	<b>R-VALUE</b>	
- R15 EPS EXPANDED RIGID INSULATION	2.13	12.09	
- 8" CONCRETE FOUNDATION WALL	0.08	0.45	
- 2 LAYERS OF BITUMINOUS DAMPROOFING	0.00	0.00	
EFFECTIVE RSI / R-VALUE OF ENTIRE ASSEMBLY	2.21	12.54	
MINIMUM RSI VALUE WITH HRV INSTALLED	-	-	
<b>(W2) FOUNDATION WALL - LOWER FLOOR</b>	<b>EFFECTIVE RSI</b>	<b>R-VALUE</b>	
- 1/2" GYPSUM BOARD	(INT. AIR FILM) 0.12	0.68	
- 2x4" WOOD STUDS @ 24" O.C. WITH R12 FIBREGLASS BATT INSULATION BETWEEN STUDS	1.19	0.45	
- R15 EPS RIGID INSULATION w/ TAPED SEAMS	2.11	11.98	
- 8" CONCRETE FOUNDATION WALL	2.64	14.99	
- 2 LAYERS OF BITUMINOUS DAMP PROOFING	0.08	0.46	
	0.00	0.00	
EFFECTIVE RSI / R-VALUE OF ENTIRE ASSEMBLY	5.59	26.96	
MINIMUM RSI VALUE WITH HRV INSTALLED	2.98	16.92	
<b>(W3) EXTERIOR WALL</b>	<b>EFFECTIVE RSI</b>	<b>R-VALUE</b>	
- 1/2" GYPSUM BOARD	(INT. AIR FILM) 0.12	0.68	
- 6 MIL POLY VAPOUR BARRIER	0.08	0.45	
- R22 FIBREGLASS BATT INSULATION	0.00	0.00	
- 2x6" WOOD STUDS @ 24" O.C.	2.67	15.16	
- 7/16" PLYWOOD SHEATHING	0.096	0.54	
- 2 LAYERS OF TYVEK STUCCOWRAP	0.00	0.00	
- CLADDING, STUCCO(REFER TO ELEVATIONS FOR CLADDING TYPE)	0.0009 - 0.023	0.02 - 0.13	
	(EXT. AIR FILM) 0.03	0.17	
EFFECTIVE RSI / R-VALUE OF ENTIRE ASSEMBLY	2.99 - 3.019	17.13	
MINIMUM RSI VALUE WITH HRV INSTALLED	2.97	16.86	
<b>(W4) WALL BETWEEN HOUSE &amp; GARAGE</b>	<b>EFFECTIVE RSI</b>	<b>R-VALUE</b>	
- 1/2" GYPSUM BOARD	(INT. AIR FILM) 0.12	0.68	
- 6 MIL POLY VAPOUR BARRIER	0.08	0.45	
- R22 FIBREGLASS BATT INSULATION	0.00	0.00	
- 2x6" WOOD STUDS @ 24" O.C.	2.67	15.16	
- 1/2" GYPSUM BOARD	0.08	0.45	
	(EXT. AIR FILM) 0.03	0.17	
EFFECTIVE RSI / R-VALUE OF ENTIRE ASSEMBLY	2.98	16.91	
MINIMUM RSI VALUE WITH HRV INSTALLED	2.81	15.96	
<b>(W5) INTERIOR WALL</b>			
- 1/2" GYPSUM BOARD			
- 2x4" WOOD STUDS @ 16" O.C.			
- 1/2" GYPSUM BOARD			
*2x6" WOOD STUDS AT PLUMBING WALLS WHERE INDICATED			
<b>(W6) DUCT WALL &amp; BULKHEADS</b>			
- 2xX" WOOD STUDS @ 16" O.C. OR LIGHTWEIGHT STEEL FRAMING			
- 1/2" GYPSUM BOARD			
*ENSURE VAPOUR BARRIER CONTINUOUS BEYOND, AT ALL EXTERIOR WALLS			

## ROOF ASSEMBLY LEGEND

<b>(R1) ROOF</b>	<b>EFFECTIVE RSI</b>	<b>R-VALUE</b>	
- 2-PLY SBS TORCH-DOWN ROOF MEMBRANE	(EXT. AIR FILM) 0.03	0.17	
- 5/8" PLYWOOD DECKING WITH "H" CLIPS	0.00	0.00	
- ENGINEERED ROOF TRUSS WITH VENTED ALUMINIUM SOFFIT AT EAVES TYP. U.N.O.	0.14	0.77	
- MIN AIR SPACE 2-1/2"	0.16	0.91	
- R60 BLOWN-IN FIBREGLASS INSULATION OR LOOSE FILL CELLULOSE	10.63	60.00	
- 6MIL POLY VAPOUR BARRIER w/ SEALED SEAMS	0.00	0.00	
- 1/2" GYPSUM BOARD	0.08	0.45	
	(INT. AIR FILM) 0.11	0.62	
EFFECTIVE RSI / R-VALUE OF ENTIRE ASSEMBLY	7.35	41.72	
MINIMUM RSI VALUE WITH HRV INSTALLED	6.97	39.58	
<b>(R2) BALCONY FLOOR/ROOF OVER GARAGE</b>	<b>EFFECTIVE RSI</b>	<b>R-VALUE</b>	
- VINYL DECK MEMBRANE	(EXT. AIR FILM) 0.03	0.17	
- 5/8" T&G PLYWOOD DECKING	0.135	0.77	
- 2xX" TAPED WOOD BLOCKING	0.00	0.00	
- 2" X 6" WOOD FLOOR JOISTS @ 16" O.C.	0.00	0.00	
- R28 2LB SPRAY FOAM INSULATION TO UNDERSIDE OF DECKING	4.93	28.00	
- DENSEPACK CELLULOSE INSULATION @ 3-1/2 LBS/FT3 (APPROVED ALTERNATE MINERAL WOOL BATTS)	0.00	0.00	
- INSULWEB CELLULOSE NETTING	0.08	0.45	
- 1/2" GYPSUM WALLBOARD	0.11	0.62	
EFFECTICE RSI / R VALUE OF ENTIRE ASSEMBLY	5.285	30.01	
MINIMUM RSI VALUE WITH HRV INSTALLED	4.51	25.61	
<b>(R3) BALCONY ROOF</b>			
- 2-PLY SBS TORCH-DOWN MEMBRANE			
- 5/8" PLYWOOD DECKING WITH "H" CLIPS			
- 2x10" @ 16" O.C. ROOF JOISTS			
- 1x3" WOOD STRAPPING @ 16" O.C.			
- 1x4" T+G VENTED CEDAR SOFFIT			

## STAIR ASSEMBLY LEGEND

<b>(S1) EXTERIOR STAIRS</b>	
- STEEL C-CHANNEL WITH TRAYS	
- HOLES TO BE DRILLED THROUGH BOTTOM OF TRAYS FOR MOISTURE DRAINAGE.	
- PAVERS SET INTO TRAYS WITH GROUT	
<b>(S2) INTERIOR STAIRS</b>	
- FINISHED FLOORING	
- 1" PLYWOOD TREADS AND 3/4" RISERS GLUED AND SCREWED	
- 2x12" #1 FIR STRINGERS WITH SINGLE 2x12" STRINGER AT MID-TREAD	
- 1/2" GYPSUM BOARD ON UNDERSIDE OF STAIRS	

## GENERAL CONDITIONS

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## SITE NORTH PROJECT NORTH

DATE	ISSUED FOR
2016-02-04	PRICING
2016-03-23	PRICING
2016-07-29	PERMIT / CONSTRUCTION
2016-10-04	ENGINEERING
2016-11-25	CONSTRUCTION
2018-05-14	CONSTRUCTION R1

PROJECT TITLE # 1502

## Show Home

2880 Outlook Way, Lot 20  
Naramata, BC

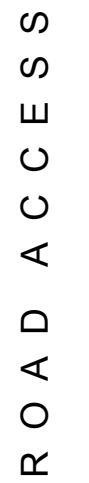
## SHEET TITLE

## Information Sheet

### SCALE

### DRAWING NUMBER





## GENERAL CONDITIONS

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SITE NORTH PROJECT NORTH

PROJECT TITLE #152

SHEET TITLE

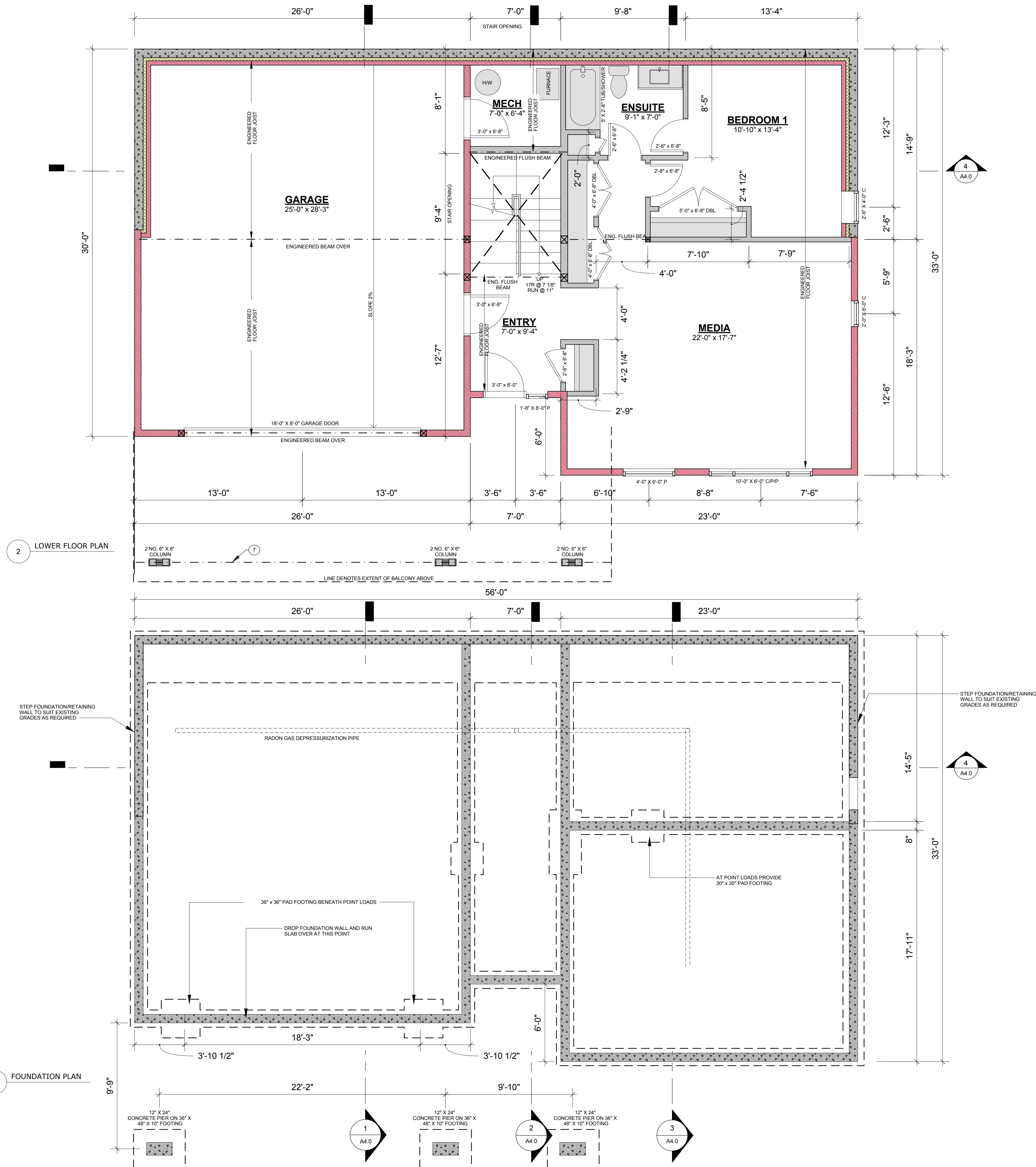
SCALE  $3/32" = 1'-0"$

DRAWING NUMBER

# A1.0

FLOOR AREA SUMMARY	GROSS SF
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MAIN FLOOR	1,666 SF
LOWER FLOOR	962 SF
<hr/>	
TOTAL	2,628 SF
<hr/>	
GARAGE	766 SF
COVERED BALCONY	453 SF





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SITE NORTH



PROJECT NORTH



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2016-03-23	PRICING
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2016-10-04	ENGINEERING
2016-11-25	CONSTRUCTION
2018-05-14	CONSTRUCTION R1

PROJECT TITLE #1502

Show Home  
2880 Outlook Way, Lot 20  
Naramata, BC

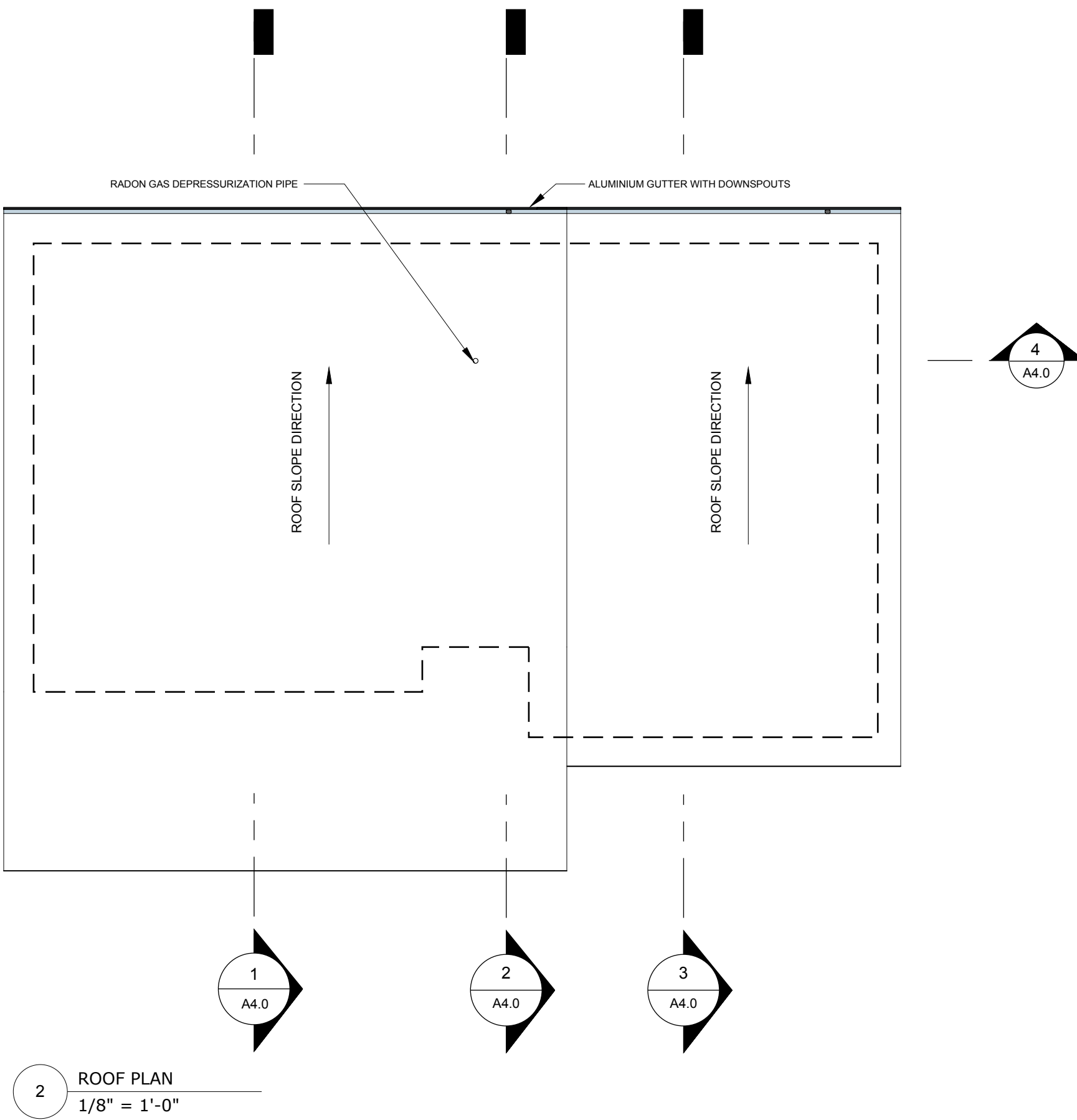
SHEET TITLE

Main & Upper Floor  
Plans

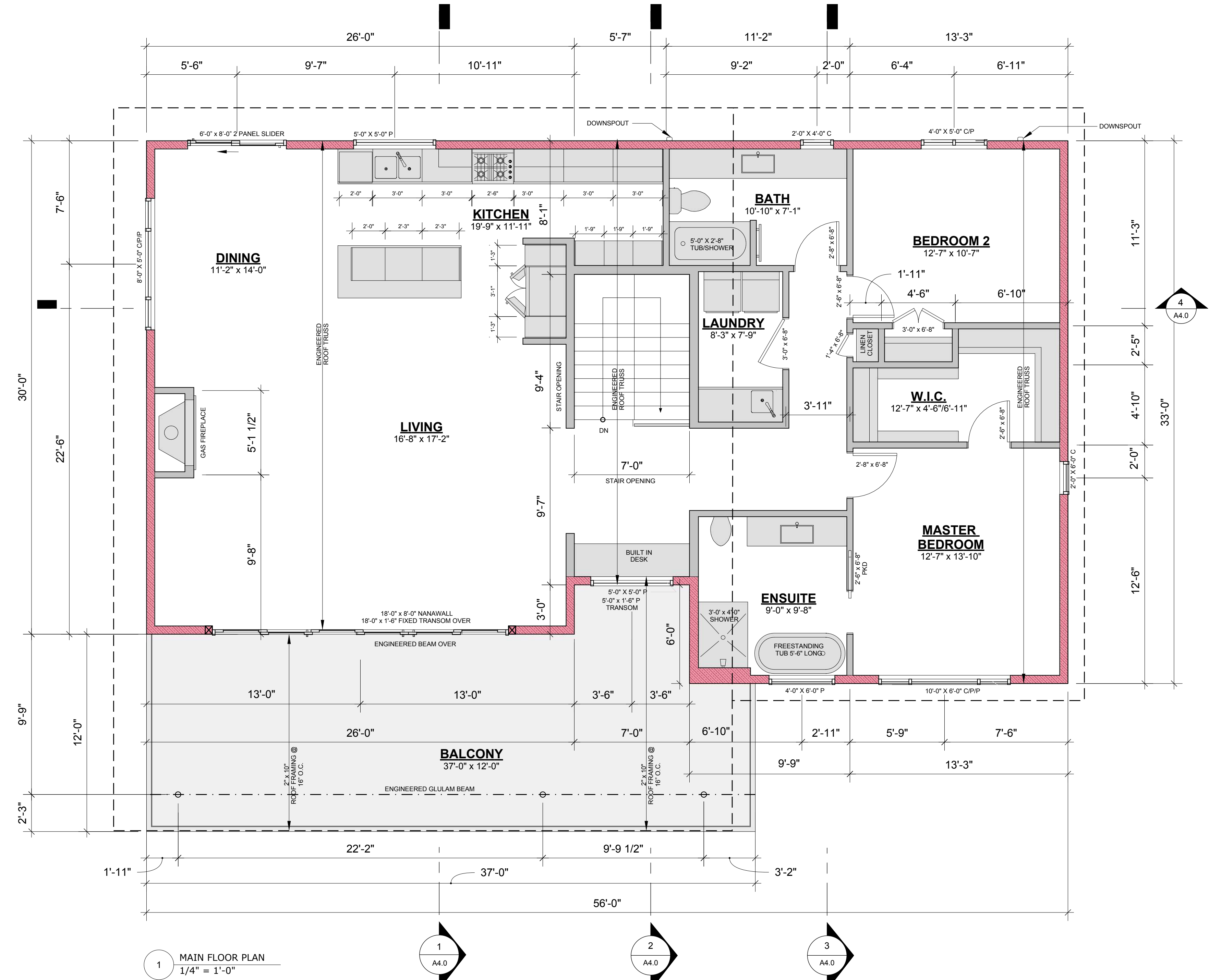
SCALE 1/4" = 1'-0" & 1/8" = 1'-0"

DRAWING NUMBER

A2.1

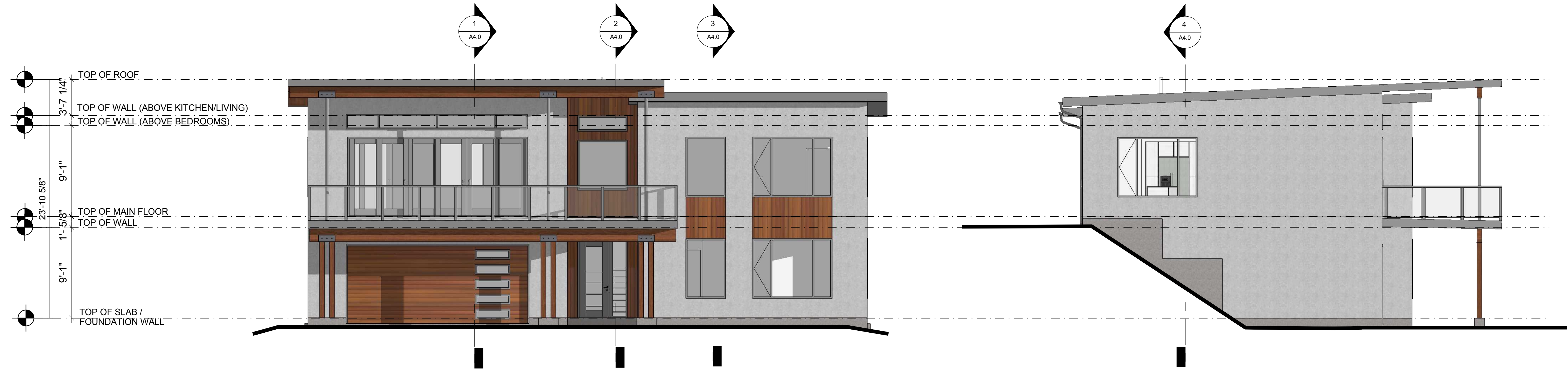


2 ROOF PLAN  
1/8" = 1'-0"



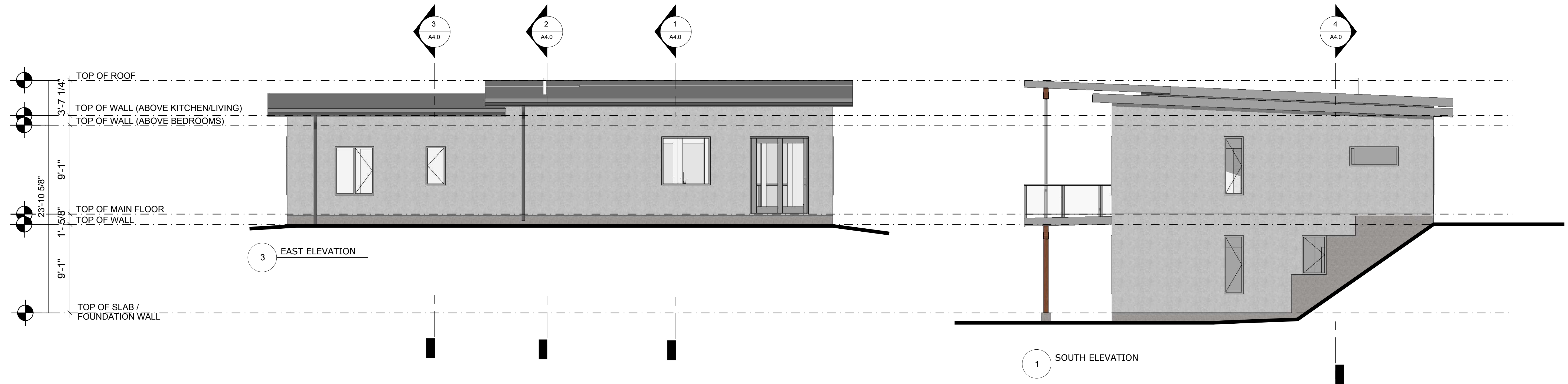
1 MAIN FLOOR PLAN  
1/4" = 1'-0"





4 WEST ELEVATION

2 NORTH ELEVATION



3 EAST ELEVATION

1 SOUTH ELEVATION

EXTERIOR FINISHES LEGEND

CLADDING - STUCCO

ROOFING  
LOW SLOPE 2-PLY SBS ROOFING

EXPOSED CONCRETE  
PAPER FACED FORM

GUARDS  
3'-6\"/>

ROOF FASCIA  
LP SMARTSIDE FASCIA BOARD

SOFFITS  
PREFINISHED VENTED ALUMINIUM SOFFIT

METAL FLASHINGS  
PREFINISHED CUSTOM BENT STEEL FLASHINGS WITH LIGHT GREY FINISH TO  
MATCH WINDOWS, END DAMS ON ALL WINDOWS/DOORS

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2016-10-04	ENGINEERING
2016-11-25	CONSTRUCTION
2018-05-14	CONSTRUCTION R1

PROJECT TITLE # 1502

Show Home  
2880 Outlook Way, Lot 20  
Naramata, BC

SHEET TITLE

Building Elevations

SCALE 3/16" = 1'-0"

DRAWING NUMBER

A3.0

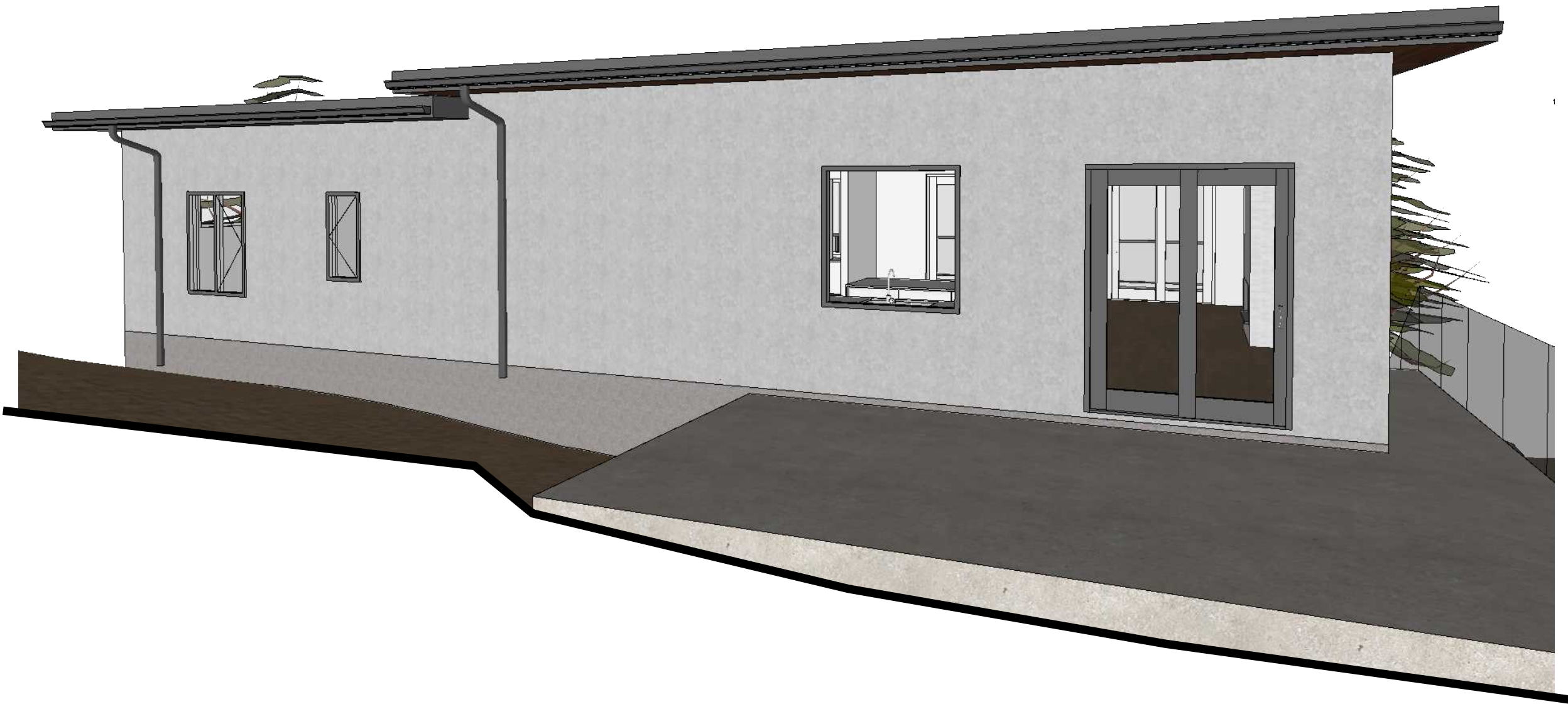




4 PERSPECTIVE  
NORTH ELEVATION



3 PERSPECTIVE  
SOUTH ELEVATION



2 PERSPECTIVE  
EAST ELEVATION



1 PERSPECTIVE  
WEST ELEVATION

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2018-05-14	CONSTRUCTION R1

PROJECT TITLE #1502

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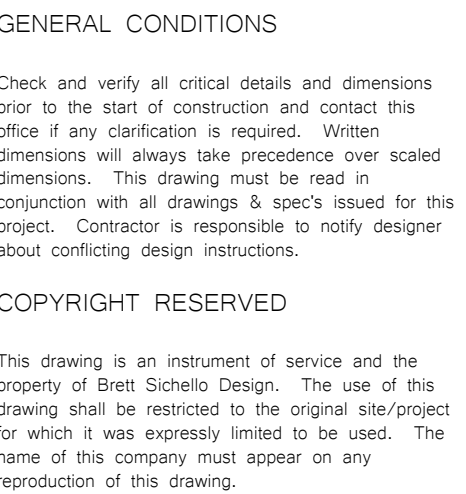
SHEET TITLE

Building Perspective  
Elevations

SCALE N.T.S.

DRAWING NUMBER





DATE	ISSUED FOR
016-02-04	PRICING
016-03-23	PRICING
016-07-29	PERMIT / CONSTRUCTION
016-10-04	ENGINEERING
016-11-25	CONSTRUCTION
018-05-13	CONSTRUCTION R 1

PROJECT TITLE #1502

Show Home  
880 Outlook Way, Lot 20  
Surrey, BC

SHEET TITLE

## 2D Building Section

SCALE  $1/4" = 1'-0"$

DRAWING NUMBER



GENERAL CONDITIONS

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SITE NORTH PROJECT NORTH

DATE	ISSUED FOR
2016-02-04	PRICING
2016-03-23	PRICING
2016-07-29	PERMIT / CONSTRUCTION
2016-10-04	ENGINEERING
2016-11-25	CONSTRUCTION
2018-05-13	CONSTRUCTION R1

PROJECT TITLE #1502

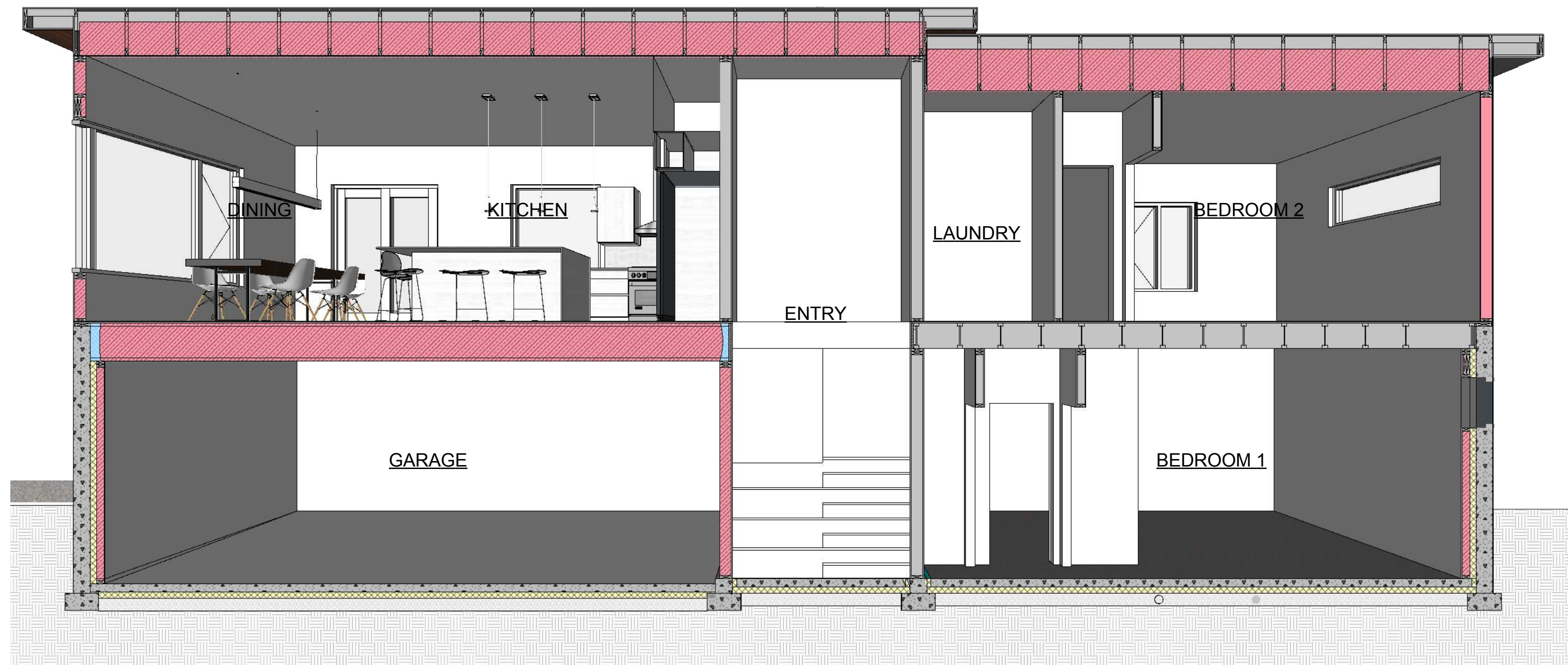
Show Home  
2880 Outlook Way, Lot 20  
Naramata, BC

SHEET TITLE

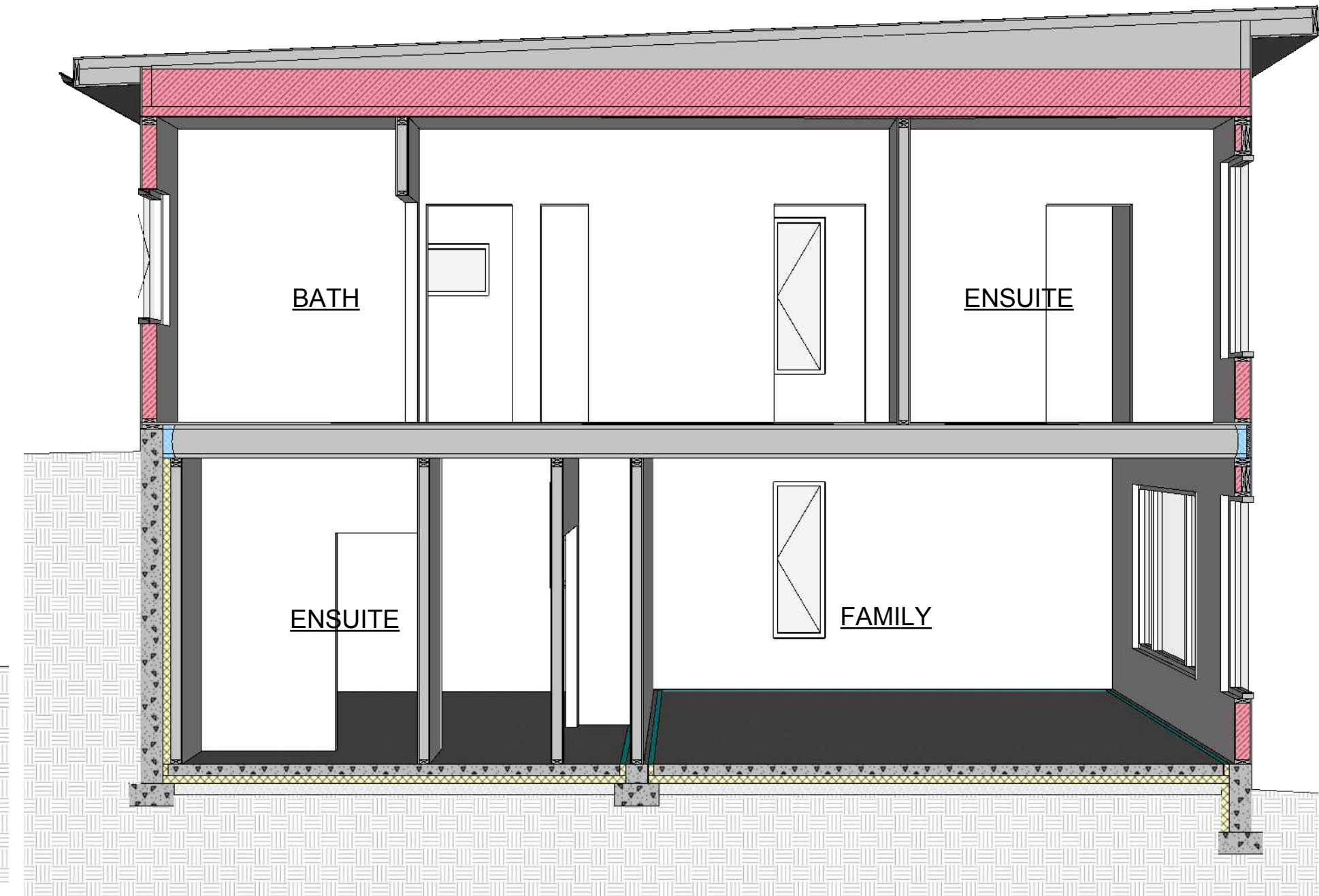
3D Building Sections

SCALE N.T.S.

DRAWING NUMBER



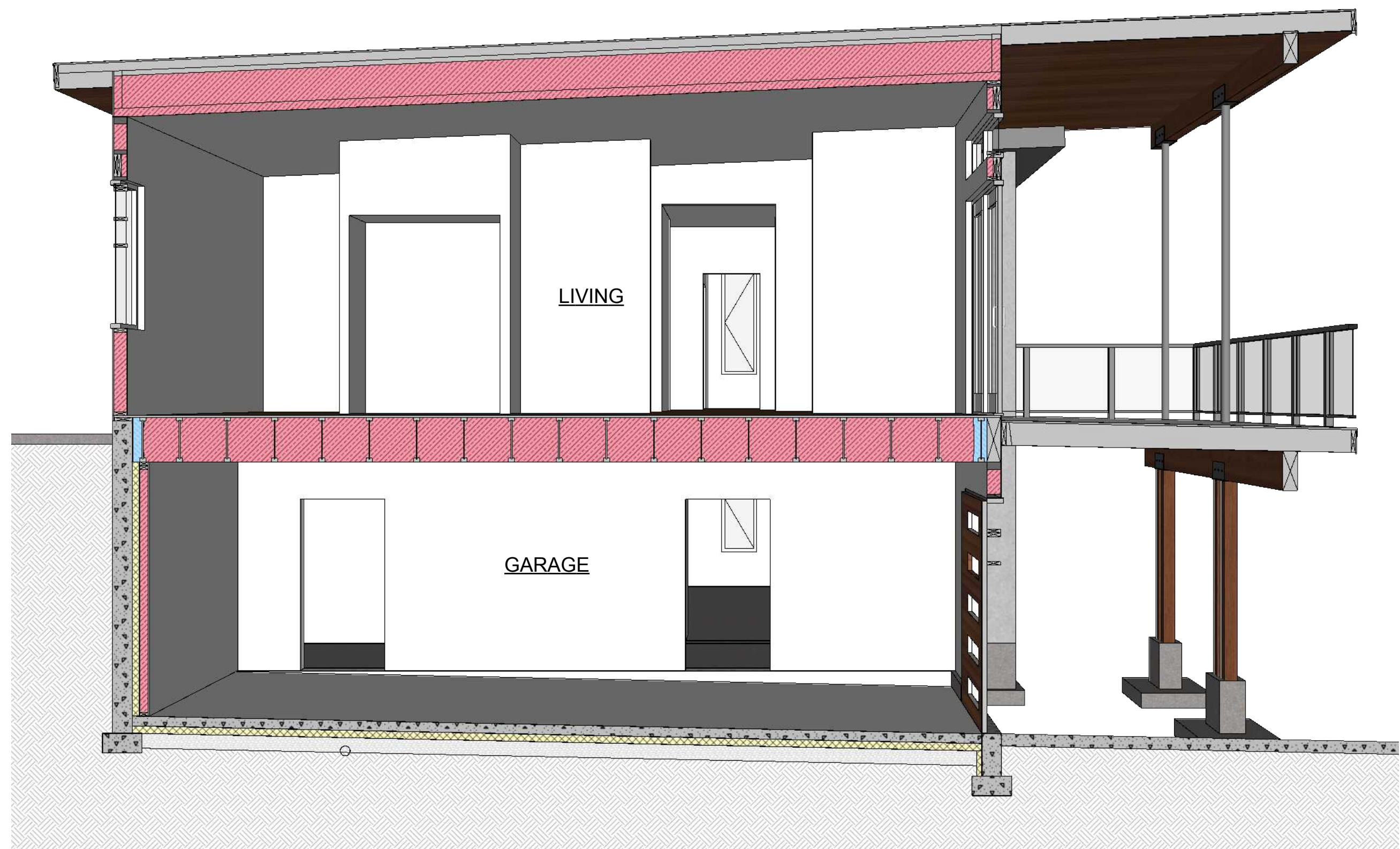
4 SECTION 4



3 SECTION 3

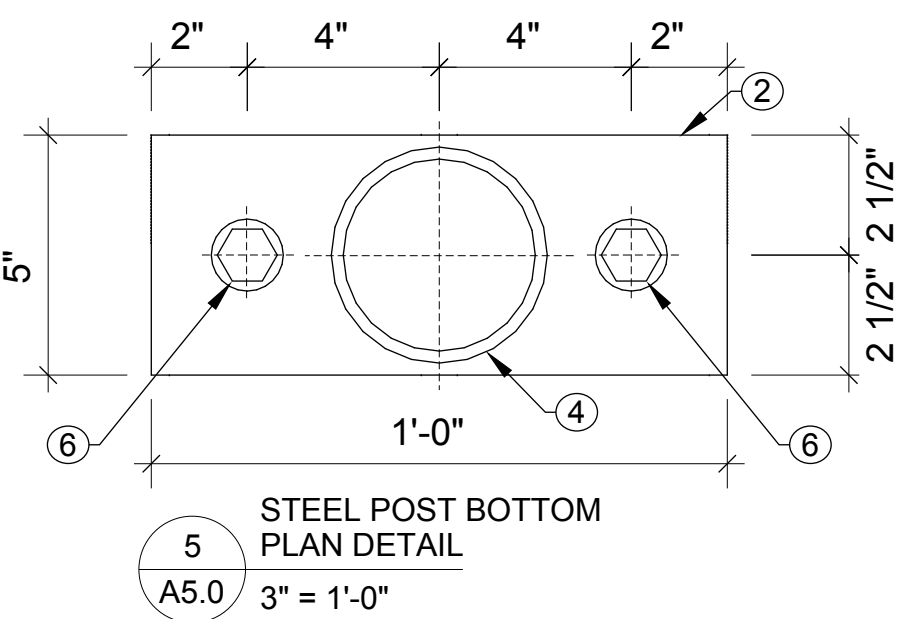
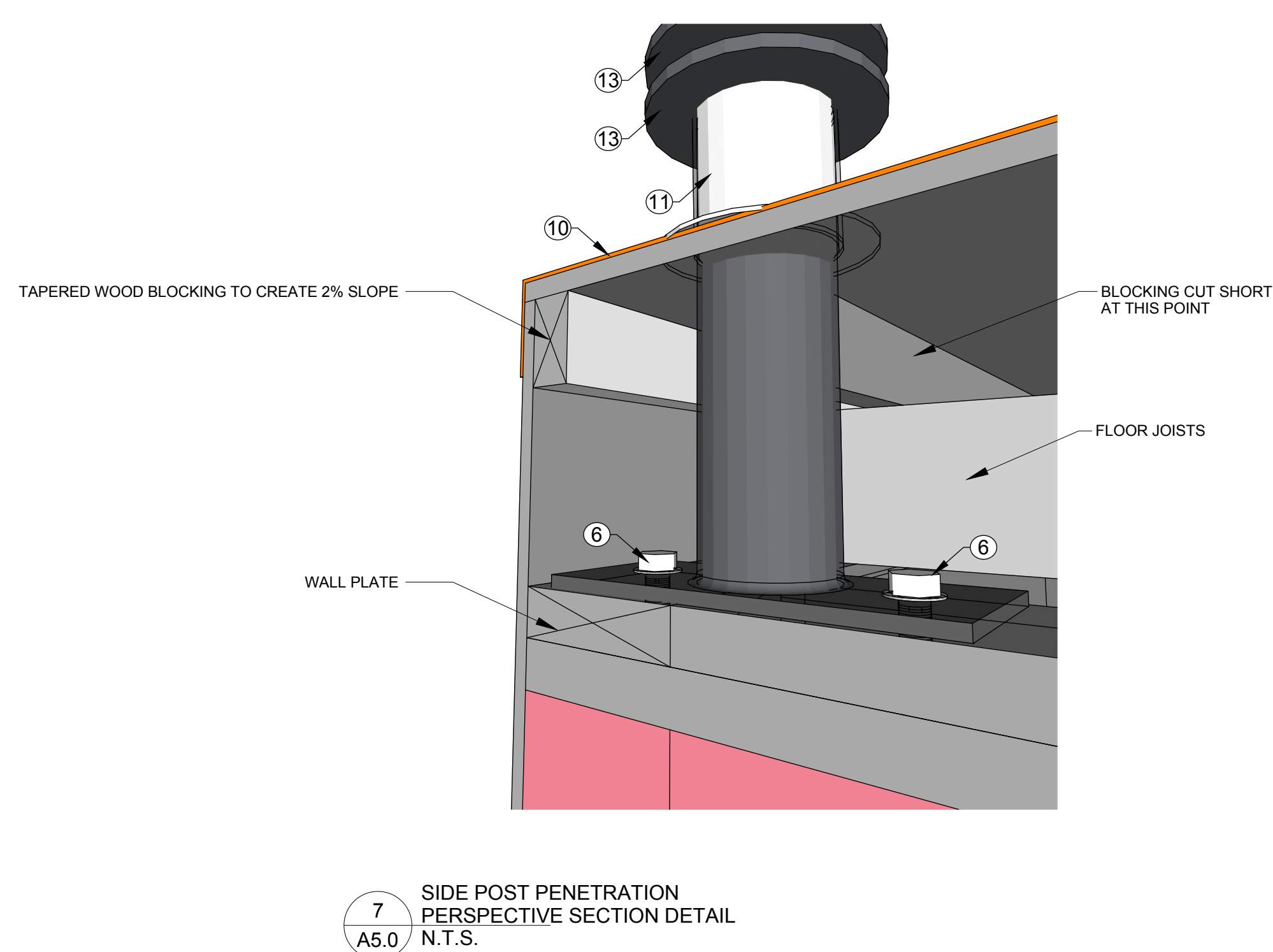
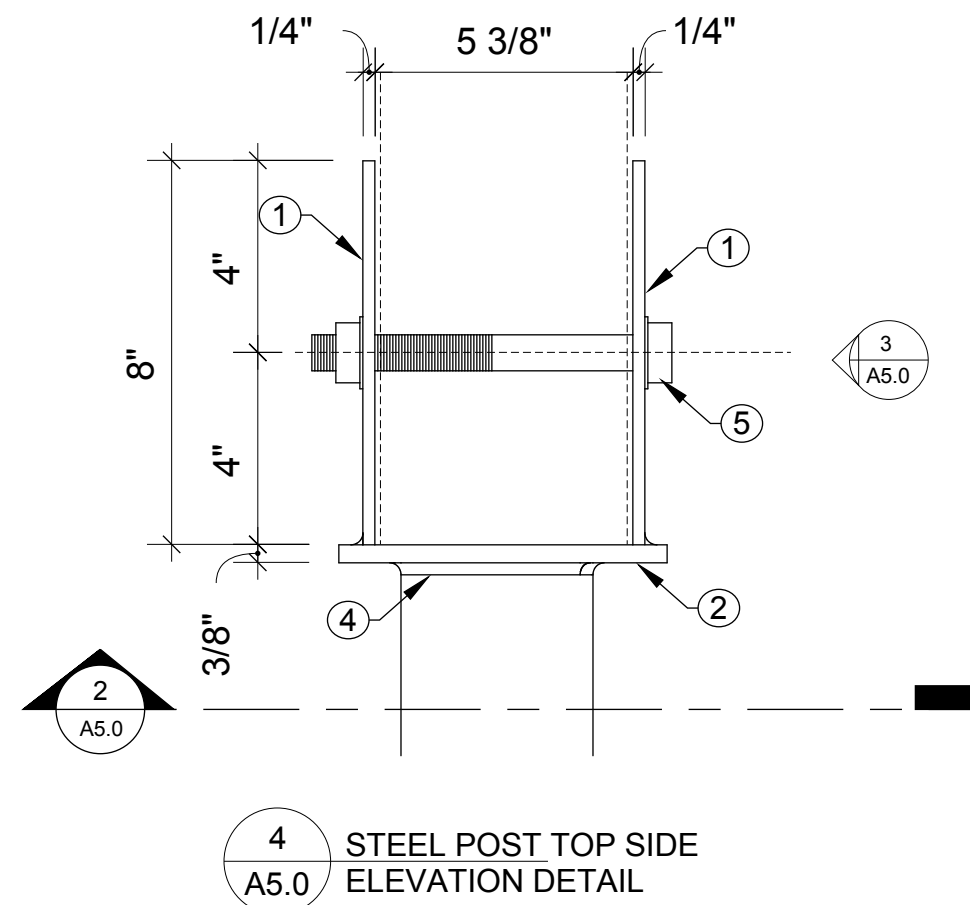
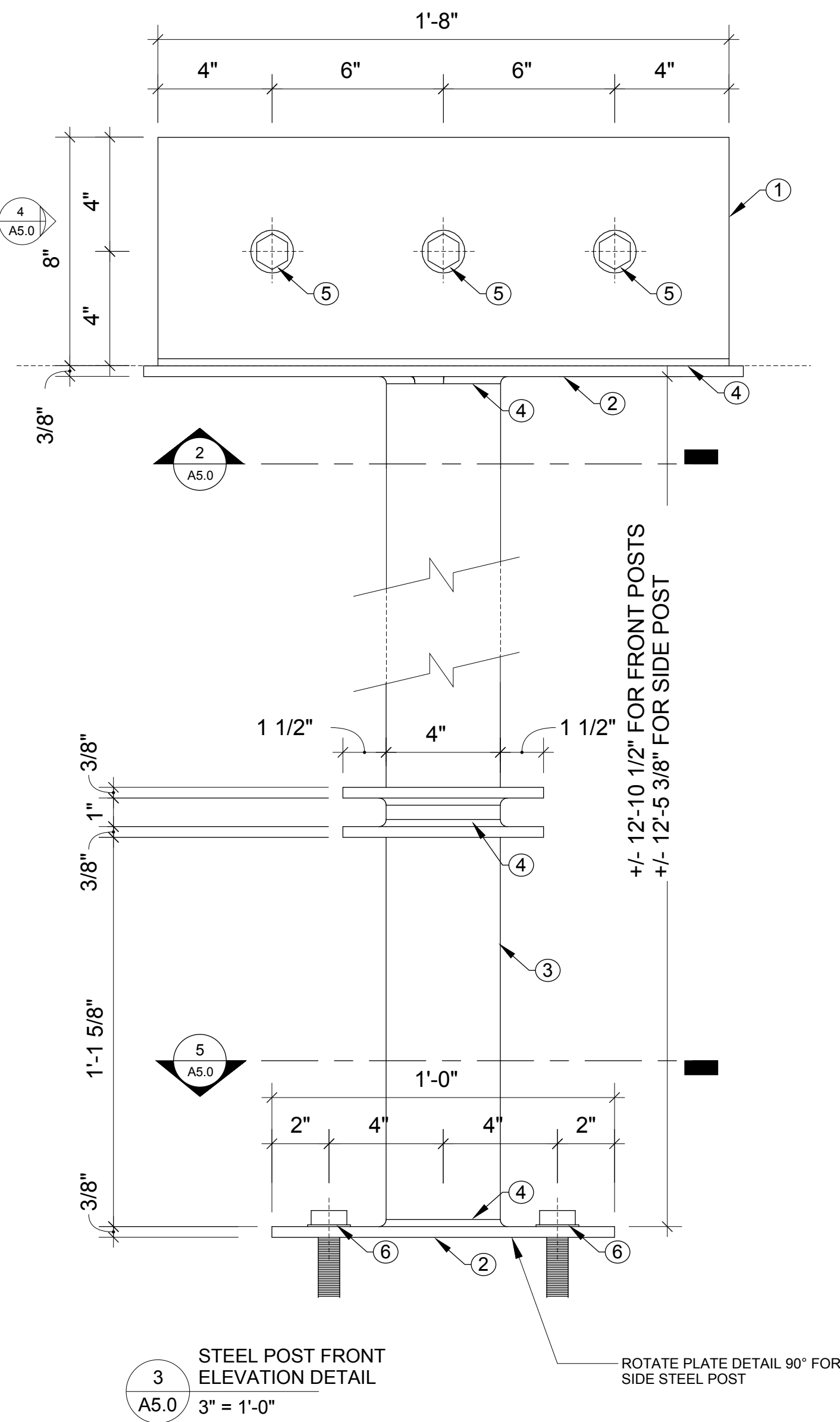
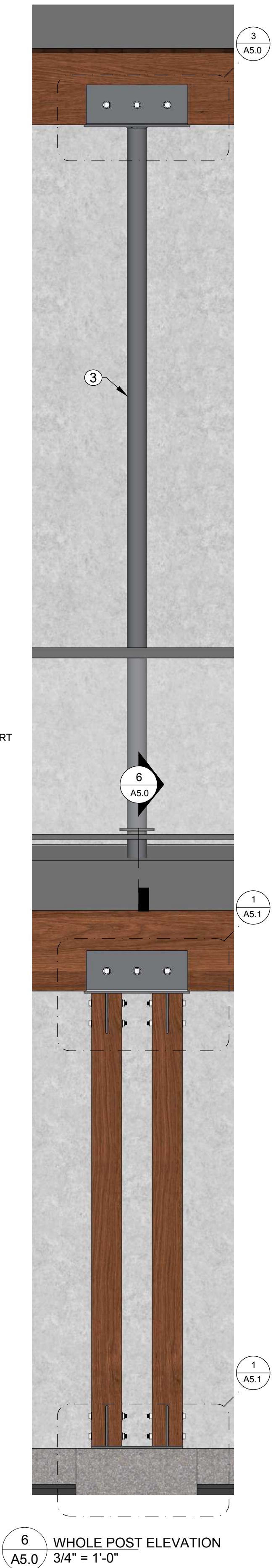
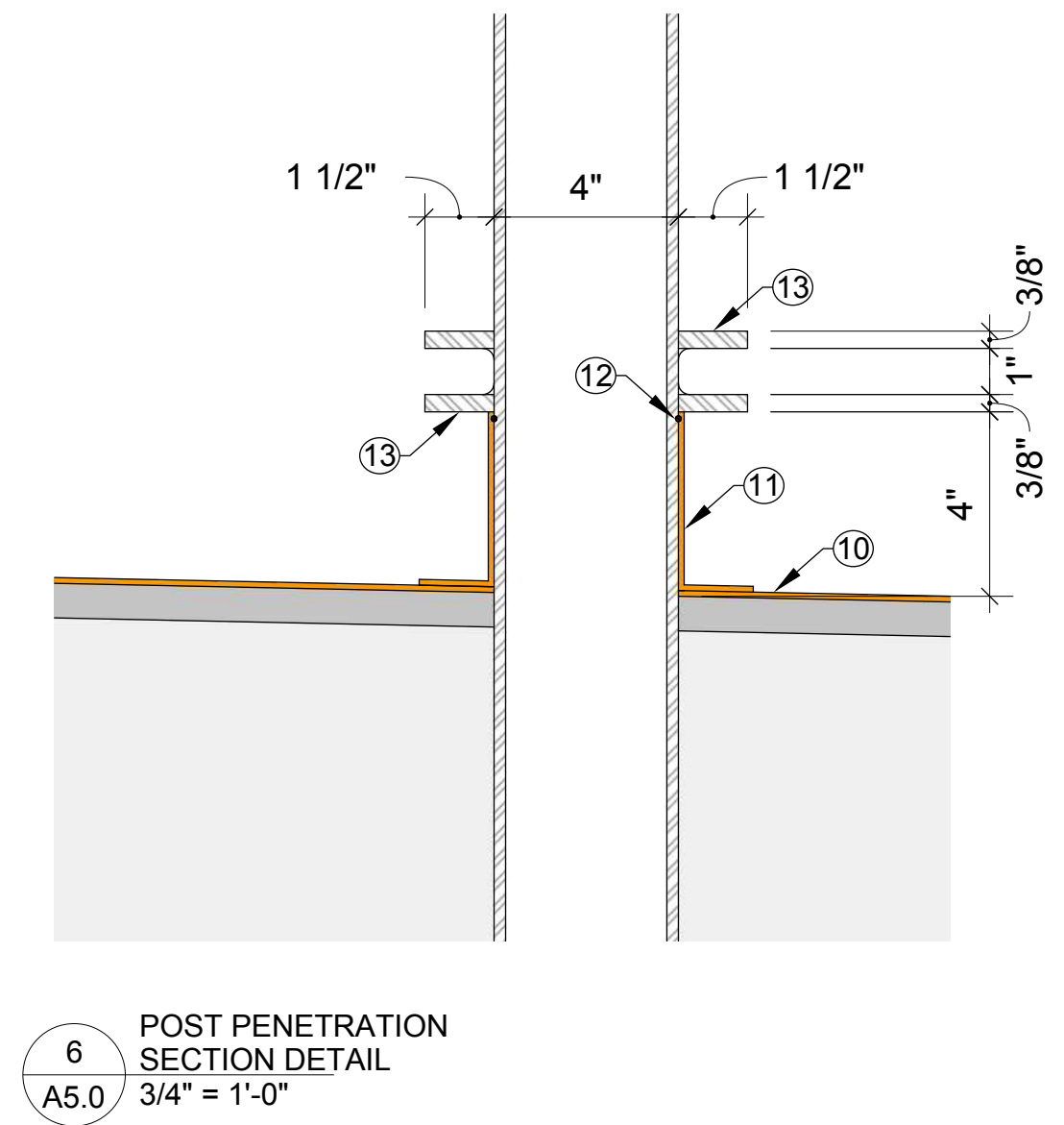
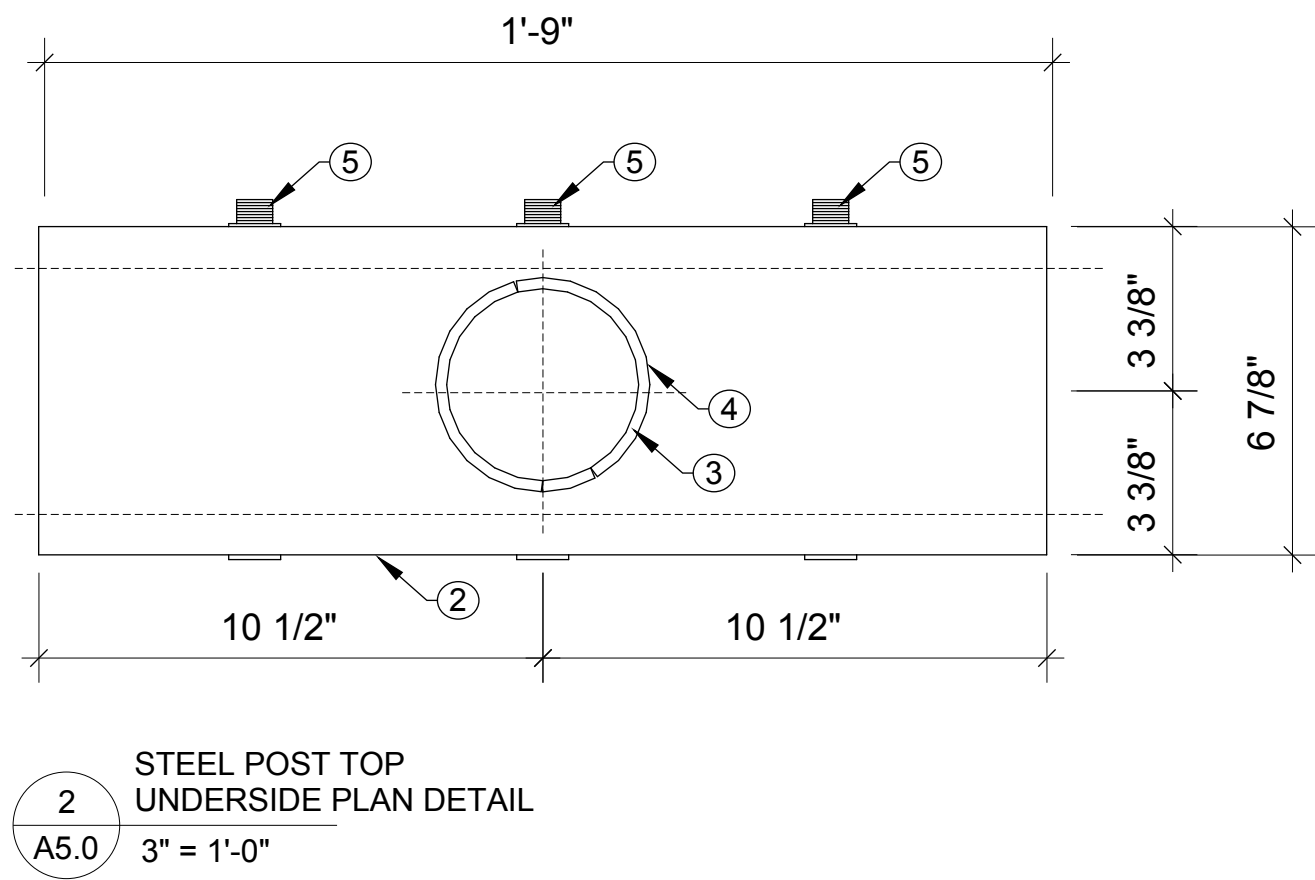
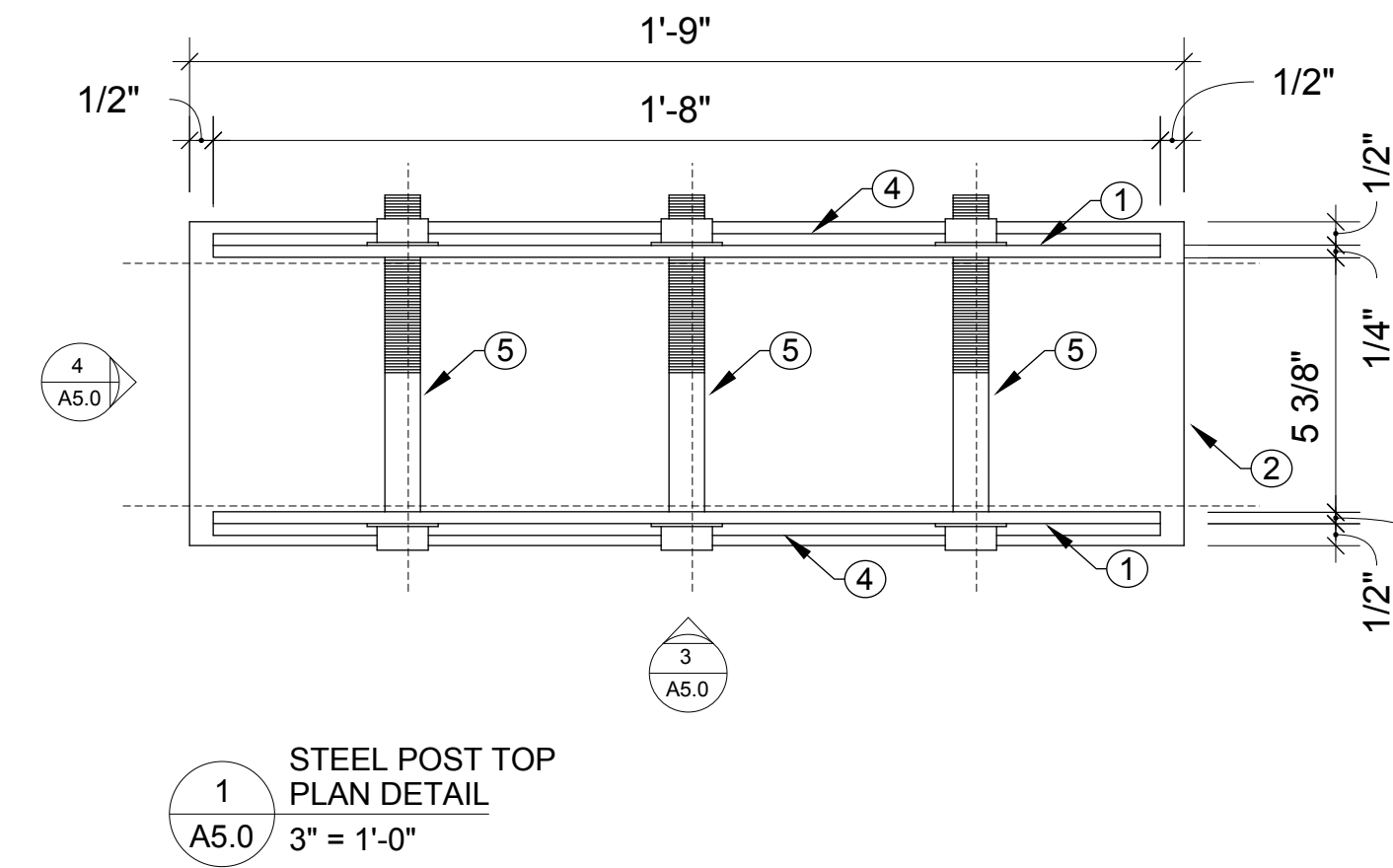


2 SECTION 2



1 SECTION 1





DETAIL KEYNOTES	
1	1/4" STEEL PLATE
2	3/8" STEEL PLATE
3	4" DIA. X 1/4" HSS STEEL COLUMN
4	1/4" FILLET WELD
5	3/4" DIA. BOLT WASHERS & NUTS
6	3/4" DIA. X 8" LAG SCREW
7	6" X 6" WOOD POST
8	3/4" DIA. X 8" THREADED ROD
9	CONCRETE FOUNDATION
10	DECK MEMBRANE
11	MEMBRANE COLLAR
12	TOP COLLAR SEALED IN CONTINUOUS SEALANT BEAD
13	7" DIA. 3/8 THICK STEEL PLATE WEATHER CAP
14	MOISTURE MEDIUM

GENERAL CONDITIONS

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SITE NORTH PROJECT NORTH

DATE	ISSUED FOR
2016-11-25	CONSTRUCTION
2018-05-14	CONSTRUCTION R1

PROJECT TITLE #1502

Show Home  
2880 Outlook Way, Lot 20  
Naramata, BC

SHEET TITLE

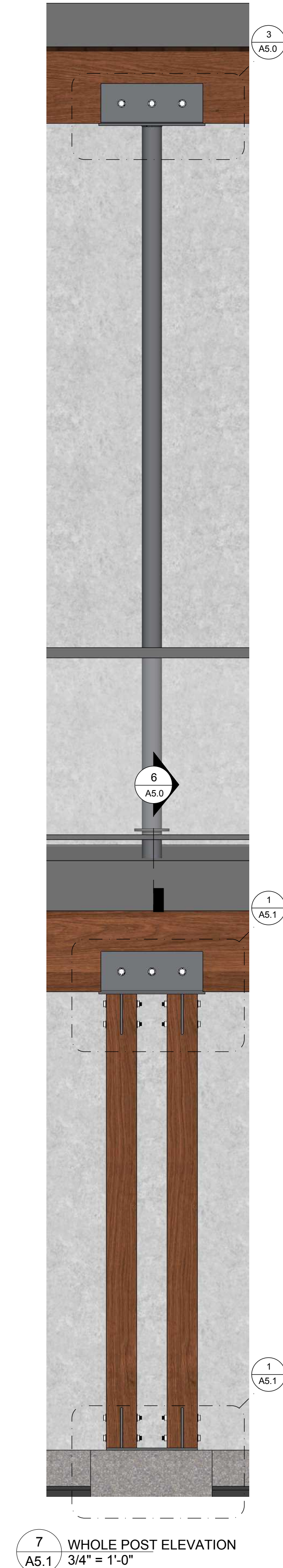
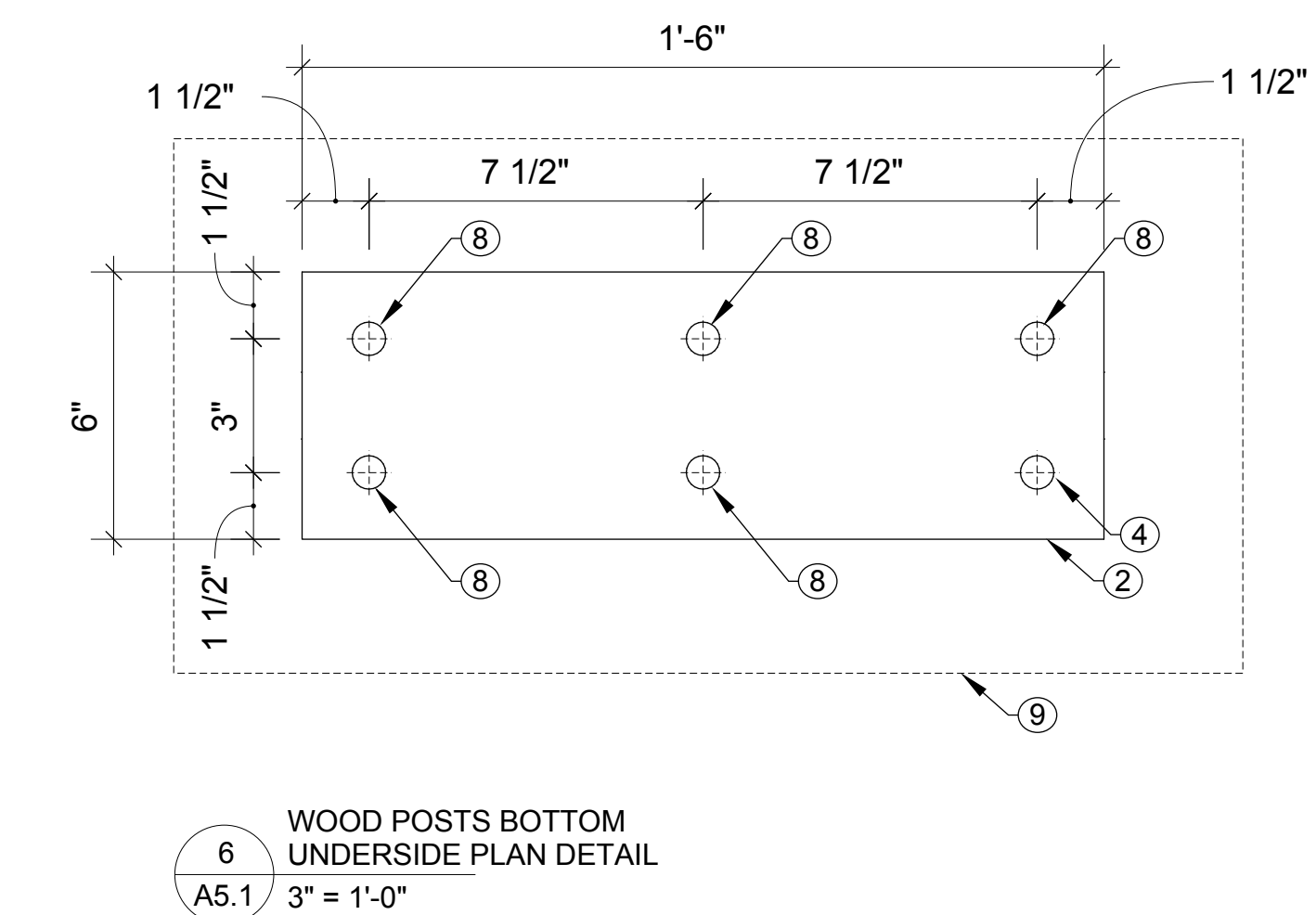
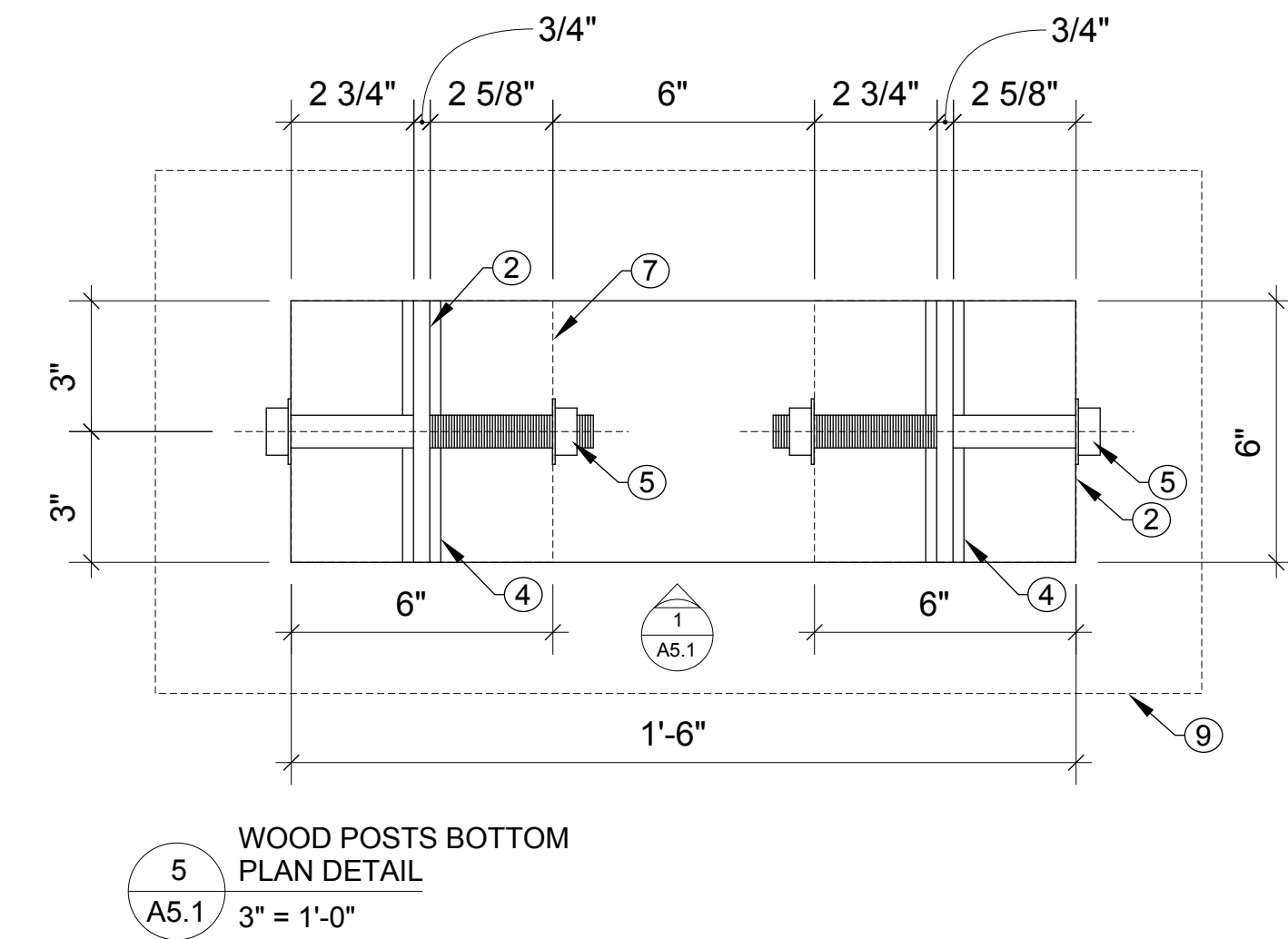
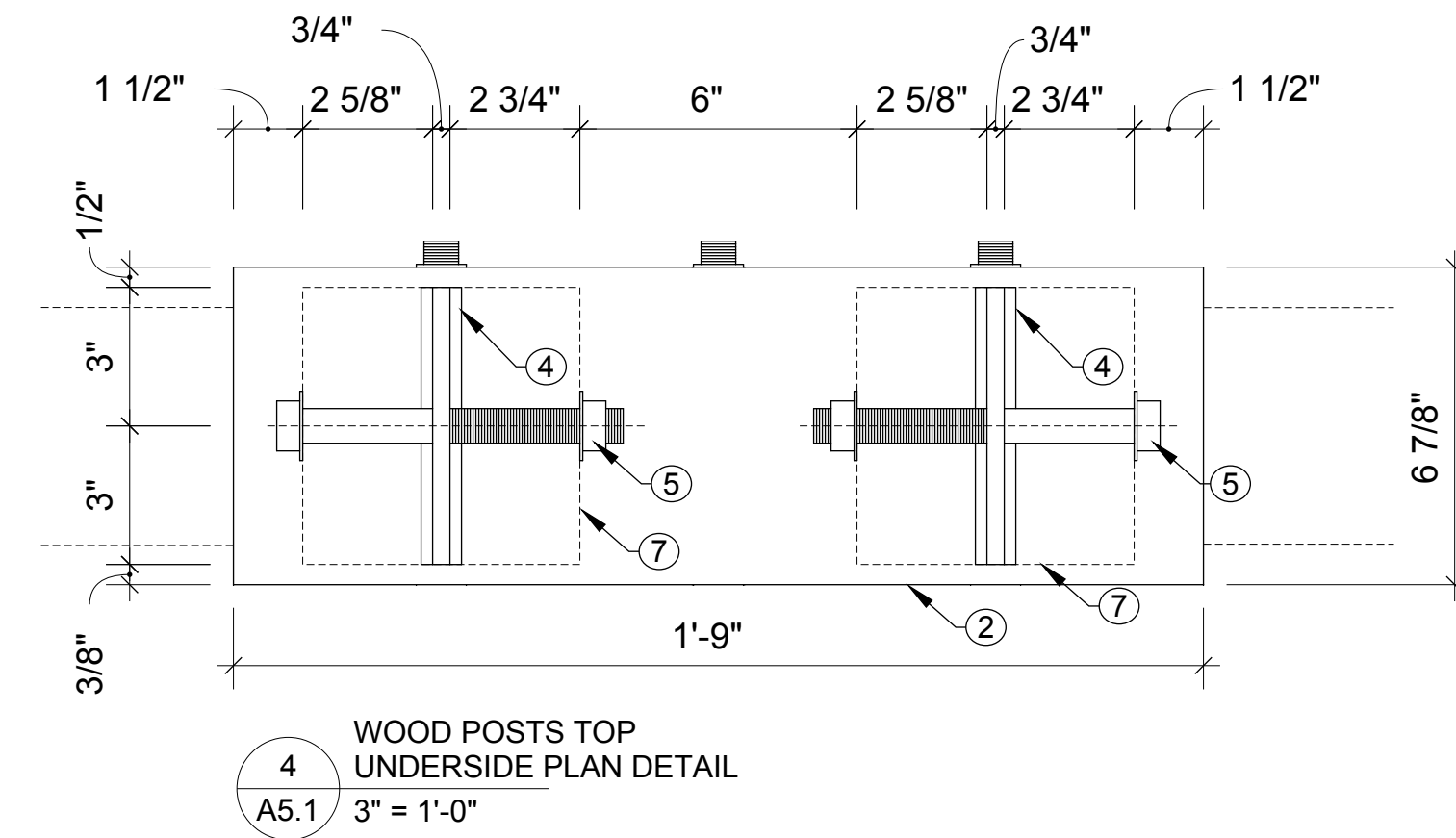
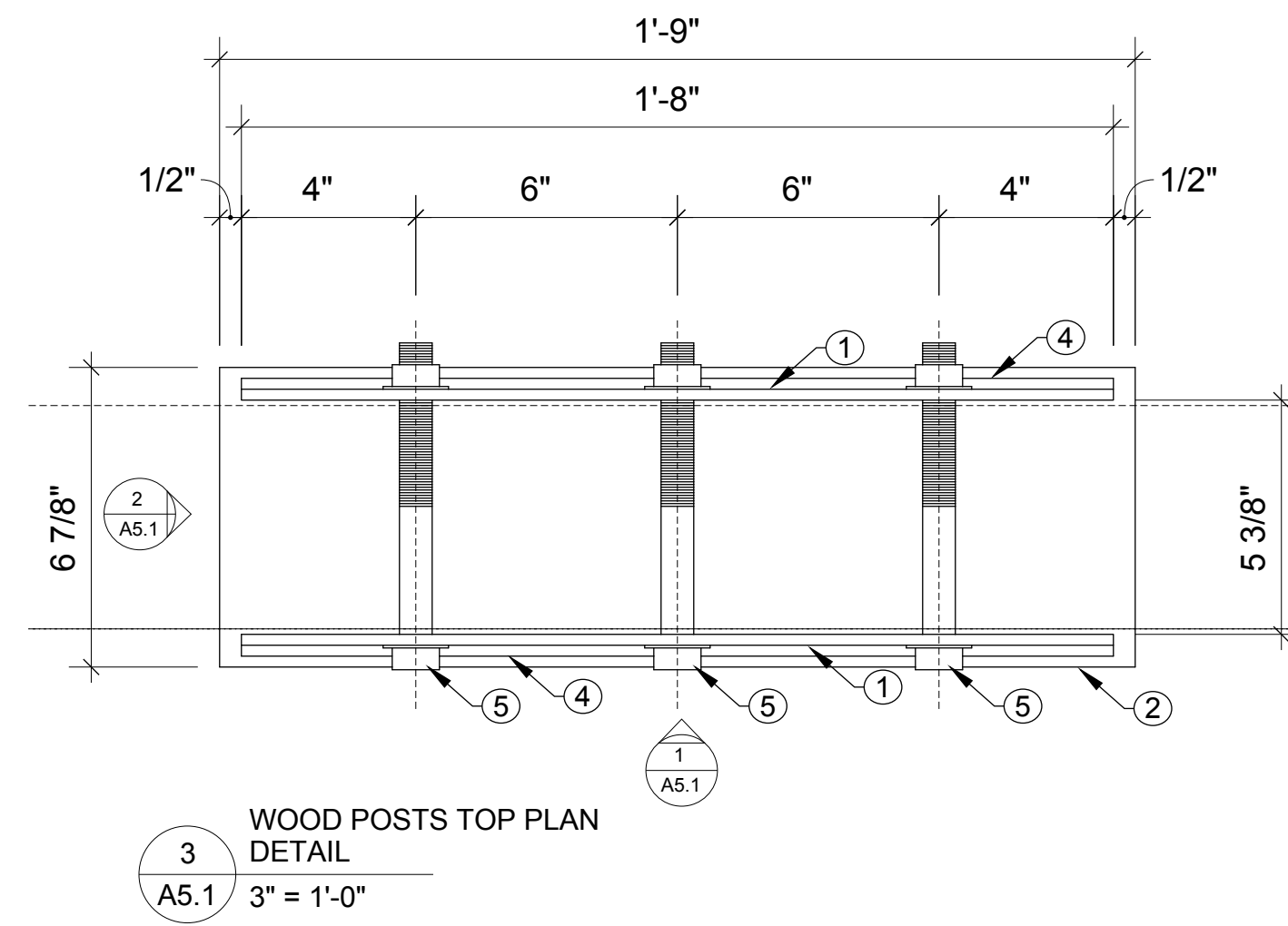
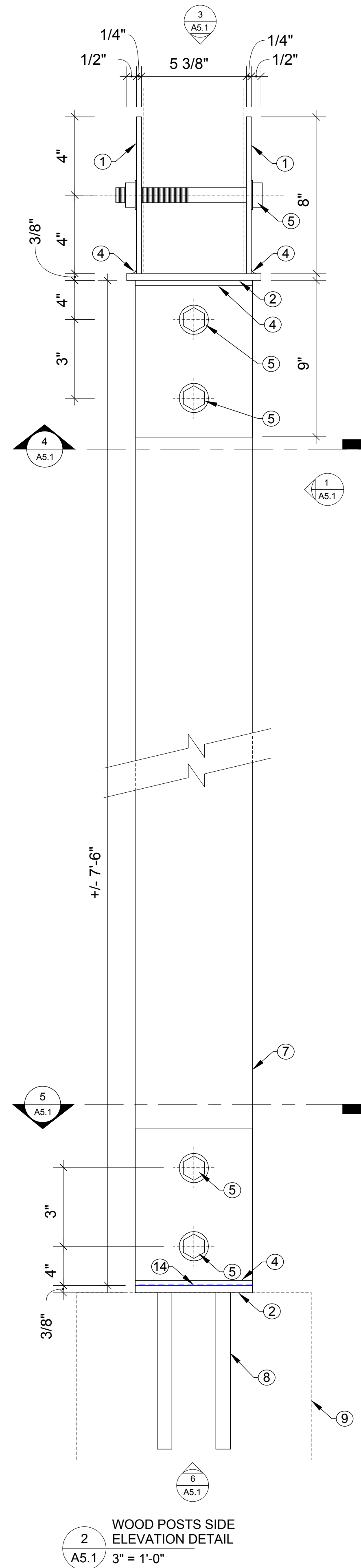
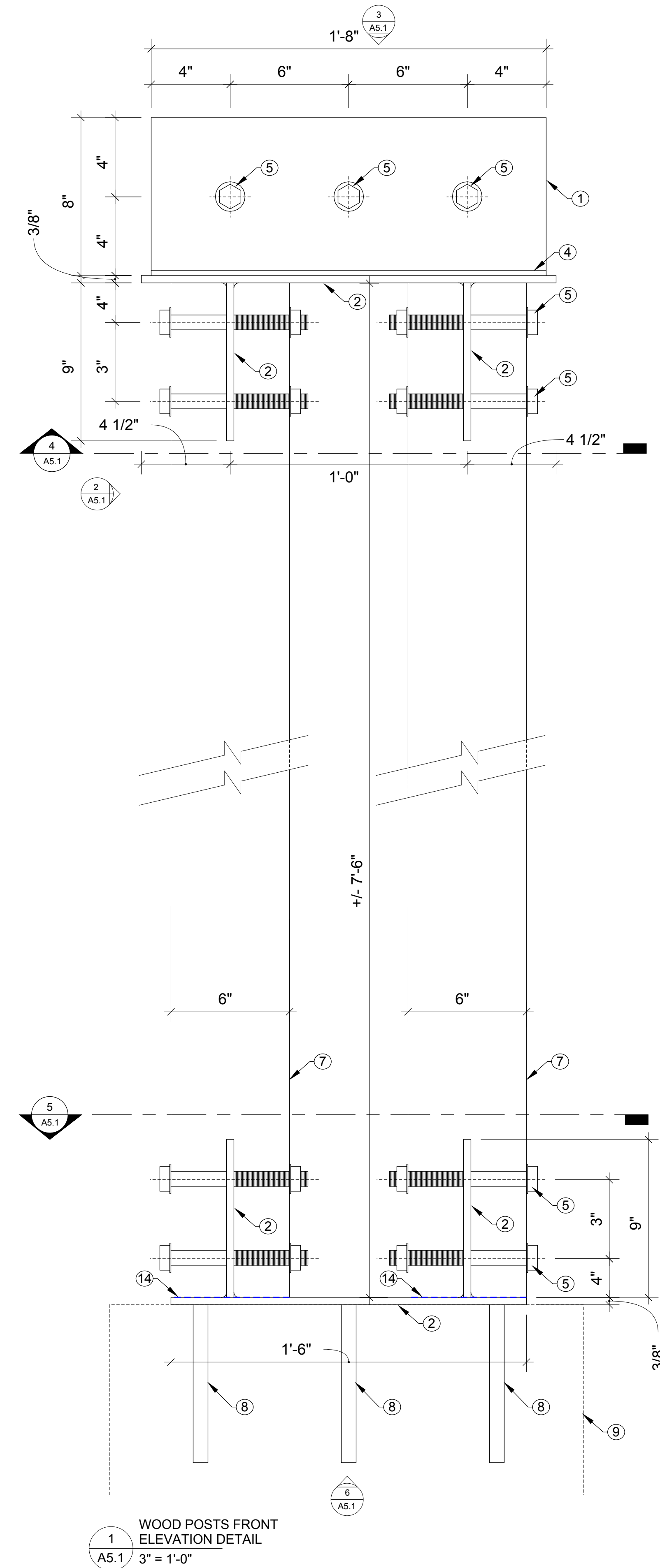
Steel Post Details

SCALE SEE DRAWING

DRAWING NUMBER



DETAIL KEYNOTES	
1	1/4" STEEL PLATE
2	3/8" STEEL PLATE
3	4" DIA. X 1/4" HSS STEEL COLUMN
4	1/4" FILLET WELD
5	3/4" DIA. BOLT WASHERS & NUTS
6	3/4" DIA. X 8" LAG SCREW
7	6" X 6" WOOD POST
8	3/4" DIA. X 8" THREADED ROD
9	CONCRETE FOUNDATION
10	DECK MEMBRANE
11	MEMBRANE COLLAR
12	TOP COLLAR SEALED IN CONTINUOUS SEALANT BEAD
13	7" DIA. 3/8 THICK STEEL PLATE WEATHER CAP
14	MOISTURE MEDIUM



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SITE NORTH PROJECT NORTH

DATE	ISSUED FOR
2016-11-25	CONSTRUCTION
2018-05-14	CONSTRUCTION R1

PROJECT TITLE #1502

Show Home  
2880 Outlook Way, Lot 20  
Naramata, BC

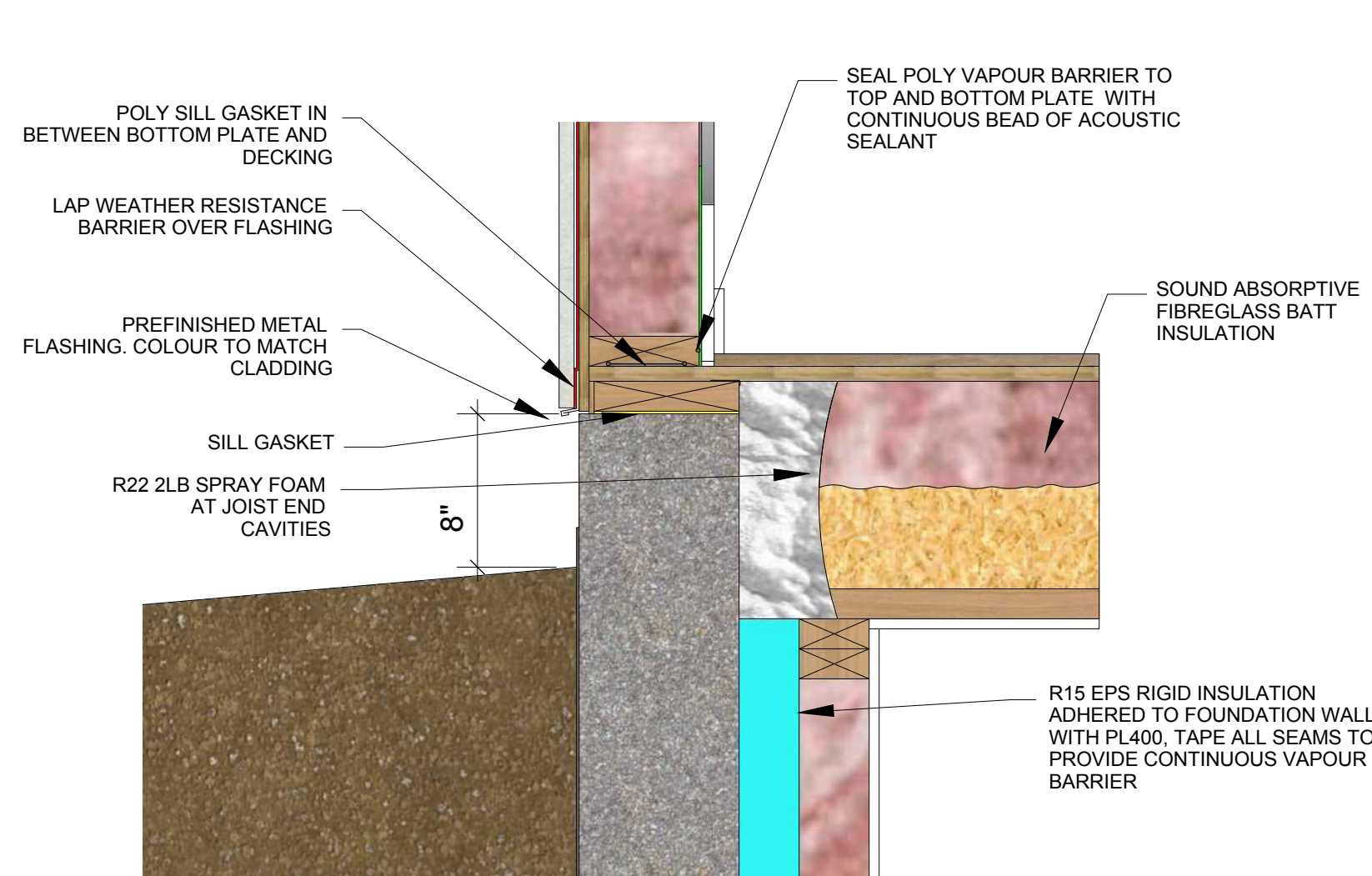
SHEET TITLE

Front Wood Post  
Details

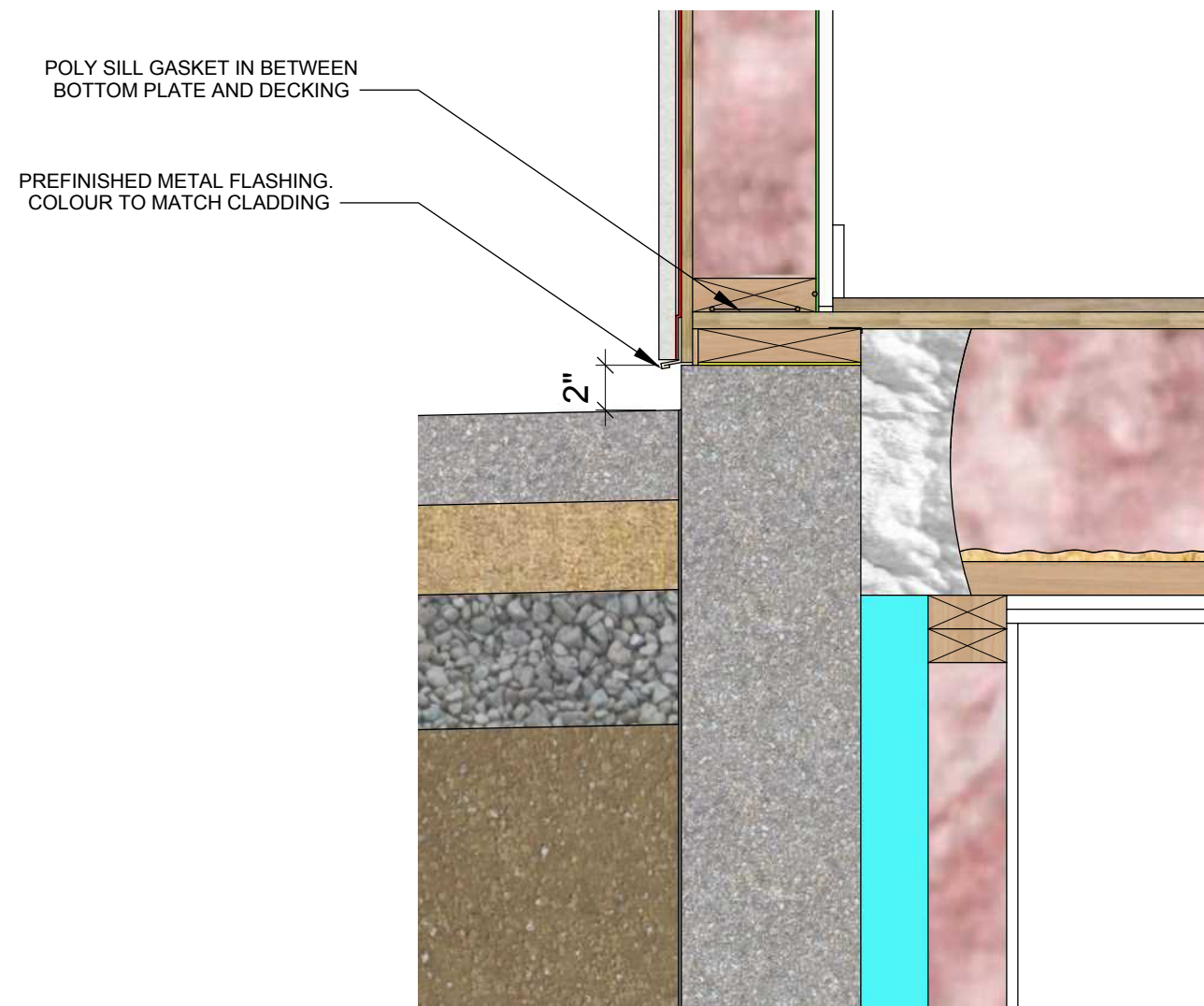
SCALE SEE DRAWING

DRAWING NUMBER

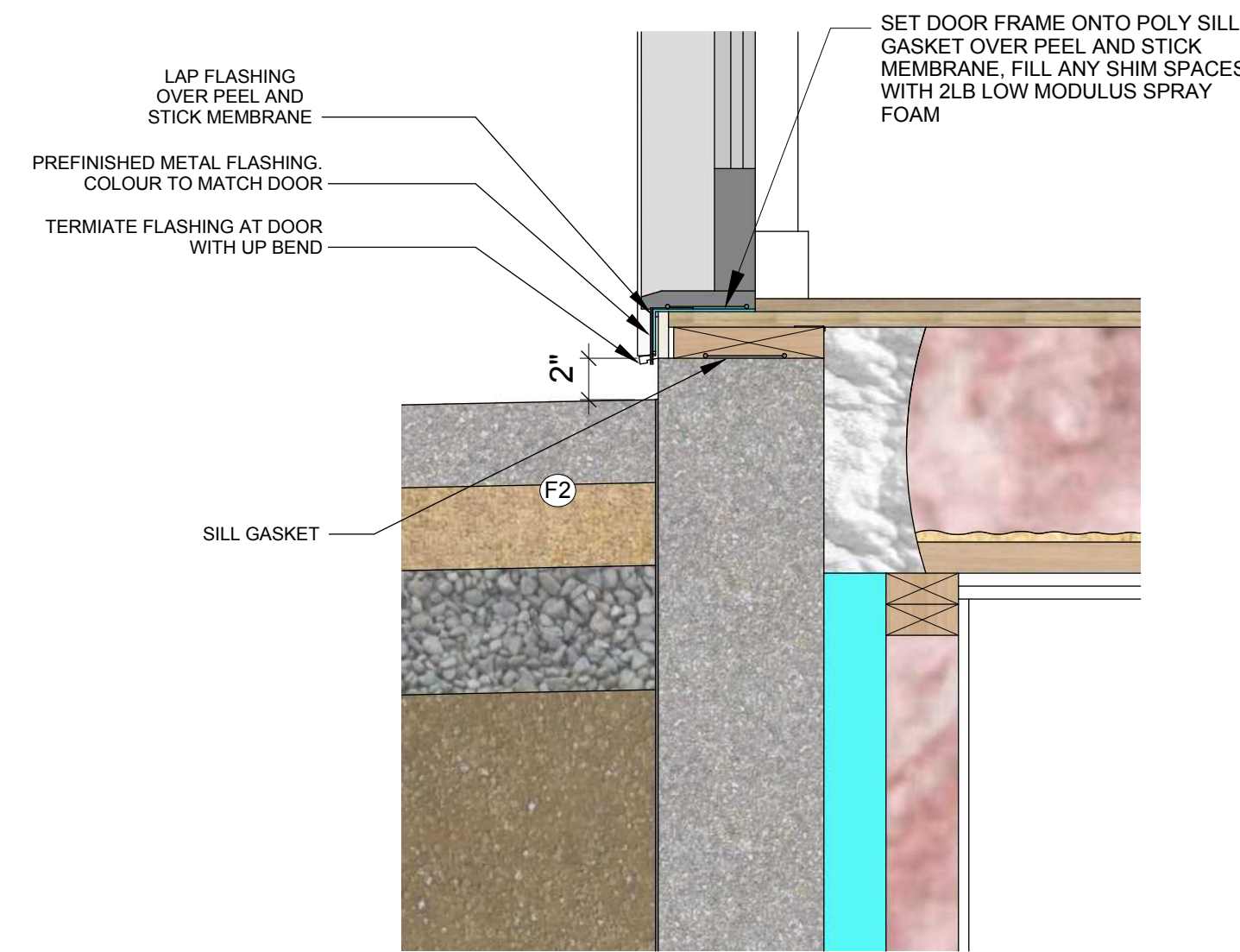




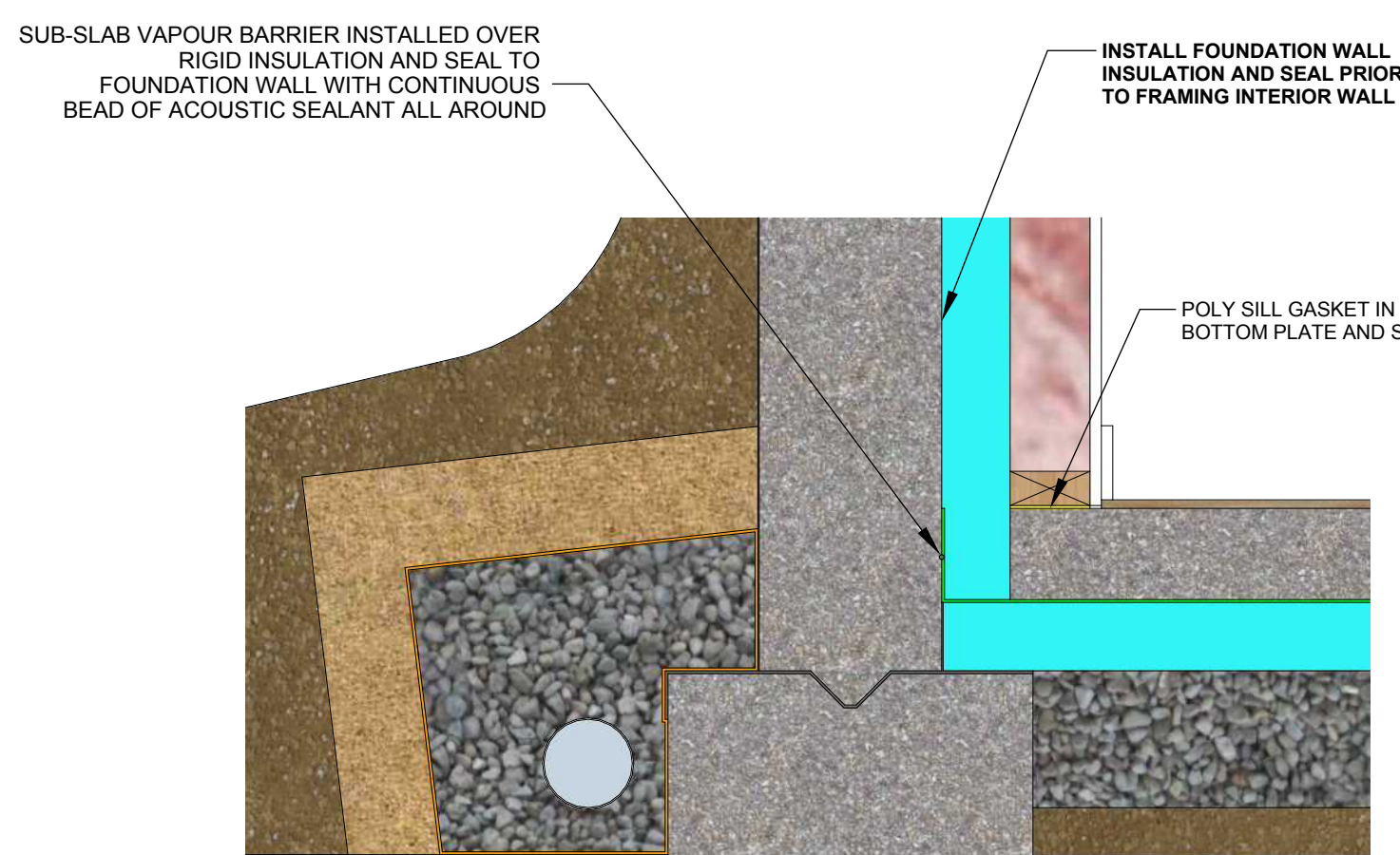
1 FOUNDATION WALL TOP DETAIL



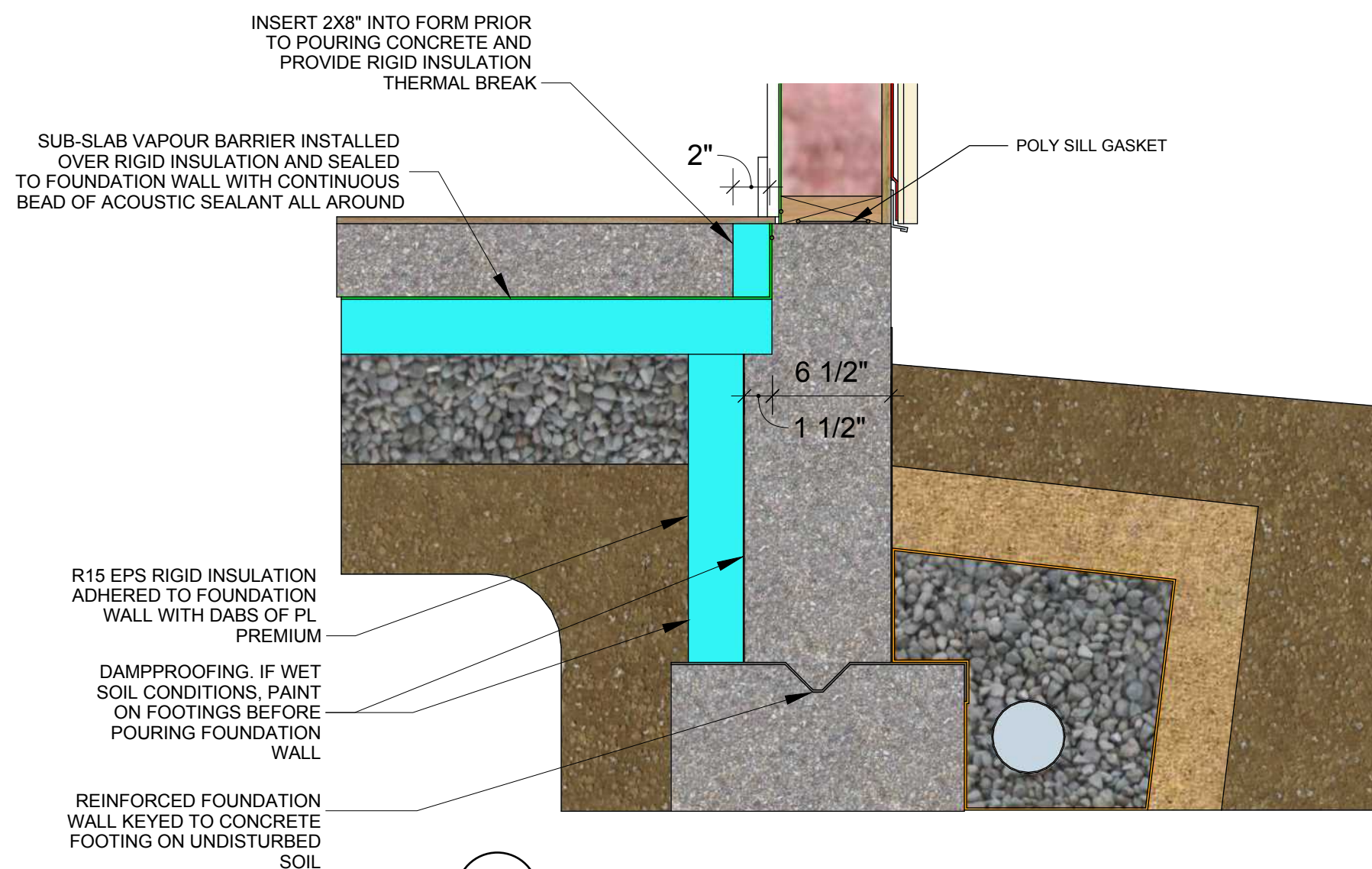
2 FOUNDATION WALL TOP WITH PATIO



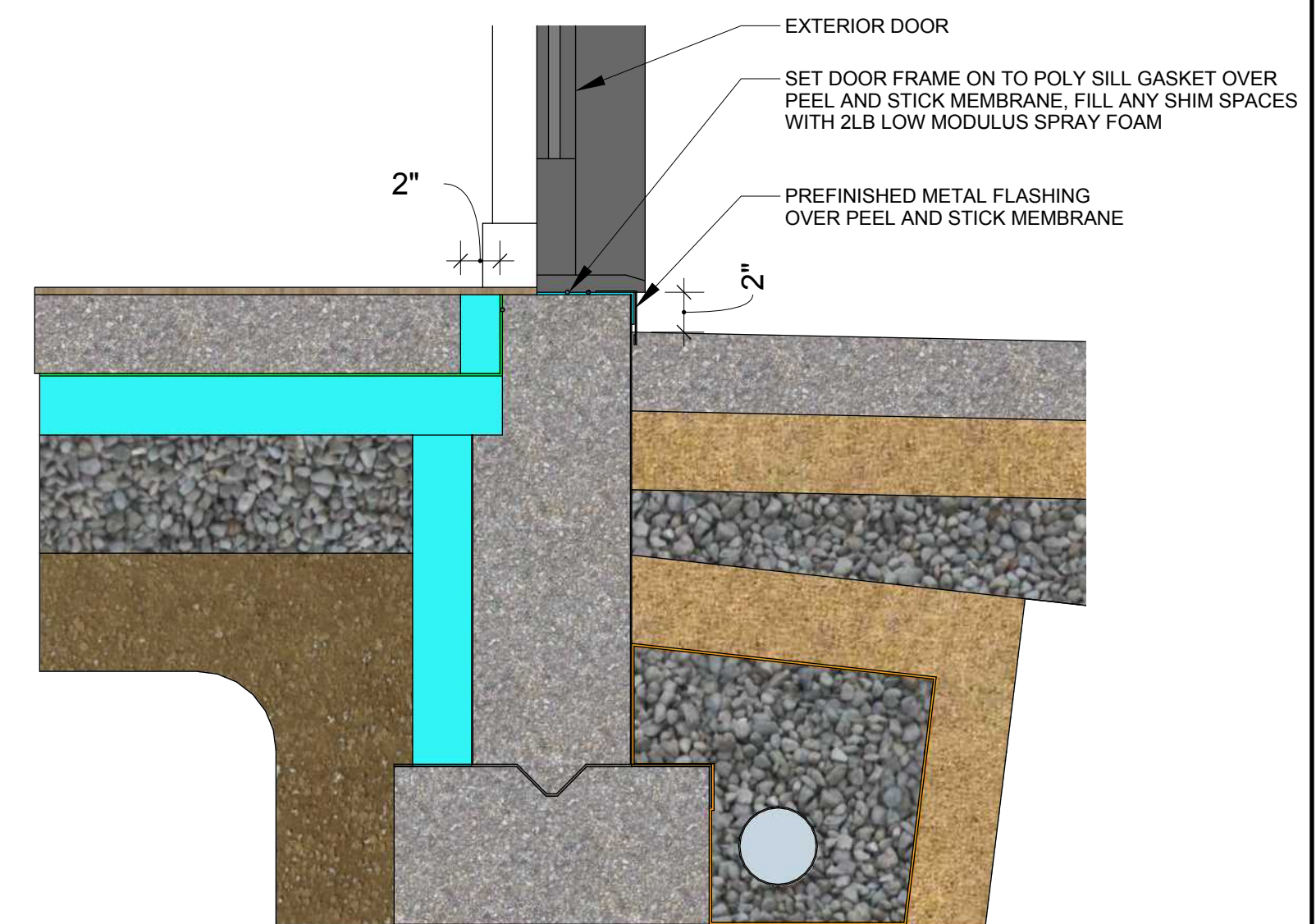
3 FOUNDATION WALL TOP WITH DOOR AND PATIO



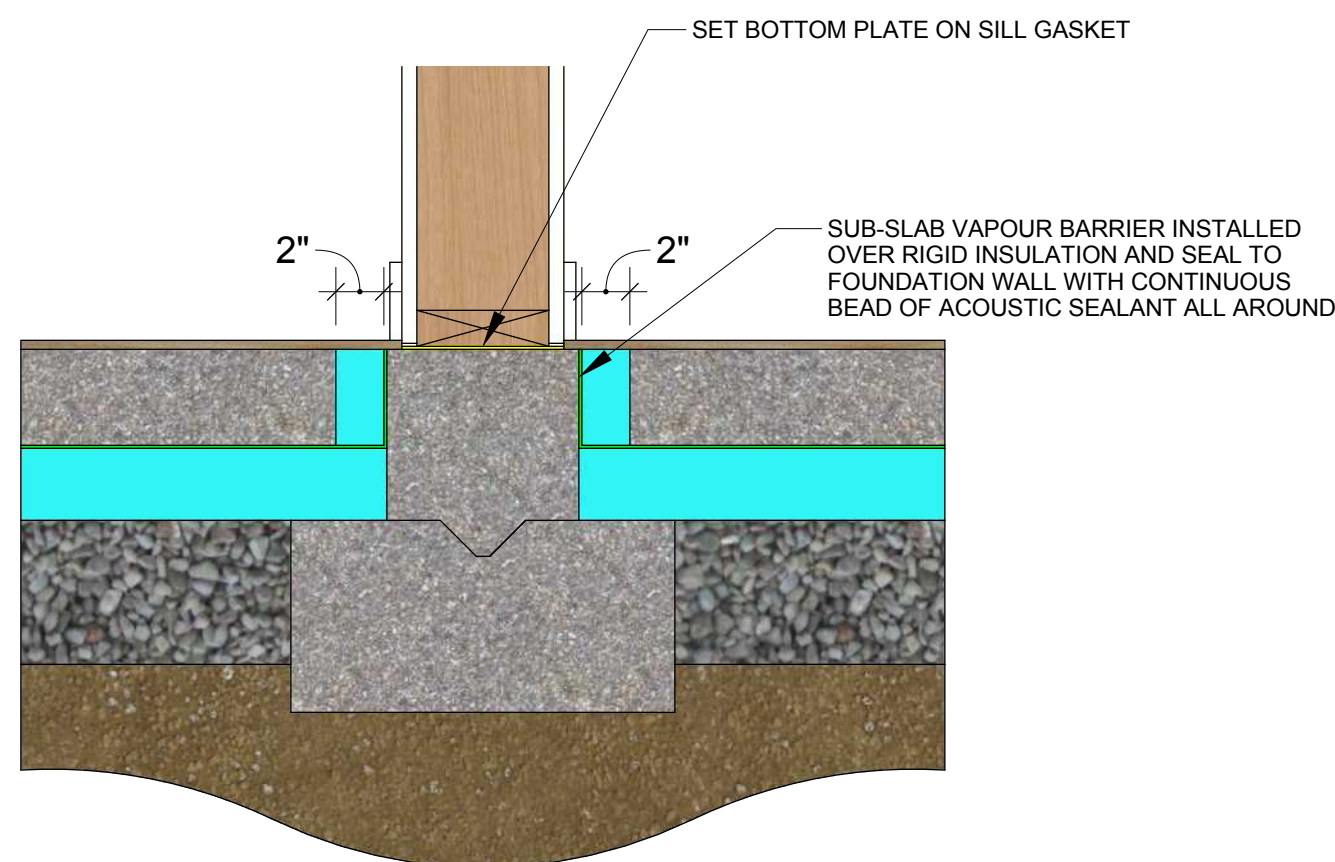
4 FOUNDATION WALL BOTTOM DETAIL



5 EXTERIOR WALL FOUNDATION DETAIL



6 EXTERIOR WALL FOUNDATION DETAIL THROUGH DOOR



7 INTERNAL LOAD-BEARING PARTITION FOUNDATION DETAIL

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SITE NORTH PROJECT NORTH

DATE	ISSUED FOR
2016-11-25	CONSTRUCTION
2018-05-14	CONSTRUCTION R1

PROJECT TITLE # 1502

Show Home  
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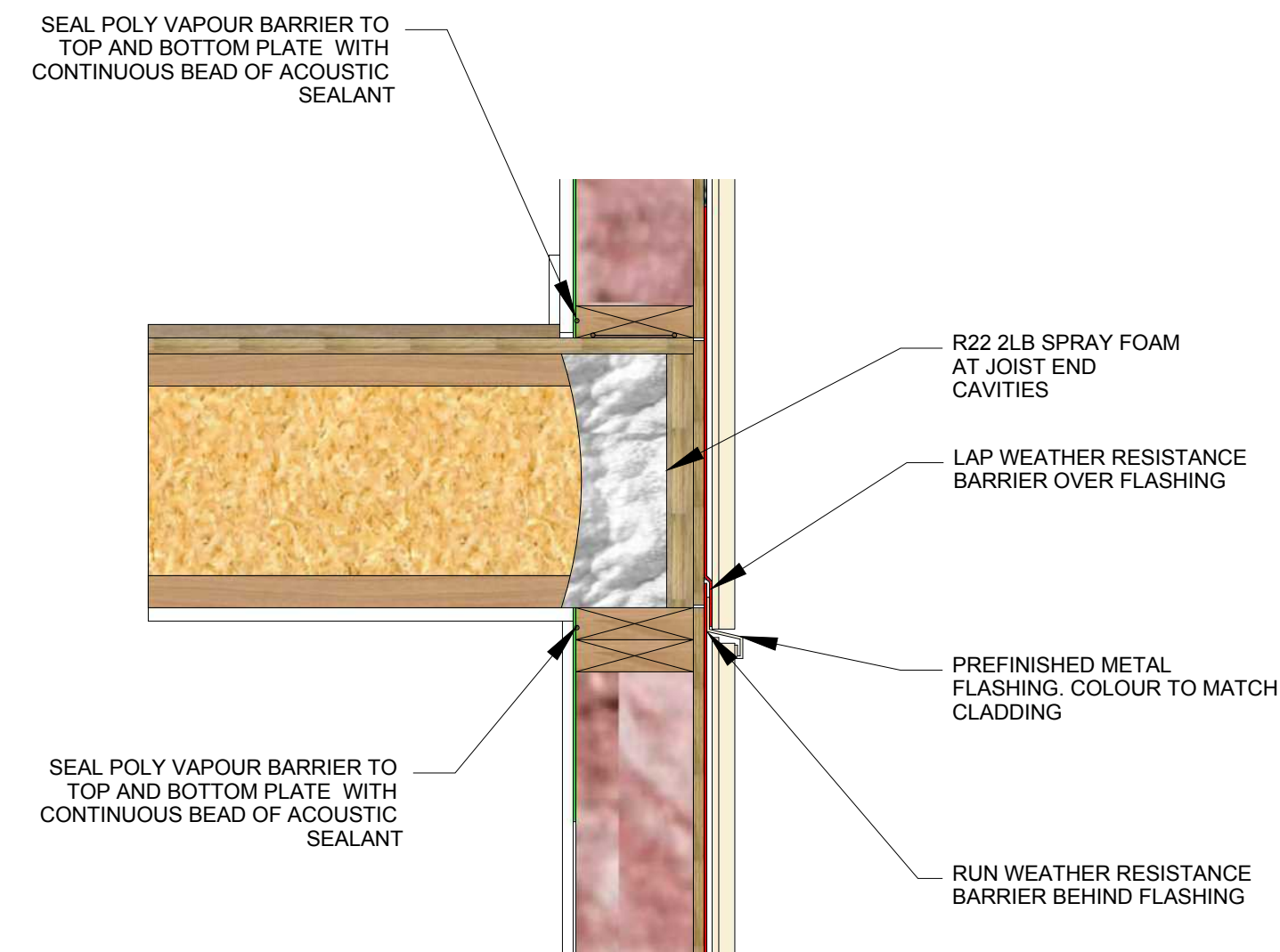
SHEET TITLE

House Details

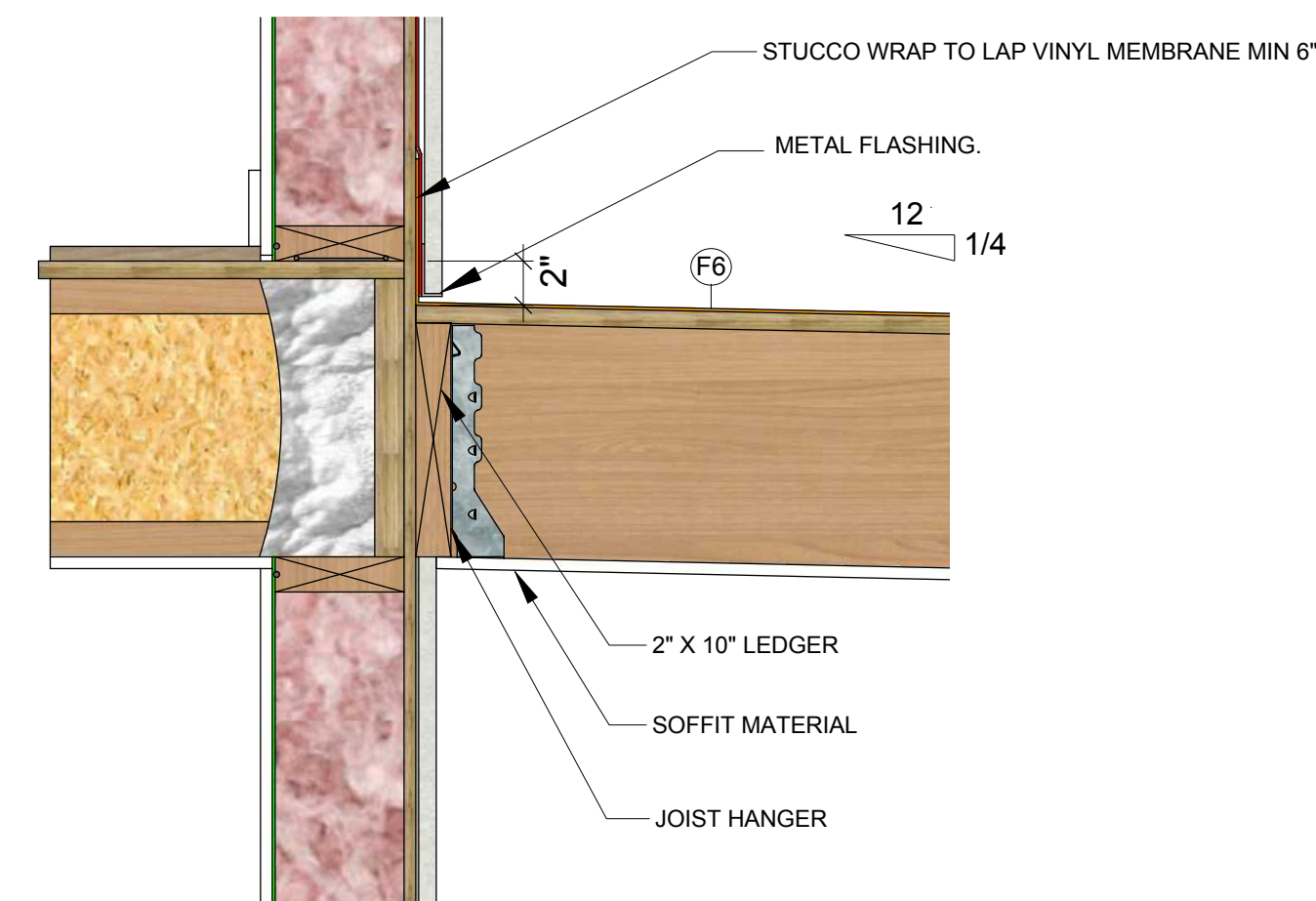
SCALE 1 1/2" = 1'-0"

DRAWING NUMBER

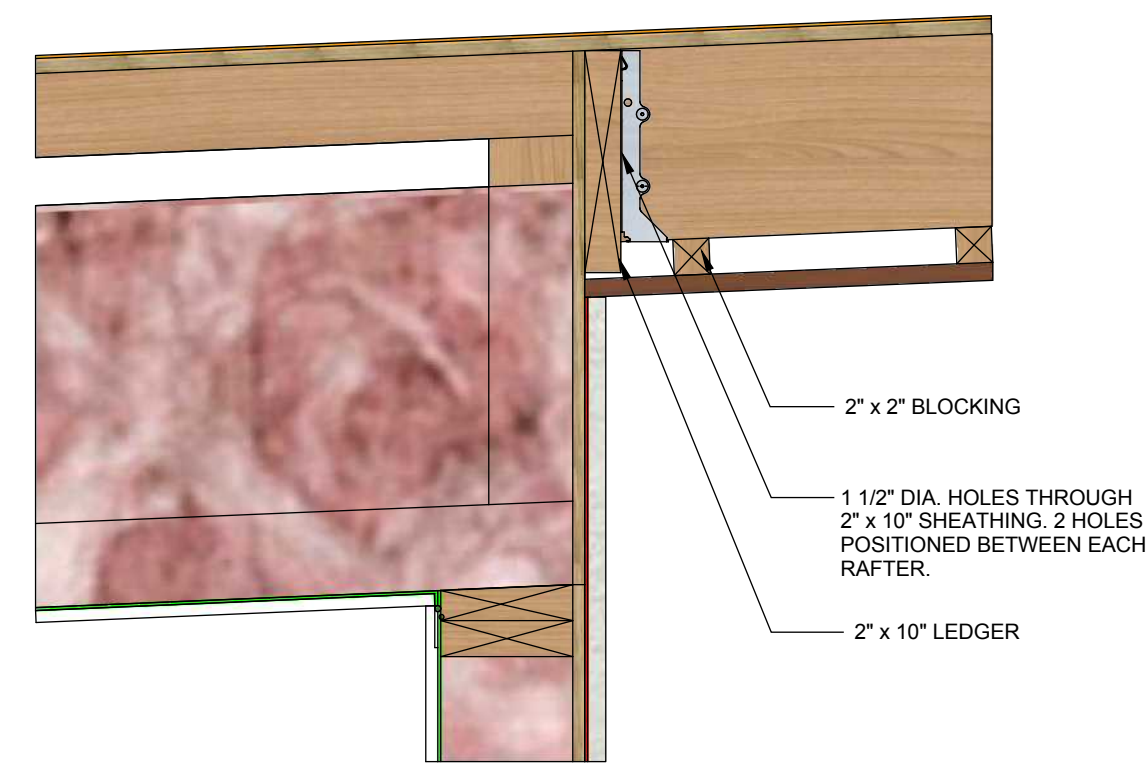




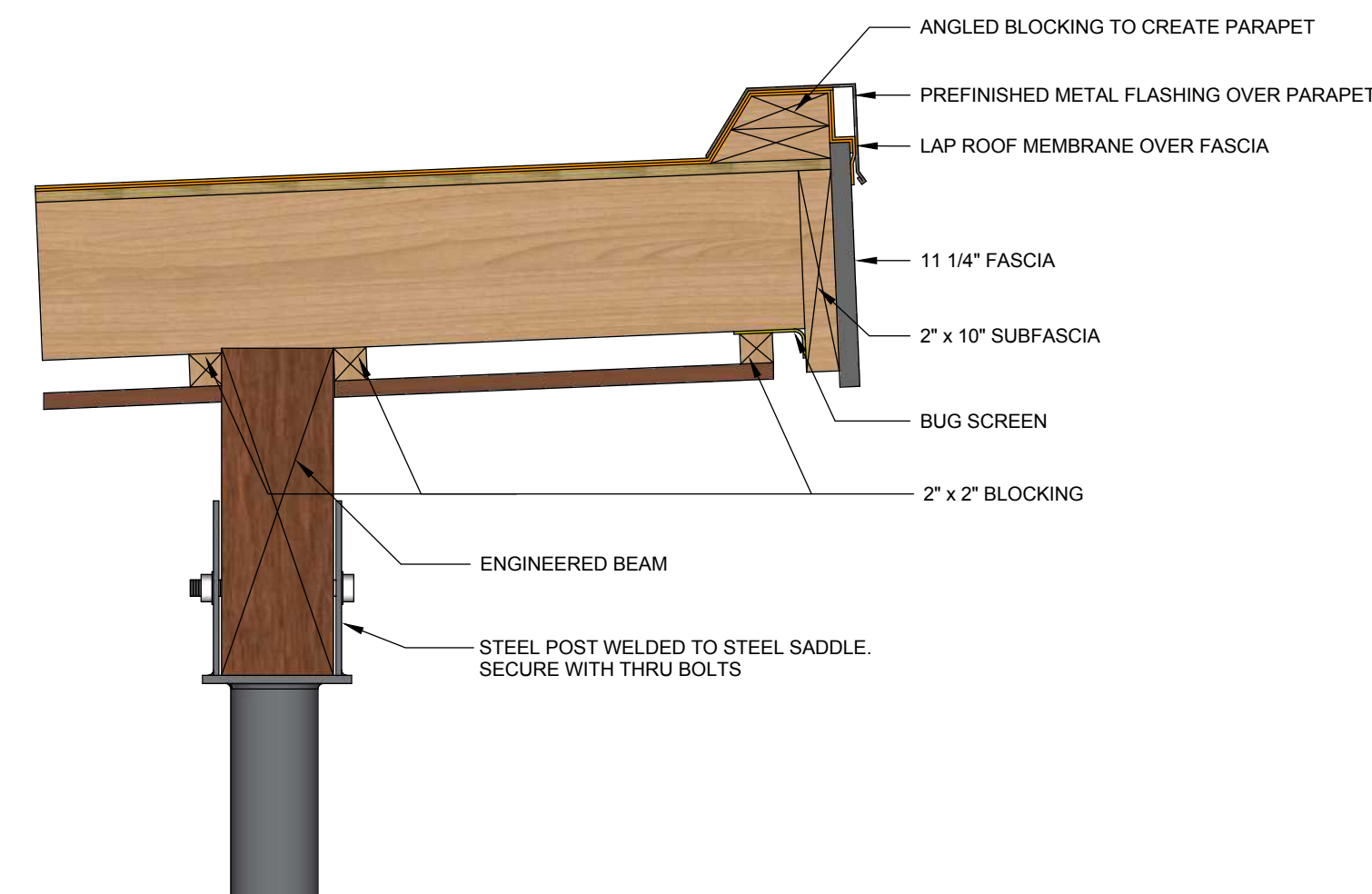
1 EXTERIOR WALL / FLOOR  
CONNECTION SECTION DETAIL



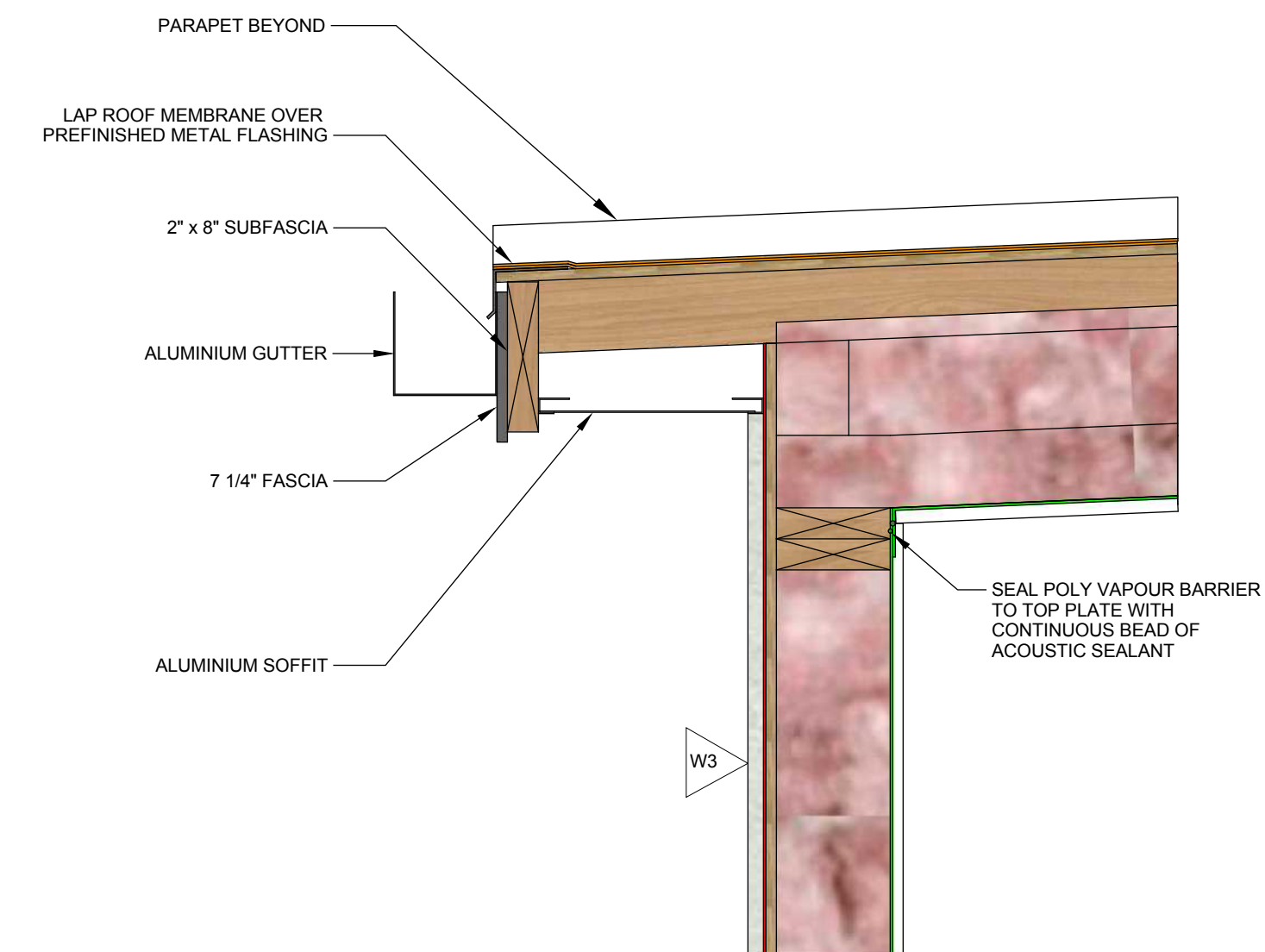
2 EXTERIOR WALL / BALCONY  
CONNECTION SECTION DETAIL



3 FOUNDATION WALL TOP DETAIL



4 BALCONY ROOF AT BEAM



5 ROOF EAVES

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SITE NORTH PROJECT NORTH

DATE	ISSUED FOR
2016-11-25	CONSTRUCTION
2018-05-14	CONSTRUCTION R1

PROJECT TITLE #1502

Show Home  
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Naramata, BC

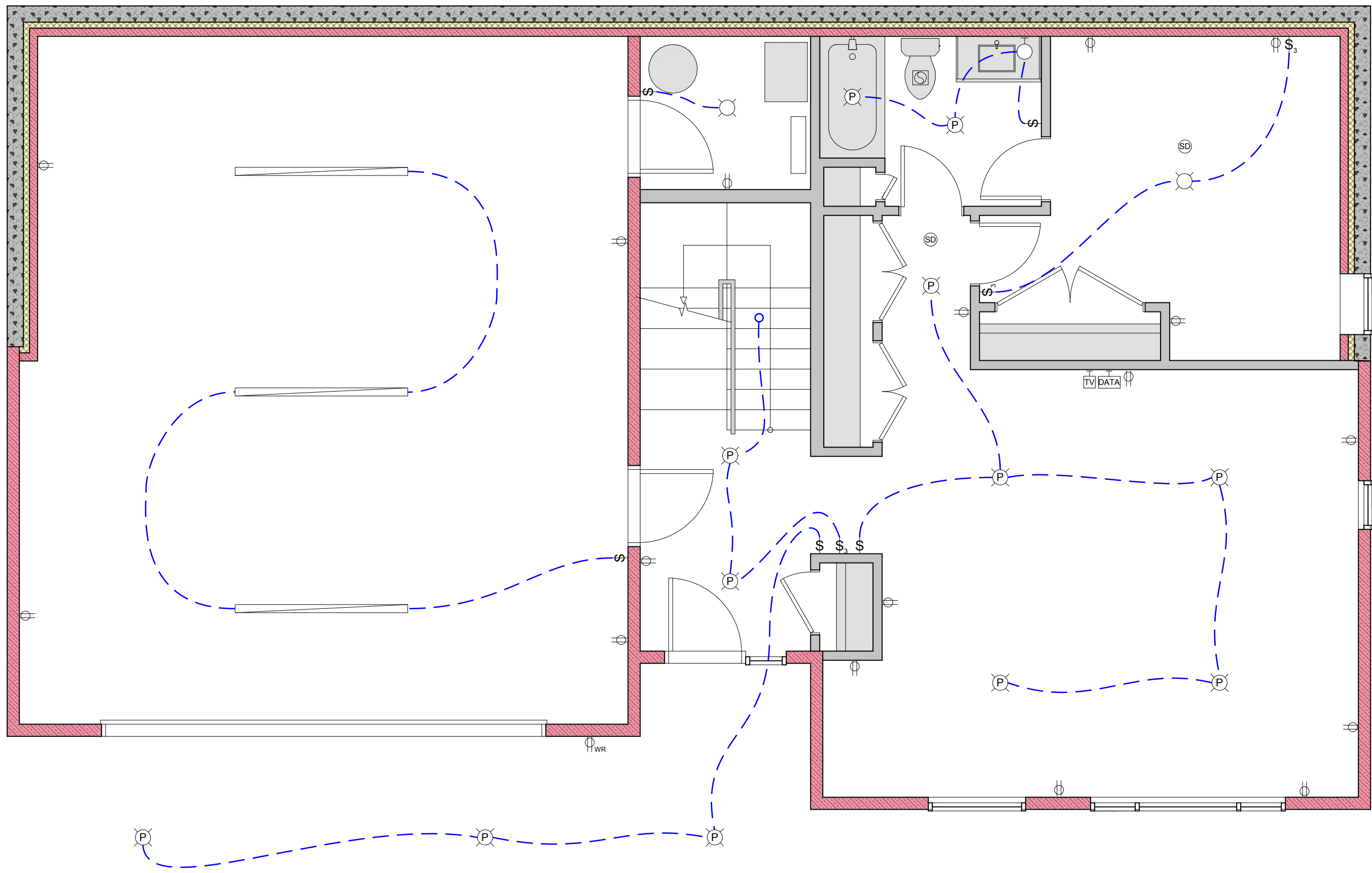
SHEET TITLE

House Details

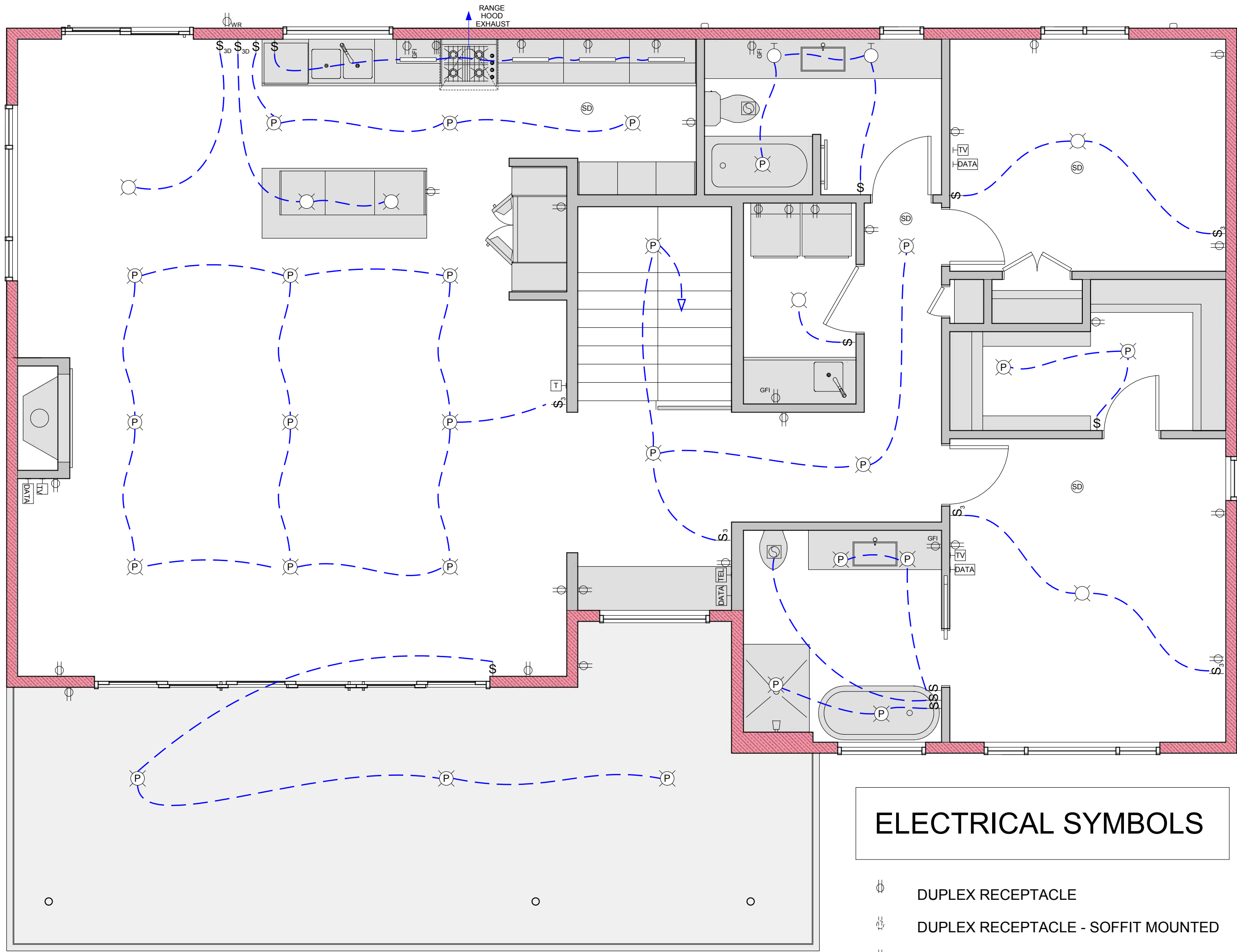
SCALE 1 1/2" = 1'-0"

DRAWING NUMBER





1 LOWER FLOOR ELECTRICAL PLAN  
1/4" = 1'-0"



2 MAIN FLOOR ELECTRICAL PLAN  
1/4" = 1'-0"

## ELECTRICAL SYMBOLS

- DUPLEX RECEPTACLE
- DUPLEX RECEPTACLE - SOFFIT MOUNTED
- DUPLEX RECEPTACLE - GROUND FAULT
- DUPLEX RECEPTACLE - WEATHER RESISTANT
- 240V. RANGE OR DRYER
- DUPLEX RECEPTACLE - FLOOR MOUNTED
- CEILING MOUNTED LIGHT FIXTURE
- WALL MOUNTED LIGHT FIXTURE
- RECESSED LIGHT
- RECESSED LOW VOLTAGE LIGHT
- CEILING MOUNTED FLUORESCENT LIGHT FIXTURE
- UNDER CABINET LED STRIP LIGHT
- 120V. LIGHT SWITCH
- 120V. 3-WAY LIGHT SWITCH
- 120V. 3-WAY LIGHT SWITCH WITH DIMMER
- 120V LIGHT SWITCH WITH TIMER
- 120V. LIGHT SWITCH WITH OCCUPANCY SENSOR
- TELEVISION CABLE
- TELEPHONE OUTLET
- DATA OUTLET (CAT6)
- EXHAUST FAN
- RECESSED LIGHT FIXTURE + EXHAUST FAN COMBO
- WALL MOUNTED EXHAUST FAN OR HRV RETURN
- SMOKE DETECTOR

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### SITE NORTH PROJECT NORTH



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2016-03-23	PRICING
2016-07-29	PERMIT / CONSTRUCTION
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2016-11-25	CONSTRUCTION
2018-05-14	CONSTRUCTION R1

PROJECT TITLE #1502

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Naramata, BC

SHEET TITLE

### Electrical Plans

SCALE 1/4" = 1'-0"

DRAWING NUMBER