

REAR (North) ELEVATION
SCALE: 1/4" = 1'-0"



FRONT (South) ELEVATION
SCALE: 1/4" = 1'-0"



LEFT (West) ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT (East) ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR FINISHES SCHEDULE
ALL FINISH COLOURS TO BE CONFIRMED BY BUILDER PRIOR TO FINAL APPROVAL

[A] ROOFING:	35 YEAR LAMINATED MALARKEY LEGACY XL MIDNIGHT BLACK FIBERGLASS SHINGLES W/ RAISED RIDGE & HIP CAPS LOW SLOPE APPLICATION AS PER B.C.B.C. 9.26.8	[F] GARAGE DOOR:	AMARR VISTA VII 1000 CONTEMPORARY ALUMINUM FULL VIEW GARAGE DOOR 2" THICK ALUMINUM FRAMED CW ANODIZED DARK BRONZE (AD) FINISH 1/2" LOWE DUAL PANE TEMPERED AND INSULATED GLASS CW GREYLITE TINT.
[B] GUTTER & SOFFIT:	CHARCOAL GREY CONTINUOUS ALUMINUM GUTTER WITH WHITE ALUMINUM PERFORATED GUTTER	[W1] "W1" WALL FINISH:	HARDI PANEL CW EZE-TRIM ATTACHMENT SYSTEM 1" X 2" WOOD BATTENS @ 16" O/C PAINTED / STAINED AS PER BUILDERS SPEC.
[C] BARGE BOARD:	2" X 8" COMBED FACE BARGE BOARD CW 1" X 3" DOUBLE BARGE BOARD PAINTED TRIM COLOR AS PER BUILDERS SPEC.	[W2] "W2" WALL FINISH:	HARDI-PLANK CONCRETE FIBRE LAP SIDING LAPPED TO 7" EXPOSED TO WEATHER PAINTED AS PER BUILDERS SPEC.
[D] WINDOW & DOOR TRIM:	1" X 4" TRIM BOARDS - PAINTED/ STAINED AS PER BUILDERS SPEC.	[W3] "W3" WALL FINISH:	PRE-MANUFACTURED STONE VENEER: O/A FLASHING ON DRIP EDGE RAIN SCREEN AS PER B.C.B.C.
[E] CORNER TRIM:	1" X 4" TRIM BOARDS - PAINTED/ STAINED AS PER BUILDERS SPEC.	[W4] "W4" WALL FINISH:	AT FRONT ENTRY DOOR: 1" X 4" CLEAR TONGUE & GROOVE WESTERN RED CEDAR HORIZONTAL SIDING - LIGHT STAIN BEHR PREMIUM PENETRATING OIL WOOD FINISH

"ALL WINDOWS MUST COMPLY WITH B.C.B.C. AND N.A.F.S. REQUIREMENTS"
MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION
ONE EXTERIOR DOOR IS PERMITTED TO HAVE A HIGHER U-VALUE OF 2.6. ALL OTHERS MUST BE LOWER.
GARAGE VEHICULAR DOORS MUST BE MINIMUM NOMINAL R.S.I. OF 1.1.

WHITE FRAMED VINYL WINDOWS

SIDING COLOR: CLOVERDALE PAINT EX007 NEW VELLUM
TRIM COLOR: CLOVERDALE PAINT EX008 WORN LEATHER
TRIM COLOR: CLOVERDALE PAINT EX009 ESPRESSO

STONE VENEER:
K2 STONE
SPRING VALLEY LEDGE STONE VENEER
STONE THICKNESS: 3/4" - 1 1/4"
STONE FACE HEIGHTS: 1" - 7"
STONE LENGTHS: 8" - 18"
STONE COLOR: EARTH TONES INTENTIONALLY PLACED W/ A CHARCOAL GREY BASE
STONE SHAPE: ORGANIC RECTANGULAR

SPATIAL SEPARATION CALCULATIONS:
LIMITING DISTANCE: 3.646 m. 11.964'
EXPOSED BUILDING FACE: 97.76 sm 1052.30 sf
PERMITTED OPENINGS: 16.41% 16.04 sm 172.08 sf
ACTUAL OPENINGS: 9.79% 9.57 sm 103.00 sf

SPATIAL SEPARATION CALCULATIONS:
LIMITING DISTANCE: 1.551 m. 5.089'
EXPOSED BUILDING FACE: 100.91 sm 1086.20 sf
PERMITTED OPENINGS: 7.10% 7.16 sm 77.12 sf
ACTUAL OPENINGS: 6.90% 6.97 sm 75.00 sf

GREG MITCHELL RESIDENTIAL DESIGNS
211 HEWLETT ROAD
DUNCAN B.C. V1L 3L3
PHONE: 250 761 0211 CELL: 250 715 3551
E-MAIL: gmitch45@shaw.ca
Q (250) 683 9700

THE SERVICES OF THIS FIRM ARE PROVIDED ON THE UNDERSTANDING THAT THE USER OF THIS DOCUMENT IS NOT PERMITTED AND IS A VIOLATION OF COPYRIGHT LAWS.

REGISTERED ARCHITECT

JOGA DEVELOPMENT LTD
LOT 16 HUNTERS ROAD
DUNCAN B.C.
2500 HUNTERS ROAD, DUNCAN, B.C. V1L 3L3

BUILDING ELEVATIONS

01.31.2021 1/4"=1'-0" 6 OF 6

Current Exterior Color Scheme

EX007 New Vellum	EX008 Worn Leather	EX009 Espresso
---------------------	-----------------------	-------------------

KINGSVIEW AT MAPLE BAY (008)
 TRANSISTE KINGSVIEW DEVELOPMENTS LTD. (TND)
 SCHEDULE "N"
 DESIGN GUIDELINES

3.3. LANDSCAPE GUIDELINES
 THE PROPORTION OF LAWN COVERAGE TO COMBINED TREE, SHRUB AND LOWLIEB PLANT COVERAGE TO BE MAINTAINED THROUGHOUT THE PROJECT SHALL NOT BE PERMITTED TO EXCEED 60% IN FRONT YARDS AND 75% IN REAR YARDS.

3.3.1. TREES
 TO ENHANCE A COMPLETE AND SETTLED APPEARANCE IN THE NEIGHBOURHOOD, THE OWNER WILL BE REQUIRED TO COMPLETE THE FRONT YARD LANDSCAPING AND SIDE YARD LANDSCAPING WITHIN A PERIOD OF SIX MONTHS OF COMPLETION OF HOUSE CONSTRUCTION UNLESS WEATHER CONDITIONS MAKE IT IMPOSSIBLE TO DO SO.

3.3.2. FRONT YARD LANDSCAPE PLAN
 THE OWNER SHALL SUBMIT A LANDSCAPE PLAN PREPARED BY A PROFESSIONAL LANDSCAPE DESIGNER OR A LANDSCAPE ARCHITECT FOR APPROVAL BY THE TOWN OF KINGSVIEW FOR REVIEW AND APPROVAL. A FRONT YARD LANDSCAPE PLAN MAY BE REQUIRED, DEPENDENT ON THE LOCATION OF THE LOT AND VIEW IMPLICATIONS. THE SCOPE AND AREA BETWEEN THE FRONT PROPERTY LINE AND THE CURB OR SIDEWALK FRONTING THE LOT SHALL BE LANDSCAPED.

3.3.3. TREES
 NO TREES OR NATURAL VEGETATION SHALL BE REMOVED FROM A LOT EXCEPT THROUGH LAWS WITH A PROVISION APPROVED BY TND. A MINIMUM OF TWO (2) NEW OR EXISTING TREES WITH A MINIMUM CALIPER DIAMETER OF 7.5 CM MUST BE MAINTAINED OR PROVIDED BETWEEN THE DWELLING AND THE STREET. TREE SPECIES, SIZES AND PLANTING LOCATIONS MUST BE APPROVED BY TND.

3.3.4. ABSORBENT LANDSCAPING
 ABSORBENT LANDSCAPING WILL BE KEY REQUIREMENT TO THE LANDSCAPE PLAN. THIS ABSORBENT LANDSCAPING, ALONG WITH PROPER MAINTENANCE CAN HELP IN REDUCING STORMWATER RUNOFF AS THE SOIL LAYER ACTS AS A SLOWING AND FILTERING MORE WATER THAN TYPICAL LANDSCAPING. ABSORBENT LANDSCAPING MAY REQUIRE LESS SUPPLEMENTARY IRRIGATION AND PROTECTION TO MAINTAIN DUE TO THE INCREASED GROWING MEDIA THICKNESS. ALL ON LOT LAWN AREAS TO HAVE A MINIMUM 30MM (1 1/4") TOPSOIL WITH A MINIMUM 1% ORGANIC MATERIAL TO SECTION 6 OF B.C. LANDSCAPE STANDARDS FOR ALL GRASSES AREAS. WHERE FEASIBLE, ALL EXTERNAL HARD SURFACING, SUCH AS PATHWAYS, DECKS, AND STEPS BUT EXCLUDING DRIVEWAYS SHOULD BE GRADED TOWARDS PERVIOUS AREAS FOR NATURAL STORMWATER INFILTRATION AND REDUCTION OF RUNOFF. ALL SET BACK ON MAINTENANCE AREAS AND OTHER NATIVE PLANTS WILL BE PROVIDED AND OWNERS ARE STRONGLY ENCOURAGED TO MAINTAIN THEM. WHERE FEASIBLE, PERVIOUS AREAS TO BE CLOSE GRADED TO ENCOURAGE STORMWATER INFILTRATION. HOWEVER, POINT INFILTRATION IS NOT RECOMMENDED. ALL LANDSCAPING INSTALLATIONS SHALL INCLUDE A FINAL REVIEW AND SIGN-OFF BY A CERTIFIED LANDSCAPE ARCHITECT TO CONFIRM MINIMUM STANDARDS ARE MET, INCLUDING TOP SOIL DEPTH.

3.3.5. XERISCAPE
 ALL LANDSCAPING SHOULD BE DESIGNED TO XERISCAPE STANDARDS. XMB PROMOTES THE PRINCIPLE OF XERISCAPE, WHICH IS A WATER CONSERVING CREATIVE LANDSCAPE DESIGN ON THE USE OF INDIGENOUS AND NATIVE PLANTING. IT ALSO DEALS WITH MOISTURE RETENTION TECHNIQUES THAT INCREASE SURVIVAL RATES IN THIS TYPE OF CLIMATE.

3.3.6. RETAINING WALLS, LANDSCAPE WALLS, FENCES & SCREENING
 RETAINING WALLS ARE ENCOURAGED AS ELEMENTS THAT CONTRIBUTE TO THE TYPING OF THE BUILDING. THE TRANSITION BETWEEN THE BUILDING AND GRADE, AND REDUCE THE APPEARANCE OF GRADE. ANY RETAINING WALL CONSTRUCTION AND MATERIALS ARE TO BE PROFESSIONALLY SPECIFIED AND STANDARD DRAWINGS SUBMITTED TO BE APPROVED BY TND. MATERIALS TO CONSTRUCT LANDSCAPE WALLS, FENCES, AND OTHER SCREENING ELEMENTS SHALL BE CONSISTENT WITH WOOD, STONE, OR CONCRETE. TEXTURES AND COLORS SHOULD BE USED TO SOFTEN THE USE OF TIGHT COLOURS. LIMITED AREAS OF GRASS BEING MAY BE CONSTRUCTED OF OTHER MATERIALS SUBJECT TO THE APPROVAL OF TND. LANDSCAPE WALLS SHOULD EMERGE FROM THE GROUND AND CONVEY A SENSE OF STRENGTH AND PERFORMANCE.

3.3.7. TERRACES, PATIOS, WALKWAYS, & DECKS
 TERRACES, PATIOS, WALKWAYS, AND DECKS CAN SERVE AS AN EFFECTIVE TRANSITION BETWEEN THE MASS OF A BUILDING AND THE TOPOGRAPHY, VEGETATION, AND OTHER NATURAL CHARACTERISTICS OF THE SITE AS WELL AS THE LOCATION OF INTERIOR SPACES. ON ABOVE GRADE DECKS, SUPPORT COLUMNS AND UNDERSIDE FINISHES INCLUDE FINISHSTONE, COBBLE STONE, AND CONCRETE. ACCEPTABLE PAVING MATERIALS FOR TERRACE, PATIOS, AND WALKWAYS INCLUDE FINISHSTONE, COBBLE STONE, AND CONCRETE. FINISHES AND PAVING MATERIALS FOR TERRACE, PATIOS, AND WALKWAYS SHOULD BE COMPACTIBLE AGGREGATE ARE ACCEPTABLE.

3.3.8. DRIVEWAY DESIGN
 ALL DRIVEWAY LOCATIONS ARE PREDETERMINED. CURBS AND SIDEWALK DROPS ARE CONSTRUCTED FOR THE DRIVEWAY ACCESS. ALL VEHICULAR ACCESSIBLE HARD SURFACES TO BE CONSTRUCTED OF DURABLE MATERIALS SUCH AS PRECAST CONCRETE, POLISHED OR TYPICAL FINISHSTONE, OR POLISHED CONCRETE. GRANULAR, ASPHALT, OR LARGE AREAS OF BROOM FINISHED CONCRETE SHALL NOT BE PERMITTED. THE MATERIAL CHOICES AND COLOURS SELECTED WILL BE COMPLEMENTARY TO THE DOMINANT ARCHITECTURAL MATERIALS. COLOUR AND FINISH OF THE HOME SHOULD BLEND WITH THE NATURAL COLOURS OF THE VEGETATION ROCK, AND SKY. CONSTRUCTION SHALL ALLOW FOR POSITIVE DRAINAGE OF PRECIPITATION AWAY FROM THE BUILDING AND FROM HARD SURFACING ONTO ADJACENT SOFT LANDSCAPE WITH THE INCORPORATION OF A 1% MINIMUM SLOPE ON ALL HARD SURFACING.

3.3.9. LIGHTING
 THE INTENT OF LIGHTING GUIDELINES IS TO MAINTAIN THE RURAL CHARACTER, PRESERVE THE NIGHT SKY, AND PROTECT NEIGHBOURING PROPERTIES FROM BRIGHT LIGHTS AND INDIRECT LIGHT SOURCES. EXTERIOR LIGHTING SHALL BE LIMITED TO IDENTIFICATION SIGNS, SECURITY AND SAFETY LIGHTING, ACCENT ARCHITECTURAL LIGHT AND LANDSCAPE LIGHTING. DRIVEWAYS, PORCHES AND PATIOS, ENTRANCE AND PATHWAYS MAY BE ILLUMINATED FOR SAFETY AND SECURITY. LIGHTING SHALL BE INSTALLED SUCH THAT THE DIRECT LIGHT SOURCE IS NOT VISIBLE FROM NEIGHBOURING LOTS.

SCHEDULE B
 A) CONSTRUCTION OF IMPROVEMENTS
 B) SPECIFIC RESTRICTIONS

E. FENCES
 (i) NO FENCES SHALL BE CONSTRUCTED IN FRONT YARDS OF LOTS.
 (ii) NO FENCES OR SIDE YARD WALLS SHALL EXTEND FURTHER TOWARDS THE FRONT OF THE LOT THAN THE FRONT OF THE BUILDING.
 (iii) NO FENCES SHALL BE CONSTRUCTED OF MATERIALS OTHER THAN WOOD, STONE, OR CONCRETE.
 (iv) NO FENCES OR WALLS SHALL BE HIGHER THAN 1.8 M (6 FT).
 (v) NO WIRE FENCING (INCLUDING PASTE WIRE, BARBED WIRE, AND CHAIN WIRE) SHALL BE CONSTRUCTED OR INSTALLED ON A LOT.

F. RETAINING WALLS
 (i) NO RETAINING WALLS WITH EXPOSED SURFACES OVER 91 CM (3 FT) IN HEIGHT SHALL BE CONSTRUCTED UNLESS THE EXPOSED WALLS ARE ARCHITECTURALLY TREATED BY THOROUGH SAND-BLASTING, BRUSHING, OR FINISHING TO PROVIDE A FINISH THAT BLENDS WITH THE OTHER IMPROVEMENTS ON A LOT.
 (ii) NO RETAINING WALLS OVER 120 CM (4 FT) MAY BE CONSTRUCTED. NO TOTAL RISE IN RETAINING STRUCTURES SHALL EXCEED 120 CM (4 FT) EXCEPT WHERE RETAINING WALLS NOT MORE THAN 72 CM (2 FT) ARE SEPARATED BY TERRACES OF NOT LESS THAN 61 CM (2 FT) IN WIDTH.
 (iii) NO RETAINING WALL MAY BE CONSTRUCTED OTHER THAN AS APPROVED BY A QUALIFIED GEOTECHNICAL ENGINEER.

G. PARKING AND DRIVEWAYS
 (i) ALL DRIVEWAYS OR OTHER VEHICULAR ACCESS ON A LOT OR TO IMPROVEMENTS ON A LOT SHALL BE CONSTRUCTED UNLESS THE MATERIALS USED CONSIST OF CONCRETE, INTERLOCKING PAVING STONES, EXPOSED AGGREGATE, OR A COMBINATION THEREOF.
 (ii) NO DRIVEWAY SHALL BE CONSTRUCTED ON A LOT.
 (iii) NO ASPHALT DRIVEWAYS SHALL BE CONSTRUCTED ON A LOT.
 (iv) NO DRIVEWAYS SHALL BE CONSTRUCTED ON A LOT THAT DO NOT EXTEND TO THE FRONT CURB OR SIDEWALK CROSSING.

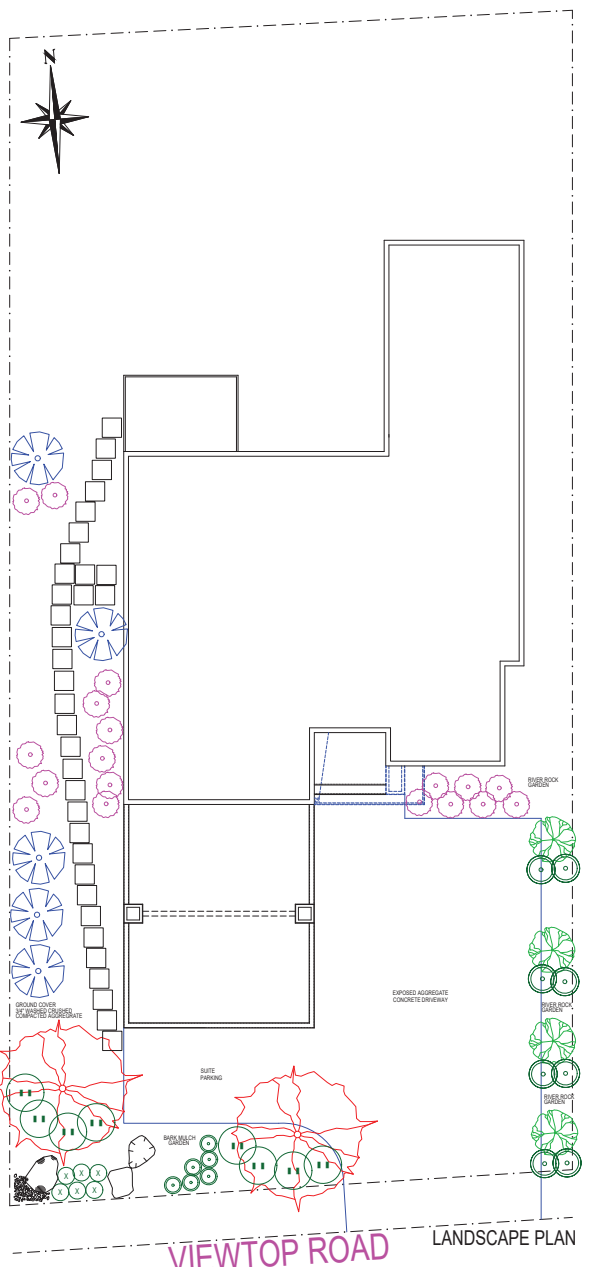
H. YARD AND LANDSCAPING
 (i) THE PROPORTION OF LAWN COVERAGE TO COMBINED TREE, SHRUB AND LOWLIEB PLANT COVERAGE TO BE MAINTAINED THROUGHOUT THE PROJECT SHALL NOT BE PERMITTED TO EXCEED 60% IN FRONT YARDS AND 75% IN REAR YARDS.

I. NO LAWN AREAS WILL BE INSTALLED WITH LESS THAN 30 MM (1 1/4") OF TOPSOIL WITH A MINIMUM 1% ORGANIC MATERIAL TO SECTION 6 OF B.C. LANDSCAPE STANDARDS FOR GRASSES AREAS AND SIGNED OFF BY A CERTIFIED LANDSCAPE ARCHITECT TO CONFIRM THE MINIMUM STANDARDS ARE MET, INCLUDING TOP SOIL DEPTH.

J. NO LANDSCAPING SHALL BE WITHOUT SELECTIVE USE OF BARK. THE INTENT OF BARK IS TO MAINTAIN THE RURAL CHARACTER, PRESERVE THE NIGHT SKY, AND PROTECT NEIGHBOURING PROPERTIES FROM BRIGHT LIGHTS AND INDIRECT LIGHT SOURCES.

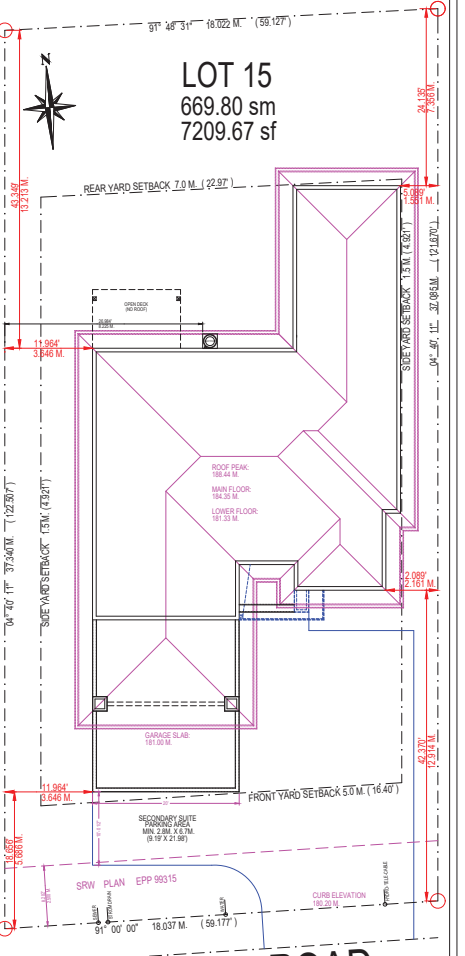
K. NO TREES NOW STANDING ON A LOT WILL BE CUT OR REMOVED EXCEPT WITH THE WRITTEN CONSENT OF TND, AND NO TREE, HEDGE, OR SHRUB ON A LOT WILL BE PERMITTED TO GROW TO A HEIGHT EXCEEDING THAT FROM TIME TO TIME TO BE APPROVED BY TND.

L. NO SHRUBS OR FLOWER BEDS ARE PERMITTED UNLESS THEY ARE INTEGRATED WITH A DRIVEWAY, PROTECTION SYSTEM.



Area:	
Main Floor Area:	1,629.32 sq ft
Lower Floor Area:	1,078.46 sq ft
Total Dwelling Area:	2,707.78 sq ft
Suite Floor Area:	713.90 sq ft
Total Floor Area:	3,381.68 sq ft
Finished Garage:	479.92 sq ft
Covered Front Entry:	54.75 sq ft
Covered Front Deck:	249.17 sq ft
Open Front Deck:	249.00 sq ft
Open Rear Deck:	96.00 sq ft

NOTE: ALL PLANTS, PREPARATION, AND INSTALLATION TO CONFORM TO B.C.S.L.A. AND B.C.N.T.A. SPECIFICATIONS.
 NOTE: ALL LANDSCAPE SUPPLIES BY DINTERS NURSERY 250-748-2023.



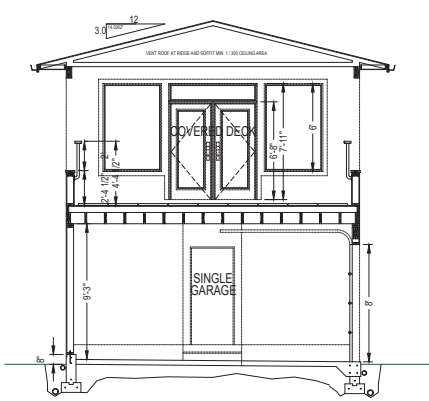
Municipality of North Cowichan		Density (FSR) Allowed	Proposed
%	55.00	57.04	
Chic Address:	334.92	375.04	
Viewtop Road	3804.83	3351.10	
Duncan B.C.			
P I D : 031-047-823		Lot Coverage Allowed	Proposed
%	55.00	52.83	
Plan:	EPP 99314	234.43	218.57
Lot:	2533.36	2352.61	
Height:	29.57	24.57	
Zone:	CD - 18		
Attached Garage:	269.00 sq ft		
Zone:	CD - 18	Allowed	Proposed
Zone:	CD - 18	42.00	44.55
Zone:	CD - 18	452.00	478.50
Lot Area:	669.80 m ²		
Lot Area:	7209.67 m ²		
Secondary Suite:		Area of 4th, 5th or 6th floor	Area of 7th floor
%	60.00	60.00	75.00
%	60.00	61.22	
%	80.00	86.32	
%	88.75	111.90	

GREG MITCHELL
 RESIDENTIAL DESIGNS
 211 KINGSVIEW ROAD
 DUNCAN B.C. V9L 1L3
 PHONE: 250 741 4221 CELL: 250-715-1551
 E-MAIL: gmitch45@shaw.ca

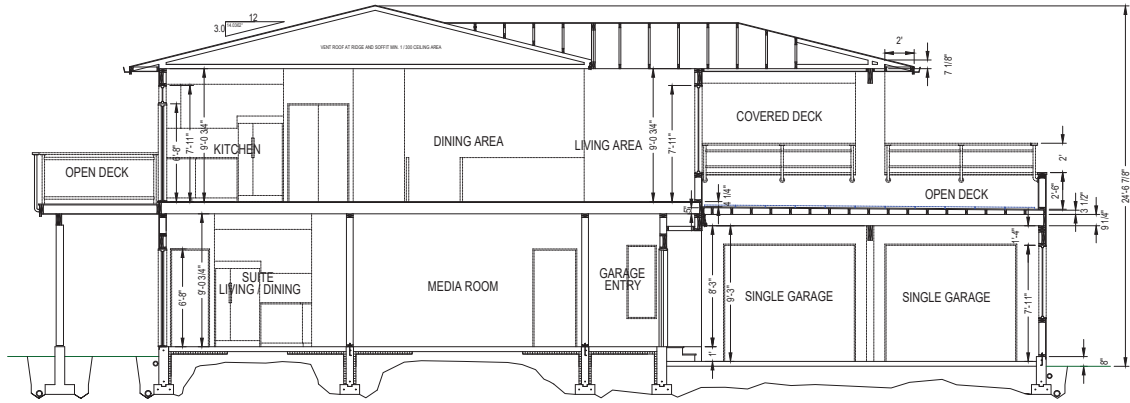
JOGA DEVELOPMENT LTD
 1015 KINGSVIEW ROAD
 DUNCAN B.C.
 PHONE: 250-741-1241, 250-741-1242, 250-741-1243

SITE PLAN & LANDSCAPE PLAN

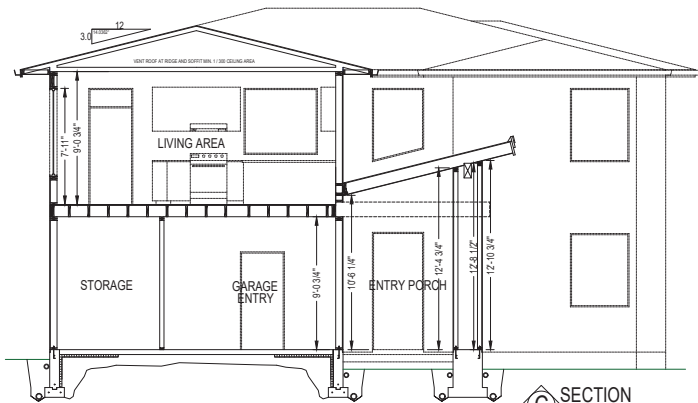
01.31.2021 1/4"-10" 1 OF 6



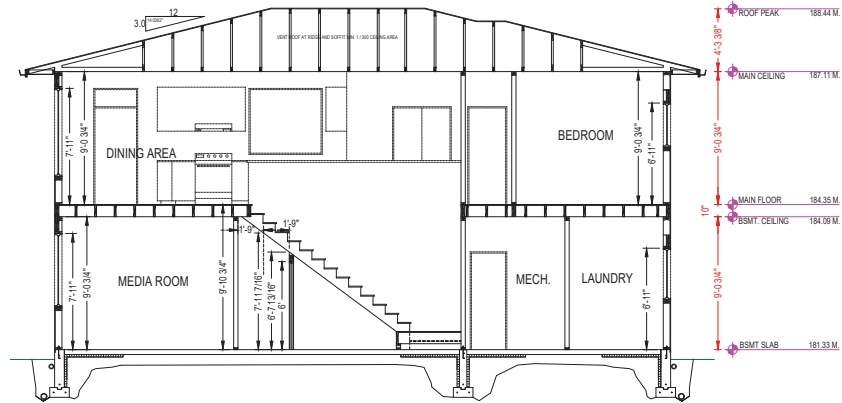
A SECTION
SCALE: 1/4"=1'-0"



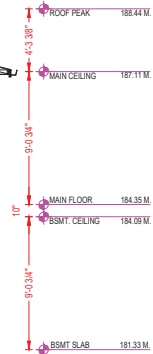
B SECTION
SCALE: 1/4"=1'-0"



C SECTION
SCALE: 1/4"=1'-0"



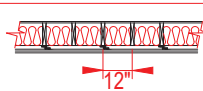
D SECTION
SCALE: 1/4"=1'-0"



FIRE SEPERATION DETILS

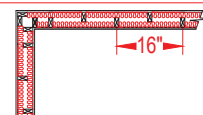
CEILING DETAIL

TABLE A-10.1.16
FIRE AND SOUND RESISTANCE OF FLOORS, CEILINGS, AND ROOFS
FORMING PART OF APPROX NOTE A-10.1.1
TYPE OF ASSEMBLY: WOOD FLOOR JOISTS
ASSEMBLY NUMBER: 124
DESCRIPTION: SUBFLOOR OF 3/4" (19 mm) T & G PLYWOOD
2 x 12 (38 mm) x 250 mm WOOD JOIST @ 16" (406 mm) O.C.
1" (25 mm) RIGID SOUND INSULATION (MIN. 1.5")
RESISTANT STEEL FRAMING CHANNELS @ 34" (863 mm) O.C.
2 LAYERS OF 1/2" (12 mm) TYPE "C" GYPSUM BOARD ON CEILING SIDE.
FIRE RESISTANCE RATING: 1-HR
ISOLATION TRANSMISSION CLASS: 44
IMPACT INSULATION CLASS: 37



WALL DETAIL

TABLE A-10.1.15
FIRE AND SOUND RESISTANCE OF WALLS
FORMING PART OF APPROX NOTE A-10.1.1
TYPE OF WALL: NON-LOAD BEARING & LOAD BEARING
WALL NUMBER: 107A
DESCRIPTION: 2 ROWS OF 2 x 4" (38 x 89 mm) STUDS EACH SPACED 16" (406 mm)
STRAGGERED ON COMMON 7 x 12 (183 x 406 mm) PLATE
5/16" (8mm) PEXCEL SOUND INSULATION ON EACH SIDE
LAYER OF 1/2" (12 mm) TYPE "C" GYPSUM BOARD ON EACH SIDE
FIRE RESISTANCE RATING: 1-HR
NON-LOAD BEARING: 1-HR
LOAD BEARING: 1-HR
SOUND TRANSMISSION CLASS: 47

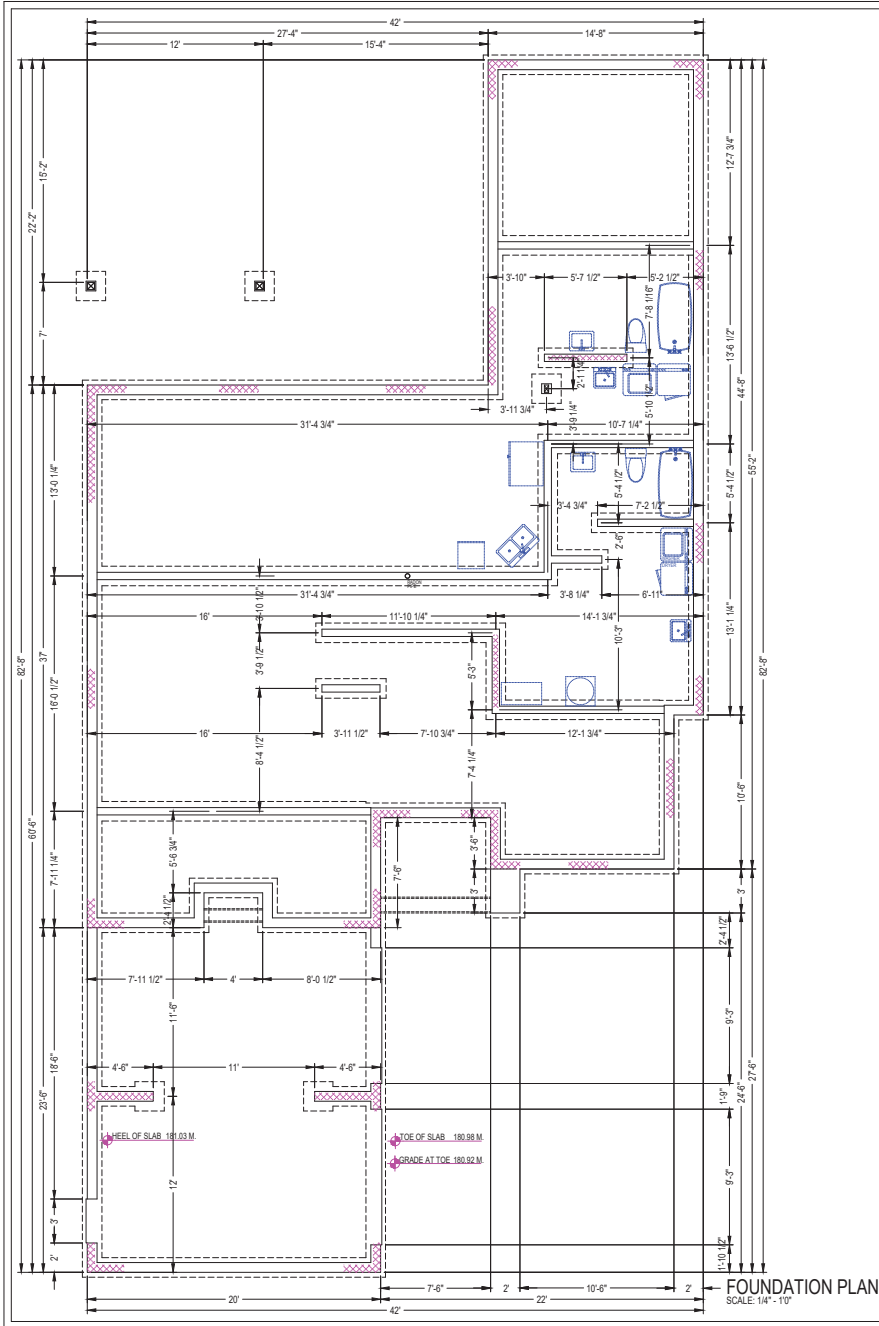


GREG MITCHELL
RESIDENTIAL DESIGNS
211 MC KENZIE ROAD
DUNCAN, B.C. V1L 3L3
PHONE: 250 761 4221 CELL: 250-715-5551
E-MAIL: gmitch45@shaw.ca
© 2018 GREG MITCHELL

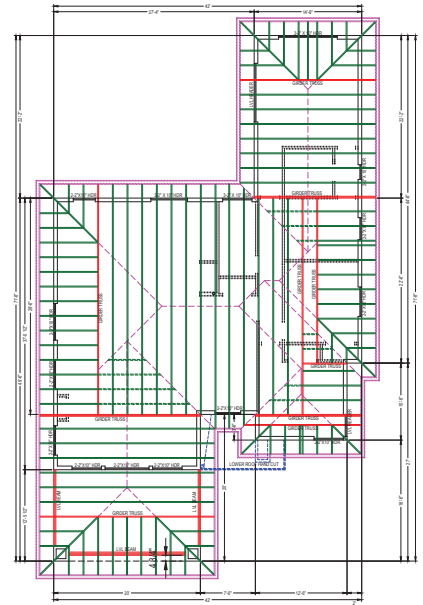
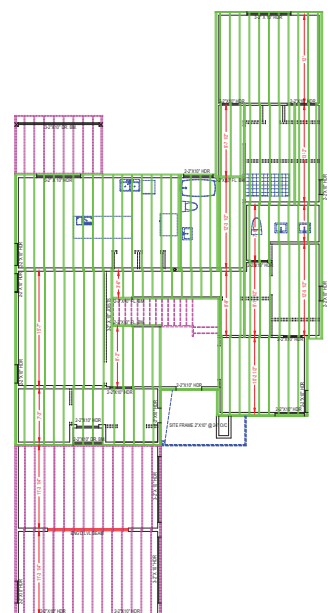
THE SERVICES OF THIS DRAWING ARE PROVIDED BY GREG MITCHELL RESIDENTIAL DESIGNS. THE DESIGNER IS NOT PERMITTED AND IS A VIOLATION OF LOCAL BY-LAWS.

JOGA DEVELOPMENT LTD
LOT 16 VENTURE ROAD
DUNCAN, B.C.
JOGA DEVELOPMENT LTD (2018-01-24) - E-MAIL: joga@joga.com

BUILDING SECTIONS



- SPECIFICATIONS**
- LOW SLOPE TRUSS ROOF:
2 PLY 5/8 S. MODIFIED BITUMEN FULLY ADHERED ROOFING MEMBRANE
1/2" PLYWOOD SHEATHING C/W "H" CLIPS
ENGINEERED ROOF TRUSSES @ 24" O.C.
 - CEILING:
R40 FIBERGLASS BATT INSULATION
6 MIL POLY AIR VAPOUR BARRIER
5/8" GYPSUM CEILING BOARD
TEXTURED CEILING FINISH
 - FASCIA/SOFFIT:
28 GA. G.I. PAINTED CAP FLASHING OVER
3-1/2" X 3-1/2" CANT STRIP
1" X 4" COMBED FACE PAINTED FASCIA BOARD ON
2" X 10" COMBED FACE PAINTED FASCIA BOARD
 - EXTERIOR WALL:
HARD-PLANK EXTERIOR SIDING
RAIN SCREEN DAPHRAM
TYVEK HOUSE WRAP
1/2" PLYWOOD SHEATHING
2" X 6" S.P.F.#2 STUDS @ 16" O.C.
R20 FIBERGLASS BATT INSULATION
6 MIL POLY AIR VAPOUR BARRIER
1/2" GYPSUM WALLBOARD
 - INTERIOR WALL (NONLOAD BEARING):
1/2" GYPSUM WALL BOARD EACH SIDE
2" X 4" STUDS @ 24" O.C.
 - INTERIOR WALL (LOAD BEARING):
1/2" GYPSUM WALL BOARD EACH SIDE
2" X 4" STUDS @ 16" O.C.
 - GARAGE WALL & CEILING PARTITION:
5/8" TYPE "X" FIRE-GAURD GYPSUM WALLBOARD
TAPED & STAGGERED @ JOINTS
2" X 6" S.P.F.#2 WALL STUDS @ 16" O.C.
R20 FIBERGLASS BATT WALL INSULATION
R20 FIBERGLASS BATT CEILING INSULATION
6 MIL POLY AIR VAPOUR BARRIER
 - EXTERIOR FOUNDATION:
2 COATS ASPHALT EMULSION
1/2" DIA. ANCHOR BOLTS @ 8' O.C.
8" CONCRETE FOUNDATION WALL
C/W #4 BAR @24" O.C.
2-1/2" R-12 RIGID INSULATION
16" X 8" CONCRETE FOOTINGS
C/W 2 - 15M BAR CONT.
UNDISTURBED STABLE BEARING
 - INTERIOR FOUNDATION:
2" X 4" S.P.F.#2 STUDS @ 16" O.C.
1/2" DIA. ANCHOR BOLTS @ 8' O.C.
6" CONCRETE FOUNDATION WALL
C/W 1 - 10M BAR CONT.
16" X 8" CONCRETE FOOTINGS
C/W 2 - 10M BAR CONT.
UNDISTURBED STABLE BEARING
 - INTERIOR FOUNDATION:
2" X 6" S.P.F.#2 STUDS @ 16" O.C.
1/2" DIA. ANCHOR BOLTS @ 8' O.C.
8" CONCRETE FOUNDATION WALL
C/W 1 - 10M BAR CONT.
16" X 8" CONCRETE FOOTINGS
C/W 2 - 10M BAR CONT.
UNDISTURBED STABLE BEARING
 - CONCRETE GARAGE SLAB:
4" CONCRETE SLAB C/W @ 25 mpa
SLOPE 2% TO DOOR SILL
15M REBAR @ 18" O.C. E-W
6 MIL POLY AIR VAPOUR BARRIER
2-1/2" R-12 RIGID INSULATION
MIN. 12" COMPACTED GRANULAR FILL
 - FLOOR SLAB ON GRADE:
3-1/2" CONCRETE FLOOR SLAB @ 25 Mpa
C/W 10/10 6" X 6" WELDED WIRE MESH
6 MIL POLY AIR VAPOUR BARRIER
2-1/2" R-12 RIGID INSULATION
MIN. 6" COMPACTED GRANULAR FILL
 - MAIN FLOOR JOIST SYSTEM:
3/4" T & G SHEATHING - GLUED & SCREWED ON
2" X 10" #2 S.P.F. FLOOR JOISTS @16" O.C.
C/W 2" X 2" CROSS BRIDGING @ 70" O.C. MAX.
5/8" CEILING G. W.B.
 - DECK SYSTEM:
24" X 24" CONCRETE PAVERS ON
PLASTIC DISK PAVER SPACERS
60 MIL VINYL DUREXOR OR EQUAL
3/4" T & G SHEATHING - GLUED & SCREWED ON
2" X 6" TAPER CUT PURLINS @ 24" O.C. PERP. TO JOISTS
TAPERS CUT FROM 2-1/2" TO 1-1/2" SLOPE
 - PRE-MANUFACTURED STONE VENEER:
LIME BASED MORTAR
3/4" B PAPER BACKED WIRE LATHE
10 mm (3/8") AIR SPACE
P.T. WOOD STRAPPING
2 LAYERS 30 MIN. BUILDING PAPER
1/2" PLYWOOD SHEATHING
2" X 4" STUDS @ 16" O.C.
R-20 INSULATION
6 MIL POLY AIR VAPOUR BARRIER
1/2" GYPSUM BOARD
 - STAIRS:
118.75" (9' - 10 - 3/4") FLOOR TO FLOOR
15 RISERS @ 7-7/16" (7.422")
15 TREADS @ 10"
 - PATIO & ENTRY SLAB:
4" EXPOSED AGGREGATE CONCRETE
ON MIN. 6" COMPACTED FILL
 - DRAINAGE:
4" DIA. PERFORATED PERIMETER FOUNDATION DRAIN
3" DIA. SOLID PERIMETER ROOF DRAIN
MIN. 6" DRAIN ROOF COVER



- NOTES:**
- ALL CONSTRUCTION TO COMPLY WITH CURRENT N.B.C. AND B.C.B.C.
 - CONSTRUCTION TO COMPLY WITH MUNICIPALITY OF NORTH COWICHAN ZONING BYLAWS AND REGULATIONS.
 - BUILDER TO CHECK AND BE RESPONSIBLE FOR ALL GRADES, LEVELS, DIMENSIONS, AND STRUCTURAL ADEQUACY.
 - LUMBER - #2 OR BETTER DOUGLAS FIR, #3 WHERE PERMITTED.
 - UNITS - 2-2X10" EXCEPT WHERE NOTED OTHERWISE OR TO SIZE.
 - ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS.
 - ALL SMOKE DETECTORS TO BE INTERCONNECTED AND WIRED TO 110 VOLT.

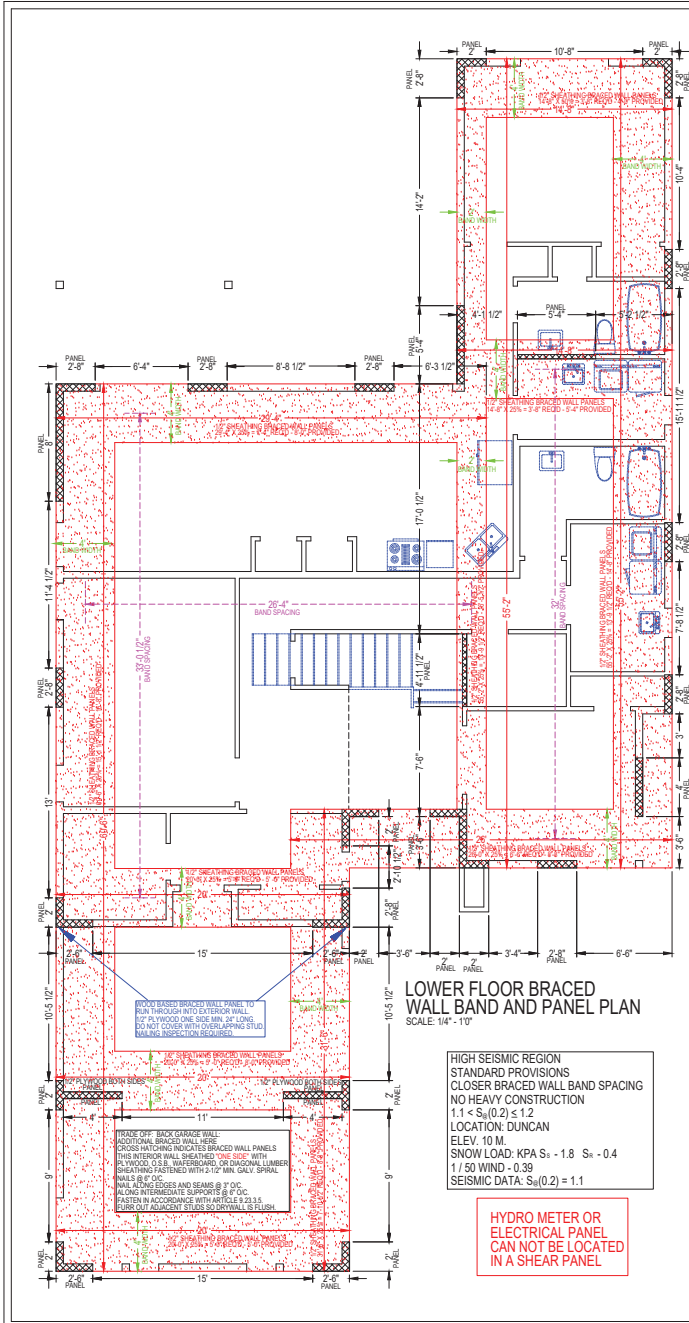
GREG MITCHELL
RESIDENTIAL DESIGNS
2111 MCNEILS ROAD
DUNCAN, B.C. V1L 1L3
PHONE: 250.761.0211 CELL: 250.715.1551
E-MAIL: gmitc45@shaw.ca
Q: 250.985.9700

THE BUILDER(S) OF THIS DEVELOPMENT HAS/HAVE(S) BEEN LICENSED BY THE GOVERNMENT OF BRITISH COLUMBIA AS A REGISTERED PROFESSIONAL ENGINEER(S) UNDER THE ENGINEERS ACT AND REGULATIONS.

JOGA DEVELOPMENT LTD
LOT 15 VENTURE ROAD
DUNCAN, B.C.
JOGA DEVELOPMENT LTD (250) 817-2341, EMAIL: joga@joga.com

FOUNDATION PLAN

01.31.2021 1/4" = 1'-0" 2 OF 6



BRACED WALL BANDS
SHADING INDICATES BRACED WALL BANDS
FRAMER NOTE: PROVIDE SOLID BLOCKING BETWEEN JOISTS UNDER EVERY BRACED WALL PANEL TO PROVIDE FASTENING OF BOTTOM SILL PLATE TO FLOOR JOISTS, RIM JOISTS, AND SOLID BLOCKING.
ALL WORK TO CONFORM TO 9.23.1.4
NAILING OF FRAMING, FASTENED WITH 3-1/2" MIN. GALV. SPIRAL NAILS @ 6" O.C. ONLY NEEDED UNDER AND OVER LENGTH OF BRACED WALL PANEL.

WOOD BASED BRACED WALL PANEL
CROSS HATCHING INDICATES LENGTH OF BRACED WALL PANELS.
EXTERIOR / INTERIOR WALL SHEATHED "ONE SIDE" WITH PLYWOOD, O.S.B., WAFFERBOARD, OR DIAGONAL LUMBER SHEATHING FASTENED WITH 2-1/2" MIN. GALV. SPIRAL NAILS @ 6" O.C.
NAIL ALONG EDGES AND SEAMS @ 3" O.C.
ALONG INTERMEDIATE SUPPORTS @ 6" O.C.

GYPSON BASED BRACED WALL PANEL
SOLID HATCHING INDICATES LENGTH OF BRACED WALL PANELS.
INTERIOR WALL SHEATHED "BOTH SIDES" WITH 1/2" DRYWALL FASTENED WITH 2-1/2" MIN. GALV. SPIRAL NAILS @ 6" O.C.
FASTEN ALONG EDGES AND SEAMS @ 6" O.C.
ALONG INTERMEDIATE SUPPORTS @ 6" O.C.
INTERIOR WALL STUDS SPACED @ 16" O.C.

MATERIALS IN BRACED WALL PANELS
1) REQUIRED BRACED WALL PANELS SHALL BE:
a) CLAD WITH PANEL-TYPE CLADDING COMPLYING WITH SECTION 9.23.1.1 AND TABLE 9.23.13.6
b) SHEATHED WITH PLYWOOD, O.S.B., WAFFERBOARD, OR DIAGONAL LUMBER SHEATHING COMPLYING WITH SUBSECTION 9.23.1.2 AND TABLE 9.23.13.6 AND FASTENED IN ACCORDANCE WITH ARTICLE 9.23.13.5
c) FINISHED ON THE INTERIOR WITH A PANEL TYPE MATERIAL IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 9.23.1 AND TABLE 9.23.13.6.

ANCHORAGE OF BRACED WALL PANEL FRAMES
SHALL BE PROVIDED BY FASTENING THE SILL PLATE TO 3" NAILS AT 6" O.C. TO SOLID 2"x10" BLOCKING BETWEEN JOISTS AT PANEL LOCATIONS ONLY.

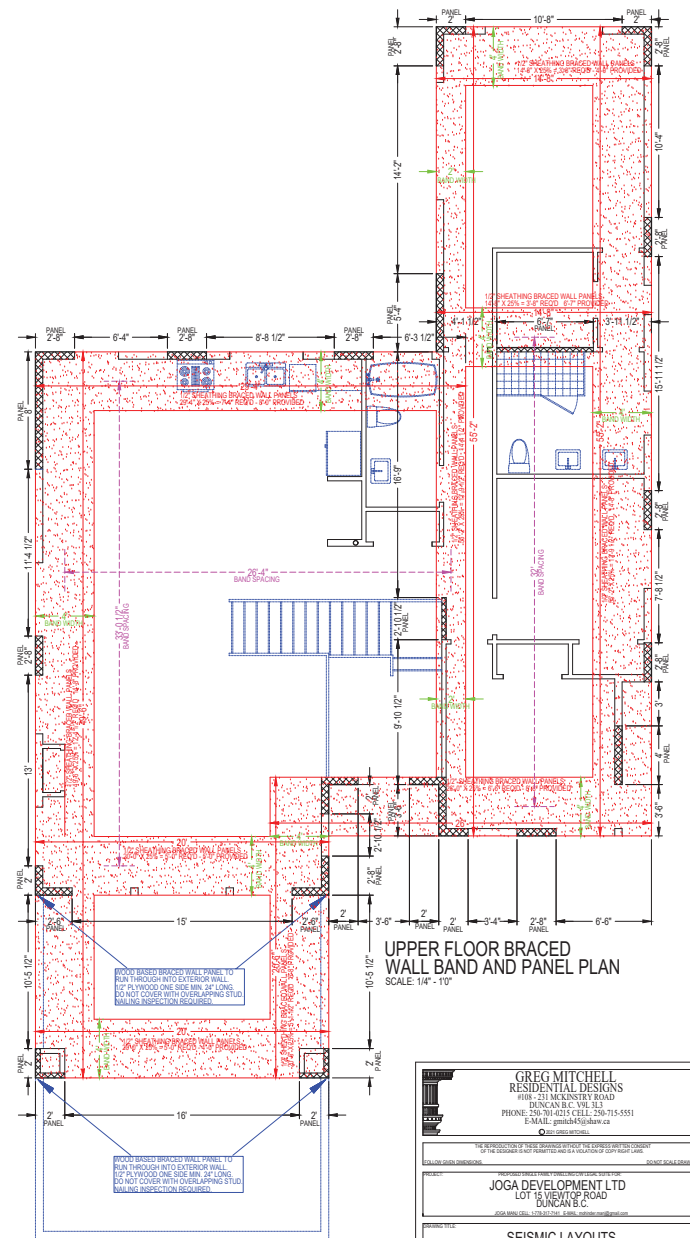
TRADE OFF - BACK GARAGE WALL:
ADDITIONAL BRACED WALL PANELS
CROSS HATCHING INDICATES BRACED WALL PANELS
THIS INTERIOR WALL SHEATHED "ONE SIDE" WITH PLYWOOD, O.S.B., WAFFERBOARD, OR DIAGONAL LUMBER SHEATHING FASTENED WITH 2-1/2" MIN. GALV. SPIRAL NAILS @ 6" O.C.
NAIL ALONG EDGES AND SEAMS @ 3" O.C.
ALONG INTERMEDIATE SUPPORTS @ 6" O.C.
FASTEN IN ACCORDANCE WITH ARTICLE 9.23.13.5.
FURR OUT ADJACENT STUDS SO DRYWALL IS FLUSH.

TRADE OFF - 9.23.13.7 TO INCREASE ALLOWABLE DISTANCE BETWEEN BRACED WALL BANDS
ADDITIONAL BRACED WALL PANELS
CROSS HATCHING INDICATES BRACED WALL PANELS
THIS INTERIOR WALL SHEATHED "ONE SIDE" WITH PLYWOOD, O.S.B., WAFFERBOARD, OR DIAGONAL LUMBER SHEATHING FASTENED WITH 2-1/2" MIN. GALV. SPIRAL NAILS @ 6" O.C.
NAIL ALONG EDGES AND SEAMS @ 3" O.C.
ALONG INTERMEDIATE SUPPORTS @ 6" O.C.
FURR OUT ADJACENT STUDS SO DRYWALL IS FLUSH.
FASTEN IN ACCORDANCE WITH ARTICLE 9.23.13.5 (a) IN CONFORMANCE WITH 9.23.13.6 (2) AND 9.23.13.6 (a) & (b).

BRACED WALL BAND AND PANEL NOTES:
FOUNDATION LEVEL BRACED WALL PANELS:
ANCHORED TO CONCRETE WITH EITHER:
5/8" ANCHOR BOLTS @ 8'0" (MAX.)
OR 1/2" ANCHOR BOLTS @ 5'0" (MAX.)
ANCHOR BOLTS MUST BE LOCATED NO FURTHER THAN 18" FROM END OF ANY FOUNDATION SUPPORTING A REQUIRED BRACED WALL PANEL.

FRAMING CONNECTIONS WITHIN BRACED WALL PANELS:
SILL PLATES (BOLTED TO FOUNDATION WALLS), AND RIM JOISTS / TRIMMER JOISTS, BOX JOISTS, AS WELL AS INTERIOR AND EXTERIOR FRAMED WALL TOP AND BOTTOM PLATES MUST BE THROUGH NAILED OR TOE NAILED TO THEIR CONNECTING STRUCTURES WITH A MINIMUM OF 3-1/4" SPIKES SPACED MAX. 6' APART.

BRACED WALL PANEL AND ROOF SHEATHING:
EXTERIOR:
BRACED WALL PANELS AND ROOFS MUST BE SHEATHED WITH OSB OR PLYWOOD NAILED OFF WITH 2-1/2" NAILS SPACED MAX. 6' APART AROUND ALL EDGES AND 12" APART IN THE MAIN SHEET.
NOMINAL 3/4" RESAWN LUMBER IS ACCEPTABLE IF APPLIED DIAGONALLY AND NAILED OFF WITH 2-1/2" NAILS - 3 PER STUD.
SPECIFIED BRACED WALL PANELS WILL HAVE THESE NAILING PATTERNS TIGHTENED UP TO 1/2 THESE DISTANCES BETWEEN NAILS.
INTERIOR:
BRACED WALL PANELS WITH STUDS 16" O.C. CAN BE DRYWALLED WITH 1/2" BOARD. STUDS 24" O.C. REQUIRE 5/8" BOARD.
WITH A MINIMUM OF 3-1/4" SPIKES SPACED MAX. 6' APART.
ALL BOARD MUST BE FASTENED WITH EITHER SCREWS AT LEAST 1-1/2" LONG SPACED MAX. 12" APART OR NAILS AT LEAST 1-1/2" LONG SPACED MAX. 8" APART.
SOME SPECIFIED INTERIOR BRACED WALL PANELS MUST HAVE PLYWOOD OR OSB UNDER THE DRYWALL.



GREG MITCHELL RESIDENTIAL DESIGNS
7011 211 WENDELL ROAD
DUNCAN, B.C. V1L 1L3
PHONE: 250.761.0221 CELL: 250.715.1551
E-MAIL: gmitc45@shaw.ca
© 2018 GREG MITCHELL

JOGA DEVELOPMENT LTD
LOT 15 WENDELL ROAD
DUNCAN, B.C.
JOGA DEVELOPMENT LTD. 172617241, E-MAIL: jogadev@shaw.ca

SEISMIC LAYOUTS

Joga Developments Ltd

1218 Viewtop Rd

General Specifications

Note: depending on the stage of construction the Buyer will have the opportunity to choose their preferences and finishes with the approval of the Seller.

The developer reserves the right to modify or change plans and specifications without notice. All Construction as per BC Building Code and Municipal Bylaws

Foundation

Building layout/establish property lines/utilities
Excavation for building site & underground services
Approved granular fill
Form, pour and strip footings & foundation walls
Seal foundation exterior
Install perimeter drain tile and downspout drainage
Backfill foundation, driveway & services
Pour & finish concrete floors

Framing

2"x10" floor joists with approved bridging or bracing
T&G plywood flooring glued and nailed
Exterior walls will be 2"x6" on 16" centers with 7/16" sheathing
Interior walls will be 2"x4" on 16" centers
Wood or manufactured beams as required
Engineered roof trusses, 7/16" sheathing with clips

Exterior Finish

PVC Low E double-pane black windows as per plan
Hardi Panel & Hardiplank siding & stone as per plan
Black aluminum continuous eaves trough, soffits & downpipes.
35 year warranty fiberglass shingles
Exposed aggregate driveway & walkways
Deck with vinyl decking

Mechanical

On demand gas hot water.
High-efficiency electric heat pump and gas forced air furnace,
All ventilation ducting for hoodfan, bath fans & dryer
Gas fireplace

Electrical

200 amp service panel
Designer electrical fixture package and pot lights
Decora switches & plugs
Prewiring and plumbing for dishwasher
Smoke detectors, dehumidistats and fans as required

Insulation

As per code, R20 walls and R40 ceiling
6 mil poly, continuous seal on all.

Cabinets

Quality shaker cabinet doors with plywood boxes/quartz countertops

Flooring

To be determined - quality flooring in a mix of engineered hardwood, tile, carpet & laminate

Interior Finishing

Walls & trim primed & painted w 2 coats of quality interior latex paint.

5" baseboard and 3 1/4" casings painted

Designer closet shelves, rods, hardware as per plan.

Designer towel bars & paper holders

Mirrors in all bathrooms

Plumbing

Designer kitchen & bathroom fixtures & taps

Additional Expenses Included

Appliance allowance of \$12,000

Building permit

Site survey

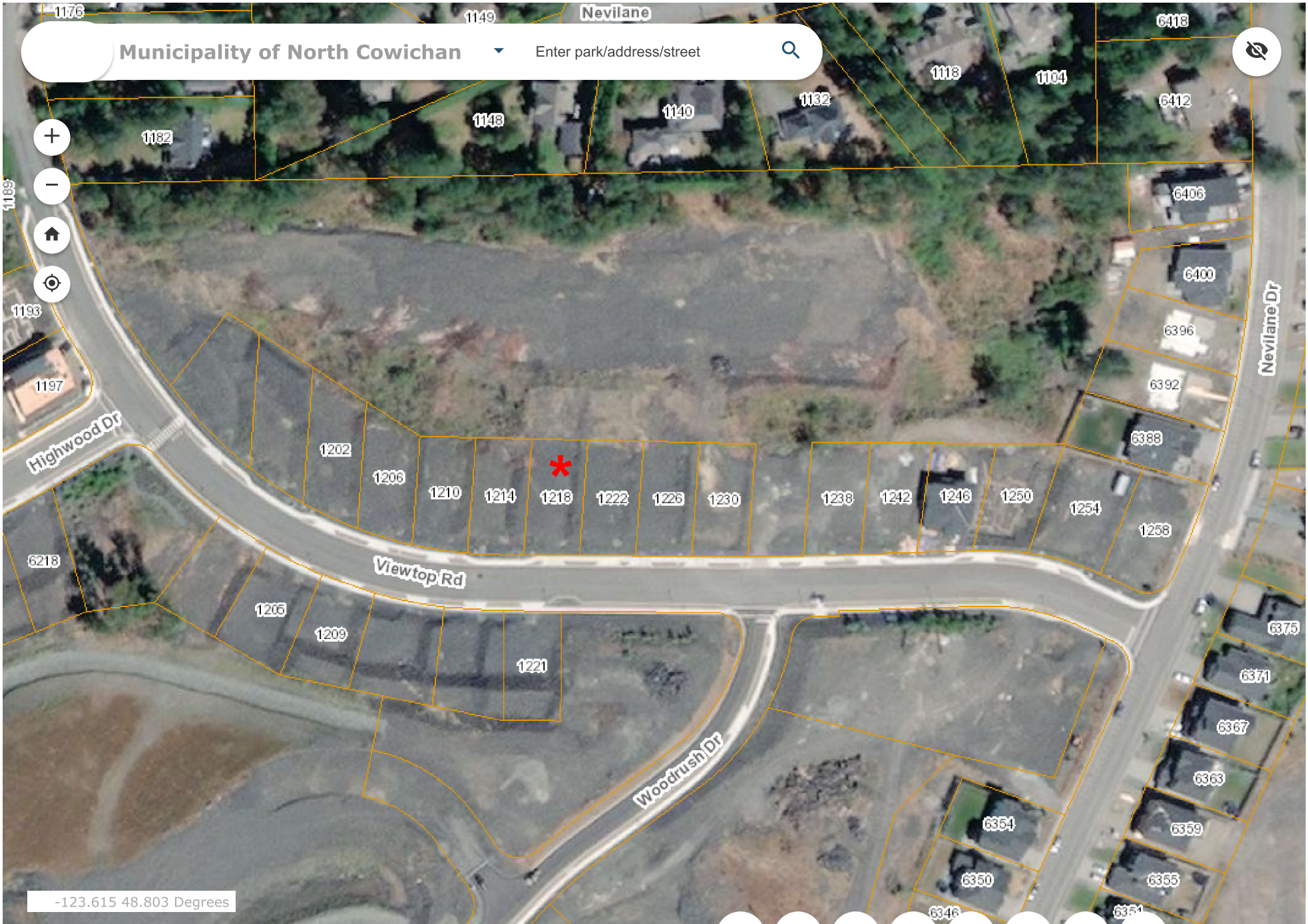
Course of construction insurance policy

TEN YEAR NEW HOME WARRANTY

Construction financing to completion

Basic landscaping.

.



Municipality of North Cowichan

Enter park/address/street



1176

1149

Nevilane

6418

1182

1148

1140

1132

1118

1104

6412

1189

1193

1197

6406

6400

6396

6392

6388

Nevilane Dr

Highwood Dr

1202

1206

1210

1214

1218 *

1222

1226

1230

1238

1242

1246

1250

1254

1258

Viewtop Rd

6218

1205

1209

1221

6375

6371

6367

6363

6354

6350

6359

6355

6348

6351

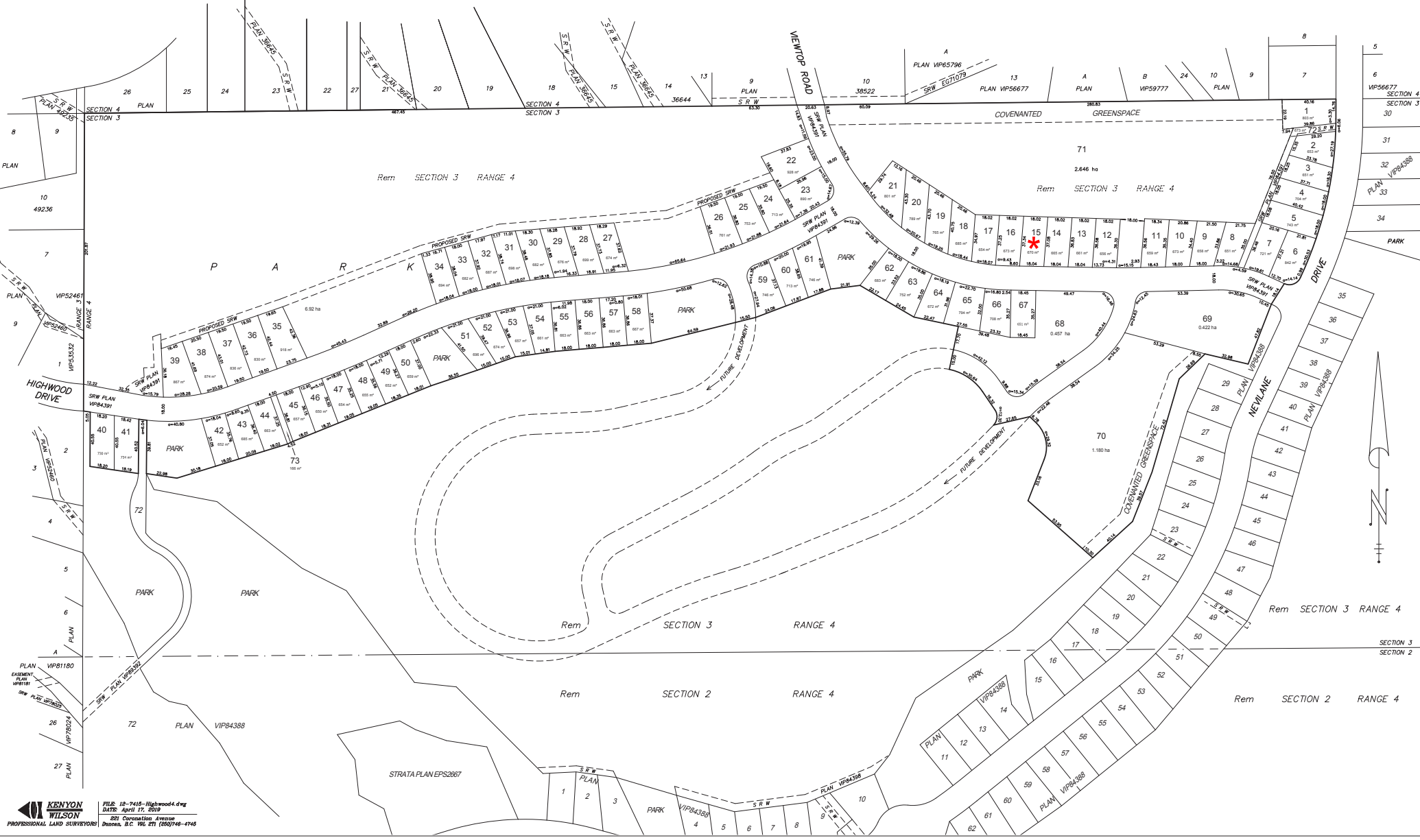
-123.615 48.803 Degrees

40m



PLAN OF PROPOSED SUBDIVISION OF
 PART OF SECTION 3, RANGE 4, EXCEPT PART IN PLAN VP84388,
 AND PART OF SECTION 2, RANGE 4, EXCEPT PART IN PLANS
 VIP5257, VIP78514 AND VIP84388; BOTH OF COMIAKEN DISTRICT.

Scale: 1 : 1250
 0 20 40 metres
 All distances are in metres and are subject to
 change upon approvals and legal survey.



Kingsview Comprehensive Development Zone (CD18) [BL3631]

Permitted Uses

- 80.18** (1) The permitted uses for Areas 1 to 6 of the CD18 zone, as shown on Schedule "D-2", attached to and forming part of this bylaw, are as follows:
- (a) in Area 1
 - (i) single-family dwelling;
 - (ii) home-based business;
 - (iii) accessory dwelling unit, coach house or secondary suite;
 - (b) in Area 2
 - (i) single-family dwelling;
 - (ii) home-based business;
 - (c) in Area 3
 - (i) townhouse;
 - (ii) limited home-based business;
 - (d) in Area 4
 - (i) multi-family dwellings;
 - (ii) limited home-based business;
 - (e) in Area 5
 - (i) multi-family dwelling;
 - (ii) mixed used building;
 - (iii) limited home-based business;
 - (f) in Area 6
 - (i) parks and open space;
 - (ii) playground and playground equipment;
 - (iii) parking for park users;
 - (iv) identity signs and trailhead shelter/gazebo;
 - (v) community gardens;
 - (vi) detention ponds and associated stormwater infrastructure;
 - (vii) trails;
 - (viii) miscellaneous outdoor recreation equipment.

Regulatory Conditions

(2) The regulatory conditions in the following table apply to the CD18 zone:

Item	Column 1 Description	Column 2 Area	Column 3 Value
1	Minimum lot area	1	650 m ²
		2	325 m ²
		3	1 100 m ²
		4	1 100 m ²
		5	1 100 m ²
2	Maximum lot coverage	1	35%
		2	50%
		3	40%
		4	40%
		5	50%

3	Maximum Density	1	0.5 Floor Area Ratio	
		2	0.6 Floor Area Ratio (30 units/ha)	
		3	0.75 Floor Area Ratio (22 units/ha)	
		4	1.2 Floor Area Ratio (54 units/ha)	
		5	1.2 Floor Area Ratio (54 units/ha and 500 m ² commercial)	
4	Principal building minimum setbacks	Front yard	1	5 m
		Rear yard		7 m
		Side yard		1.5 m
		Side yard flanking street		3 m
		5	Principal building minimum setbacks	Front yard
Rear yard				6 m
Side yard				1.25 m
Side yard flanking street				3 m
6	Principal building minimum setbacks			Front yard
		Rear yard		8 m
		Side yard		5 m
		Side yard flanking street		5 m
		7	Principal building minimum setbacks	Front yard
Rear yard				5 m
Side yard				3 m
Side yard flanking street				5 m
8	Minimum lot frontage			1
		2	11 m	
		3	30 m	
		4	30 m	
		5	30 m	
9	Maximum building height	1	9 m	
		2	9 m	
		3	12 m	
		4	15 m	
		5	15 m	

Accessory Buildings

- (3) The maximum height of an accessory building is 6 m.

Landscaped Areas and Impervious Spaces

- (4) Accessory buildings must be located behind the front lot line of the principal building and sited no less than 1 m from the side or rear property line.
- (5) In all areas, a minimum of 30% of the lot must be landscaped or covered with ground absorbing, pervious materials.

Conditions of Use

- (6) No fences over 1.2 m (4.00') in height are permitted in the required front yards.
- (7) No fences over 2.0 m (6.56') in height are permitted in the required side or rear yards.

General

- (8) In the event of conflict between the provisions of Part 1 to 5 of this Bylaw and the provisions of this zone, the provisions of the CD18 zone prevail.