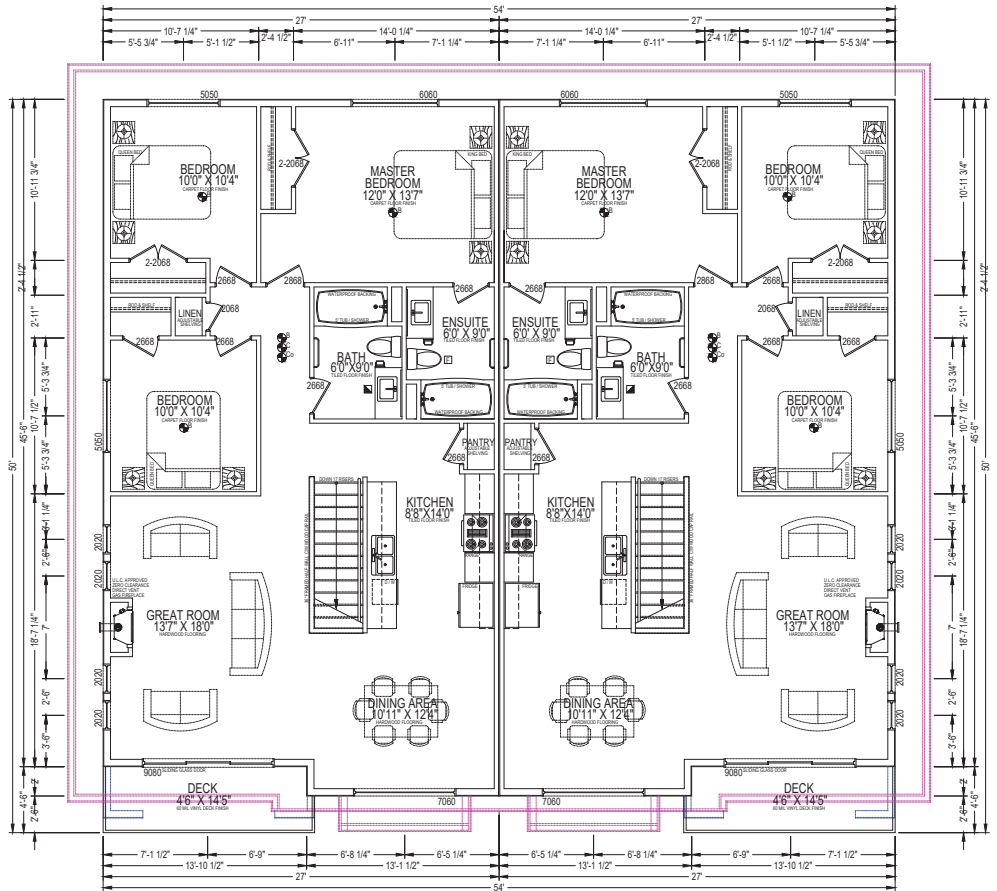


LOWER FLOOR PLAN
SCALE: 1/4" = 1'0"

- EXHAUST FAN UNIT
- PRINCIPAL EXHAUST FAN WITH TRIMER
- HARDWIRED INDEPENDENT CARBON MONOXIDE ALARMS INTERCONNECTED TO OTHER ROOMS OF SINGLE FAMILY DWELLING
- HARDWIRED PHOTO ELECTRIC TYPE SMOKE ALARM
- HARDWIRED INDEPENDENT CARBON MONOXIDE ALARM

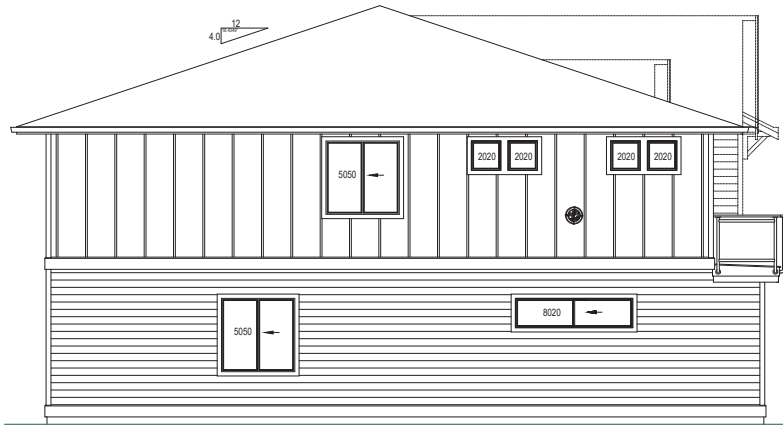


UPPER FLOOR PLAN
SCALE: 1/4" = 1'0"

- EXHAUST FAN UNIT
- PRINCIPAL EXHAUST FAN WITH TRIMER
- HARDWIRED INDEPENDENT CARBON MONOXIDE ALARMS INTERCONNECTED TO OTHER ROOMS OF SINGLE FAMILY DWELLING
- HARDWIRED PHOTO ELECTRIC TYPE SMOKE ALARM
- HARDWIRED INDEPENDENT CARBON MONOXIDE ALARM

LOT 1 SKINNER ROAD

GREG MITCHELL RESIDENTIAL DESIGNS 1108 - 211 MCKINSTRY ROAD DUNCAN B.C. V9L 2L3 PHONE: 250.761.6215 CELL: 250.713.4501 E-MAIL: greg@gregmitchell.com	JOGA DEVELOPMENTS LTD LOT 1 SKINNER ROAD DUNCAN B.C. JOGA MANU/CELL: 1-779-317-7161 E-MAIL: mitcher.man@gmail.com
THE REPRODUCTION OF THESE DRAWINGS WITHOUT THE EXPRESS WRITTEN CONSENT OF THE ISSUING IS NOT PERMITTED AND IS A VIOLATION OF COPYRIGHT LAWS. SCALE: AS SHOWN	FLOOR PLANS 04.09.2021 1/4" = 1'0" 2 OF 5



LEFT (WEST) ELEVATION

SCALE: 1/4" = 1'-0"
 LIMITING DISTANCE: 0.000m 0.000
 EXPOSED BUILDING FACE: 00.00mm 000.00in
 PERMITTED OPENINGS: 0.00% 0.00mm 00.00in
 ACTUAL OPENINGS: 0.00% 0.00mm 00.00in



FRONT (SOUTH) ELEVATION

SCALE: 1/4" = 1'-0"
 (Skinner Road)



RIGHT (EAST) ELEVATION

SCALE: 1/4" = 1'-0"
 LIMITING DISTANCE: 0.000m 0.000
 EXPOSED BUILDING FACE: 00.00mm 000.00in
 PERMITTED OPENINGS: 0.00% 0.00mm 00.00in
 ACTUAL OPENINGS: 0.00% 0.00mm 00.00in

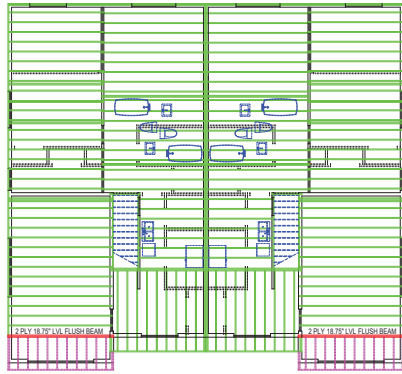


REAR (NORTH) ELEVATION

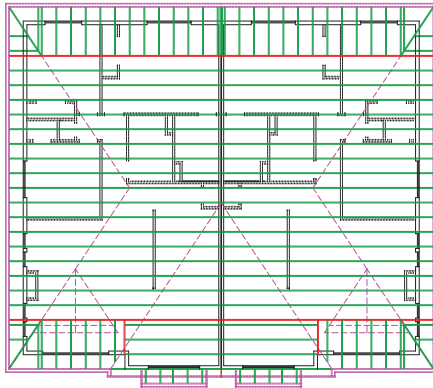
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LOT 1 SKINNER ROAD

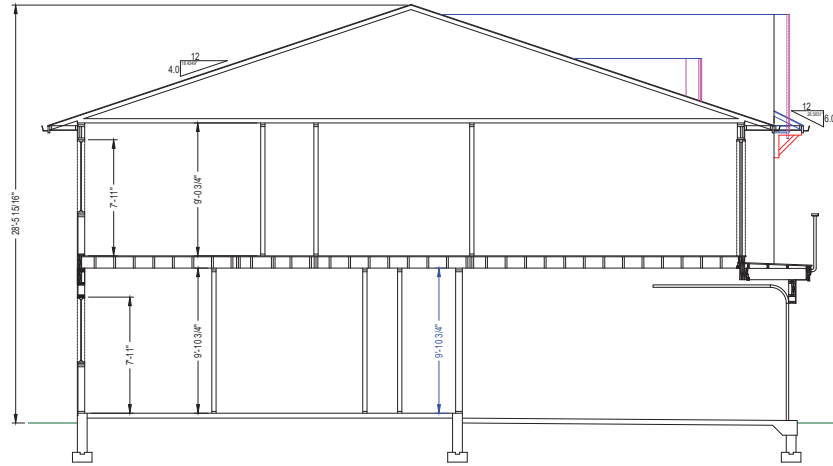
GREG MITCHELL RESIDENTIAL DESIGNS #108 - 211 MCKINSTRY ROAD DUNCAN B.C. V9L 2L5 PHONE: 250.761.4215 CELL: 250.713.4503 E-MAIL: greg@residentialdesigns.ca ©2016 GREG MITCHELL	RESPONSIBLE PARTY: JOGA DEVELOPMENTS LTD LOT 1 SKINNER ROAD DUNCAN B.C. JOGA MANU/CELL: 1-778-317-7141 E-MAIL: mchorder_mega@hotmail.com	
	BUILDING ELEVATIONS	
DATE: 04.09.2021	SCALE: 1/4" = 1'-0" UNITS: METRIC/IMPERIAL	PAGE: 5 OF 5



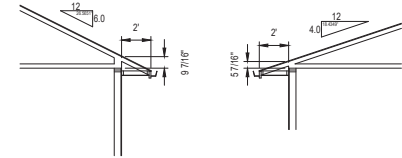
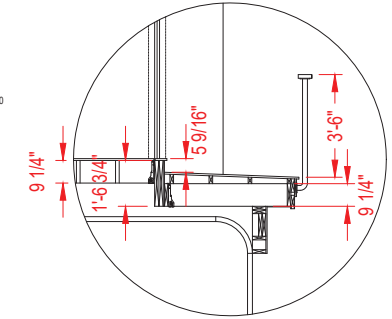
UPPER FLOOR JOIST PLAN
SCALE: 1/4" = 1'-0"
3/4" T & G SHEATHING
2" X 10" #2 S.P.F. FLOOR JOISTS @ 16" O/C
C/W 2" X 2" CROSS BRACING @ 7'0" O/C MAX.
GLUED & SCREWED
THIS LAYOUT TO ACT AS A GUIDE ONLY
CONTRACTOR TO CONFIRM ALL ASPECTS OF
DIMENSION LUMBER FLOOR JOIST SYSTEM



ROOF TRUSS PLAN
SCALE: 1/8" = 1'-0"
THIS LAYOUT TO ACT AS A GUIDE ONLY
MANUFACTURER TO CONFIRM ALL ASPECTS OF
ENGINEERED ROOF TRUSS SYSTEM



SECTION A
SCALE: 1/4" = 1'-0"

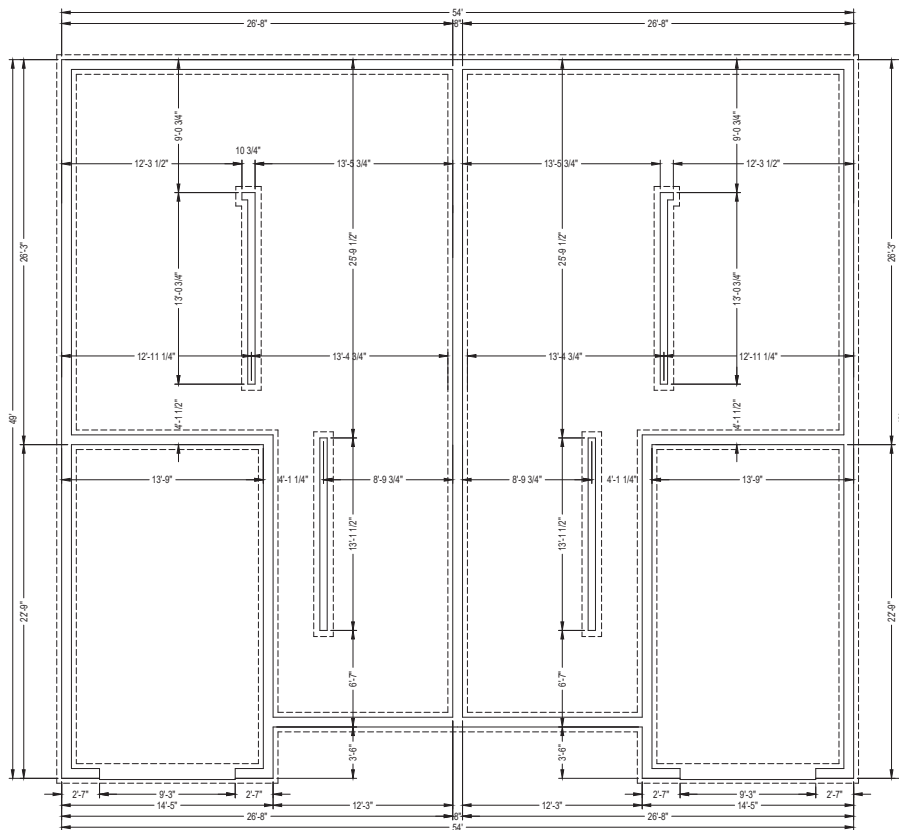


CONSTRUCTION ASSEMBLYS:

- TRUSS ROOF:**
LAMINATED FIBERGLASS SHINGLES
15# ROOFING FELT UNDERLAY
1/2" PLYWOOD SHEATHING C/W 1" CLIPS
ENGINEERED ROOF TRUSSES @ 24" O/C
R-40 (11.0" THK) ECO-TOUCH PINK FIBERGLASS INSULATION
6 MIL POLY AIR / VAPOUR BARRIER
5/8" GYPSUM CEILING BOARD
TEXTURED CEILING FINISH
- FASCIA GUTTER SOFFIT ASSEMBLY:**
EAVE PROTECTION TO 36" PAST PLATE LINE
4" CONT. ALUM. GUTTERS & YPOWEN SPOUTS
2" X 4" FASCIA BOARD PAINTED
VENTED VINYL SOFFITS
- RAKE FASCIA SOFFIT ASSEMBLY:**
1" X 3" COMBED FACE FASCIA BOARD LAPPED ONTO
2" X 8" COMBED FASCIA BOARD PAINTED
VENTED VINYL SOFFITS
- EXTERIOR WALL FINISH:**
HORIZONTAL HARD PLANK SIDING
RAIN SCREEN DIAPHRAM
TYVEK HOUSE WRAP
1/2" PLYWOOD SHEATHING
2" X 6" S.P.F. #2 STUDS @ 16" O/C
R-24 (6.5" THK) ECO-TOUCH PINK FIBERGLASS INSULATION
6 MIL POLY AIR / VAPOUR BARRIER
1/2" GYPSUM WALLBOARD
- INTERIOR WALL (LOAD BEARING):**
1/2" GYPSUM WALL BOARD EACH SIDE
2" X 4" STUDS @ 16" O/C
- INTERIOR WALL (NON-LOAD BEARING):**
1/2" GYPSUM WALL BOARD EACH SIDE
2" X 4" STUDS @ 24" O/C
- GARAGE WALL & CEILING PARTITION:**
2" X 6" S.P.F. #2 WALL STUDS @ 16" O/C
R-24 (6.5" THK) ECO-TOUCH PINK FIBERGLASS INSULATION
2" X 10" #2 S.P.F. FLOOR JOISTS @ 16" O/C
R-24 (6.5" THK) ECO-TOUCH PINK FIBERGLASS INSULATION
6 MIL POLY AIR / VAPOUR BARRIER
5/8" TYPE 'X' FIRE-RATED G.W.B.
TAPERED & STAGGERED @ JOINTS
- UPPER FLOOR SYSTEM:**
FLOOR FINISH AS SPECIFIED
3/4" PLYWOOD T & G SHEATHING
GLUED & SCREWED
2" X 10" #2 S.P.F. FLOOR JOISTS @ 16" O/C
5/8" CEILING G.W.B.
- STAIRS MAIN TO UPPER:**
10' 0" 3/4" FLOOR TO FLOOR
128.75" FLOOR TO FLOOR
17 RISERS @ 7 1/8" (1.574")
16 TREADS @ 10" C/W 1" NOSING
- INTERIOR FOUNDATION:**
2" X 4" S.P.F. #2 STUDS @ 16" O/C
1/2" DIA. ANCHOR BOLTS @ 8" O/C
6" CONCRETE FOUNDATION WALL
C/W 1 - 10M BAR CONT.
16" X 8" CONCRETE FOOTINGS
C/W 2 - 10M BAR CONT.
UNDISTURBED STABLE BEARING
- INTERIOR FOUNDATION:**
2" X 6" S.P.F. #2 STUDS @ 16" O/C
1/2" DIA. ANCHOR BOLTS @ 8" O/C
8" CONCRETE FOUNDATION WALL
C/W 1 - 10M BAR CONT.
16" X 8" CONCRETE FOOTINGS
C/W 2 - 10M BAR CONT.
UNDISTURBED STABLE BEARING
- EXTERIOR FOUNDATION:**
2 COATS ASPHALT EMULSION
1/2" DIA. ANCHOR BOLTS @ 8" O/C
8" CONCRETE FOUNDATION WALL
C/W 1 - 10M BAR CONT.
2-1/2" R-12 RIGID INSULATION
16" X 8" CONCRETE FOOTINGS
C/W 2 - 10M BAR CONT.
UNDISTURBED STABLE BEARING
- CONCRETE GARAGE SLAB:**
4" CONCRETE SLAB C/W @ 25 MPa
15M REBAR @ 16" O/C E.W.
6 MIL POLY AIR / VAPOUR BARRIER
2-1/2" R-12 RIGID INSULATION
MIN. 12" COMPACTED GRANULAR FILL
- FLOOR SLAB ON GRADE:**
3-1/2" CONCRETE FLOOR SLAB @ 25 MPa
C/W 10'10" 6" X 6" WELDED WIRE MESH
6 MIL POLY AIR / VAPOUR BARRIER
2-1/2" R-12 RIGID INSULATION
MIN. 6" COMPACTED GRANULAR FILL
- PATIO & ENTRY SLAB:**
4" CONCRETE (STAMPED)
C/W 6" X 6" WELDED WIRE MESH
ON MIN. 6" COMPACTED FILL
- DRAINAGE:**
4" DIA. PERIMETER DRAIN TILE
3" DIA. ROOF DRAIN
MIN. 6" DRAIN ROCK COVER

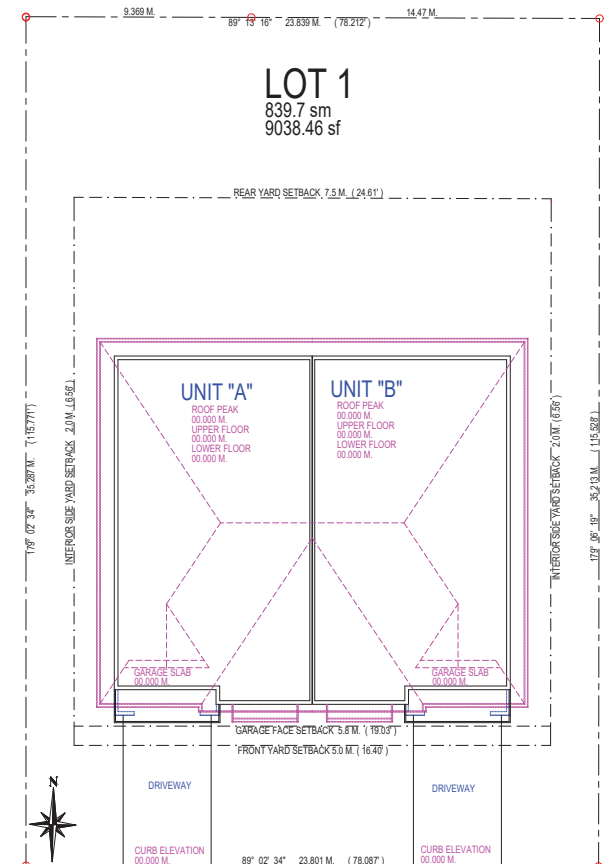
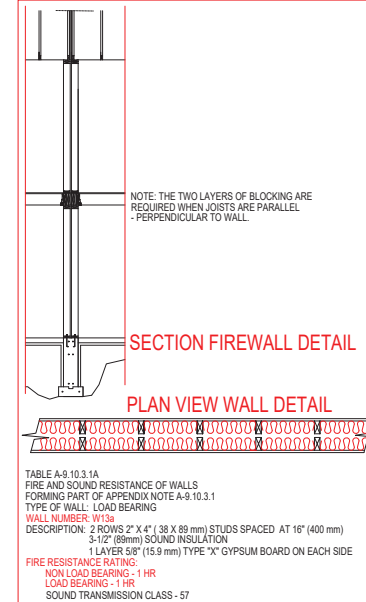
LOT 1 SKINNER ROAD

GREG MITCHELL RESIDENTIAL DESIGNS #108 - 211 MCKINDRY ROAD DUNCAN B.C. V9L 2L3 PHONE: 250.761.6215 CELL: 250.713.5501 E-MAIL: greg@residentialdesigns.ca GREG MITCHELL	PROJECT: JOGA DEVELOPMENTS LTD LOT 1 SKINNER ROAD DUNCAN B.C. JOGA MANU CELL: 1-779-317-7161 E-MAIL: notorderman@gmail.com
	DRAWING TITLE: SECTIONS & NOTES
DATE: 04.09.2021	SCALE: 1/4" = 1'-0" UNLESS OTHERWISE SPECIFIED
SHEET: 4 OF 5	FOLLOW GIVEN DIMENSIONS



FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

FIRE SEPERATION DETAILS



SITE PLAN
1/8" = 1'-0"

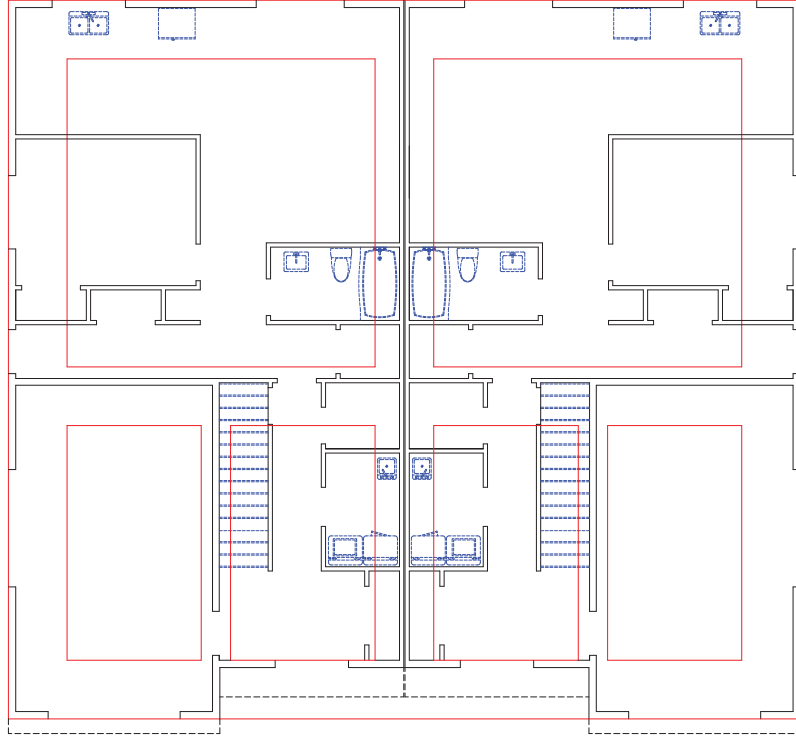
SKINNER ROAD

Municipality of North Cowichan	Lot Area: 9,389.7 m ² 9,038.46 sf	AREAS: UNIT "A" 1,181.60 SF UNIT "B" 1,181.60 SF GARAGE: 654.06 SF LOWER FLOOR: 654.06 SF UPPER FLOOR: 654.06 SF TOTAL: 4,781.98 SF
Civic Address: Skinner Road	Donorly (FSR) Allowed Proposed	
Duncan B.C.	% 00.00 00.00	
P.T.D.: 03-1-32-1-003	sq. metres 419.85 1,000.00	
	sq. feet 4519.23 10,763.96	
Legal Description:	Lot Coverage: Allowed Proposed	
Lot: 1	% 30.00 00.00	
Plan: EPP 105017	sq. metres 251.91 1,000.00	
Section: 20	sq. feet 2711.54 6,986.86	
Range: 4		
District: Quamichan	Height: Allowed Proposed	
Zoning: R - 3	5.00 m 6.680m	
Residential 18.2 Family Zone	28.57' 28.57'	

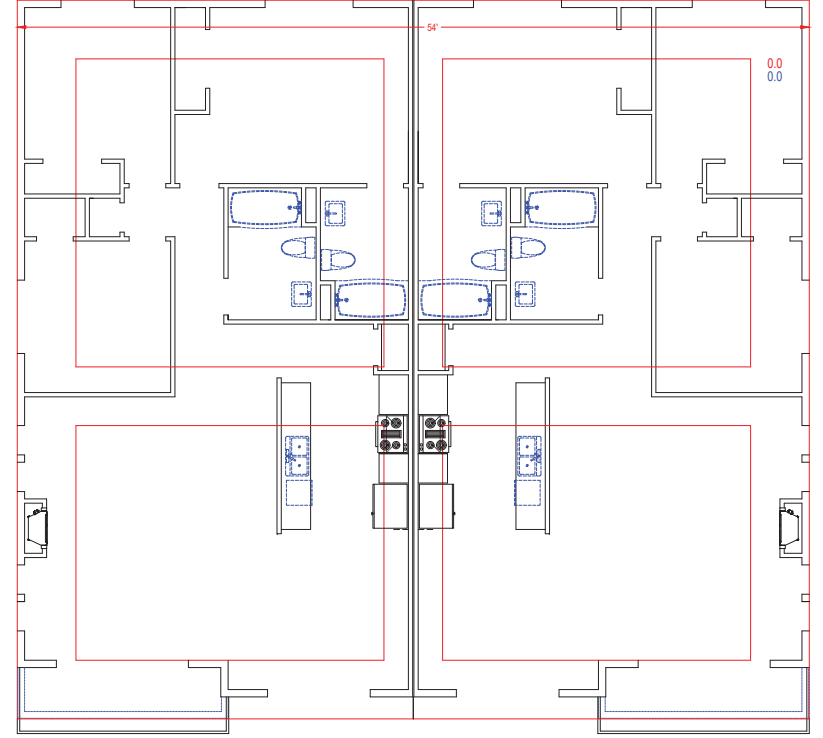
LOT 1 SKINNER ROAD

GREG MITCHELL RESIDENTIAL DESIGNS #108 - 211 MCINDUSTY ROAD DUNCAN B.C. V9L 2L3 PHONE: 250.761.4215 CELL: 250.761.4215 E-MAIL: greg@gregmitchell.com	JOGA DEVELOPMENTS LTD LOT 1 SKINNER ROAD DUNCAN B.C. JOGA MANU/CELL: 1-779-317-7141 E-MAIL: notinder.mani@gmail.com
SITE PLAN & FOUNDATION PLAN	
DATE: 04.09.2021	SCALE: 1/4" = 1'-0"
1 OF 5	

- NOTES:
- ALL CONSTRUCTION TO COMPLY WITH CURRENT N.B.C. AND B.C.B.C.
 - CONSTRUCTION TO COMPLY WITH MUNICIPALITY OF NORTH COWICHAN ZONING BYLAWS AND REGULATIONS.
 - BUILDER TO CHECK AND BE RESPONSIBLE FOR ALL GRADES, LEVELS, DIMENSIONS, AND STRUCTURAL ADEQUACY.
 - LUMBER - #2 OR BETTER DOUGLAS FIR, #3 WHERE PERMITTED.
 - LINTELS - 2"X10" EXCEPT WHERE NOTED OTHERWISE.
 - ALL SMOKE DETECTORS TO BE INTERCONNECTED AND WIRED TO 110 VOLT.
 - CONTRACTOR TO CONFIRM LOCATION AND SIZES OF CRAWL SPACE & ATTIC SPACE ACCESS HATCHES.



LOWER FLOOR BRACED
WALL BAND AND PANEL PLAN
SCALE: 1/4" - 10"



UPPER FLOOR BRACED
WALL BAND AND PANEL PLAN
SCALE: 1/4" - 10"



BRACED WALL BANDS

SHADING INDICATES BRACED WALL BANDS.
FRAMER NOTE: PROVIDE SOLID BLOCKING BETWEEN JOISTS UNDER EVERY BRACED WALL PANEL TO PROVIDE FASTENING OF BOTTOM SILL PLATE TO FLOOR JOISTS, RIM JOISTS, AND SOLID BLOCKING. ALL WORK TO CONFORM TO 9.23.3.4.

NAILING OF FRAMING: FASTENED WITH 3-1/2" MIN. GALV. SPIRAL NAILS @ 6" O.C. ONLY NEEDED UNDER AND OVER LENGTH OF BRACED WALL PANEL.



WOOD BASED BRACED WALL PANEL

CROSS HATCHING INDICATES LENGTH OF BRACED WALL PANELS.
EXTERIOR / INTERIOR WALL SHEATHED "ONE SIDE" WITH PLYWOOD, O.S.B., WAFFERBOARD, OR DIAGONAL LUMBER SHEATHING FASTENED WITH 2-1/2" MIN. GALV. SPIRAL NAILS @ 6" O.C.

NAIL ALONG EDGES AND SEAMS @ 3" O.C.

ALONG INTERMEDIATE SUPPORTS @ 6" O.C.

GYPSUM BASED BRACED WALL PANEL

SOLID HATCHING INDICATES LENGTH OF BRACED WALL PANELS.

INTERIOR WALL SHEATHED "BOTH SIDES" WITH 1/2" DRYWALL FASTENED WITH DRYWALL SCREWS @ 12" O.C.

FASTEN ALONG EDGES AND SEAMS @ 6" O.C.

ALONG INTERMEDIATE SUPPORTS @ 6" O.C.

INTERIOR WALL STUDS SPACED @ 16" O.C.

MATERIALS IN BRACED WALL PANELS:

- 1) REQUIRED BRACED WALL PANELS SHALL BE:
 - a) CLAD WITH PANEL-TYPE CLADDING COMPLYING WITH SECTION 9.27 AND TABLE 9.23.3.4.
 - b) SHEATHED WITH PLYWOOD, O.S.B., WAFFERBOARD, OR DIAGONAL LUMBER SHEATHING COMPLYING WITH SUBSECTION 9.23.16 AND TABLE 9.23.13.6, AND FASTENED IN ACCORDANCE WITH ARTICLE 9.23.3.5, OR
 - c) FINISHED ON THE INTERIOR WITH A PANEL TYPE MATERIAL IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 9.28 AND TABLE 9.23.13.6.

ANCHORAGE OF BRACED WALL PANEL FRAMES SHALL BE PROVIDED BY FASTENING THE SILL PLATE TO 3" NAILS AT 6" O.C. TO SOLID 2X10" BLOCKING BETWEEN JOISTS AT PANEL LOCATIONS ONLY.

TRADE OFF: BACK GARAGE WALL:

ADDITIONAL BRACED WALL HERE
CROSS HATCHING INDICATES BRACED WALL PANELS
THIS INTERIOR WALL SHEATHED "ONE SIDE" WITH PLYWOOD, O.S.B., WAFFERBOARD, OR DIAGONAL LUMBER SHEATHING FASTENED WITH 2-1/2" MIN. GALV. SPIRAL NAILS @ 6" O.C.
NAIL ALONG EDGES AND SEAMS @ 3" O.C.
ALONG INTERMEDIATE SUPPORTS @ 6" O.C.
FURR OUT ADJACENT STUDS SO DRYWALL IS FLUSH.

TRADE OFF: 9.23.13.7.

TO INCREASE ALLOWABLE DISTANCE BETWEEN BRACED WALL BANDS

ADDITIONAL BRACED WALL HERE
CROSS HATCHING INDICATES BRACED WALL PANELS
THIS INTERIOR WALL SHEATHED "ONE SIDE" WITH PLYWOOD, O.S.B., WAFFERBOARD, OR DIAGONAL LUMBER SHEATHING FASTENED WITH 2-1/2" MIN. GALV. SPIRAL NAILS @ 6" O.C.
NAIL ALONG EDGES AND SEAMS @ 3" O.C.
ALONG INTERMEDIATE SUPPORTS @ 6" O.C.
FURR OUT ADJACENT STUDS SO DRYWALL IS FLUSH.
FASTEN IN ACCORDANCE WITH ARTICLE 9.23.13.7.5(a) IN CONFORMANCE WITH 9.23.13.6.2) AND 9.23.13.6.3(a) & (b).

BRACED WALL BAND AND PANEL NOTES:

FOUNDATION LEVEL BRACED WALL PANELS:
ANCHORED TO CONCRETE WITH EITHER:
5/8" ANCHOR BOLTS @ 8'0" (MAX.)
OR 1/2" ANCHOR BOLTS @ 9'6" (MAX.).
ANCHOR BOLTS MUST BE LOCATED NO FURTHER THAN 18" FROM END OF ANY FOUNDATION SUPPORTING A REQUIRED BRACED WALL PANEL.

FRAMING CONNECTIONS WITHIN BRACED WALL PANELS:
SILL PLATES (BOLTED TO FOUNDATION WALLS), AND RIM JOISTS / TRIMMER JOISTS / BOX JOISTS, AS WELL AS INTERIOR AND EXTERIOR FRAMED WALL TOP AND BOTTOM PLATES MUST BE THROU NAILED OR TOE NAILED TO THEIR CONNECTING STRUCTURES WITH A MINIMUM OF 3-1/4" SPIKES SPACED MAX. 6" APART.

BRACED WALL PANEL AND ROOF SHEATHING:

EXTERIOR:
BRACED WALL PANELS AND ROOFS MUST BE SHEATHED WITH OSB OR PLYWOOD NAILED OFF WITH 2-1/2" NAILS SPACED MAX. 6" APART AROUND ALL EDGES AND 12" APART IN THE MAIN SHEET.
NOMINAL 3/4" RESAWN LUMBER IS ACCEPTABLE IF APPLIED DIAGONALLY AND NAILED OFF WITH 2-1/2" NAILS - 3 PER STUD.
SPECIFIED BRACED WALL PANELS WILL HAVE THESE NAILING PATTERNS TIGHTENED UP TO 1/2 THESE DISTANCES BETWEEN NAILS.

INTERIOR:
BRACED WALL PANELS WITH STUDS 16" O/C CAN BE DRYWALLED WITH 1/2" BOARD. STUDS 24" O/C REQUIRE 5/8" BOARD.
WITH A MINIMUM OF 3-1/4" SPIKES SPACED MAX. 6" APART.
ALL BOARD MUST BE FASTENED WITH EITHER SCREWS AT LEAST 1-1/2" LONG SPACED MAX. 12" APART OR NAILS AT LEAST 1-1/2" LONG SPACED MAX. 8" APART.
SOME SPECIFIED INTERIOR BRACED WALL PANELS MUST HAVE PLYWOOD OR OSB UNDER THE DRYWALL.

HIGH SEISMIC REGION
STANDARD PROVISIONS
CLOSER BRACED WALL BAND SPACING
NO HEAVY CONSTRUCTION
 $1.1 < S_h(0.2) \leq 1.2$
LOCATION: DUNCAN
ELEV. 10 M.
SNOW LOAD: KPA $S_s = -1.8$ $S_s = -0.4$
1 / 50 WIND - 0.39
SEISMIC DATA: $S_h(0.2) = 1.1$

LOT 1 SKINNER ROAD

<p>GREG MITCHELL RESIDENTIAL DESIGNS #108 - 211 MCINDUSTRY ROAD DUNCAN B.C. V9L 2L3 PHONE: 250.761.0215 CELL: 250.713.4502 E-MAIL: greg@gregmitchell.com © GREG MITCHELL</p>	<p>DESIGNED BY: GREG MITCHELL FOR JOGA DEVELOPMENTS LTD LOT 1 SKINNER ROAD DUNCAN B.C. JOGA MAIN CELL: 1-278-317-7161 E-MAIL: mitchender.mcg@gmail.com</p>	
	<p>DATE: 04.09.2021</p>	
	<p>SCALE: 1/4" = 10"</p>	
	<p>3 OF 5</p>	

Joga Developments Ltd

3353 & 3355 Skinner Rd.

General Specifications

Note: depending on the stage of construction the Buyer will have the opportunity to choose their preferences and finishes with the approval of the Seller.

The developer reserves the right to modify or change plans and specifications without notice. All Construction as per BC Building Code and Municipal Bylaws

Foundation

Building layout/establish property lines/utilities
Excavation for building site & underground services
Approved granular fill
Form, pour and strip footings & foundation walls
Seal foundation exterior
Install perimeter drain tile and downspout drainage
Backfill foundation, driveway & services
Pour & finish concrete floors

Framing

2"x10" floor joists with approved bridging or bracing
5/8" flooring glued and nailed
Exterior walls will be 2"x6" on 16" centers with 7/16" sheathing
Interior walls will be 2"x4" on 16" centers
Wood or manufactured beams as required
Engineered roof trusses, 7/16" sheathing with clips

Exterior Finish

PVC Low E double-pane windows as per plan
Hardiplank and/or Hardiboard siding & stone
Aluminum continuous eaves trough, soffits & downpipes.
35 year warranty fiberglass shingles
Exposed aggregate driveway & walkways
Deck with vinyl decking

Mechanical

Gas hot water
High-efficiency electric heat pump and gas forced air furnace
All ventilation ducting for hoodfan, bath fans & dryer
Gas fireplace

Electrical

200 amp service panel
Designer electrical fixture package and pot lights
Decora switches & plugs
Prewiring and plumbing for dishwasher
Smoke detectors, dehumidistats and fans as required

Insulation

As per code, R20 walls and R40 ceiling
6 mil poly, continuous seal on all.

Cabinets

Quality shaker cabinet doors with plywood boxes/quartz countertops

Flooring

To be determined - quality flooring in a mix of engineered hardwood, tile, carpet & vinyl

Interior Finishing

Walls & trim primed & painted w 2 coats of quality interior latex paint.

5" baseboard and 3 1/4" casings painted

Designer closet shelves, rods, hardware

Designer towel bars & paper holders

Mirrors in all bathrooms

Plumbing

Designer kitchen & bathroom fixtures & taps

Additional Expenses Included

Stove, Fridge, Dishwasher

Building permit

Site survey

Course of construction insurance policy

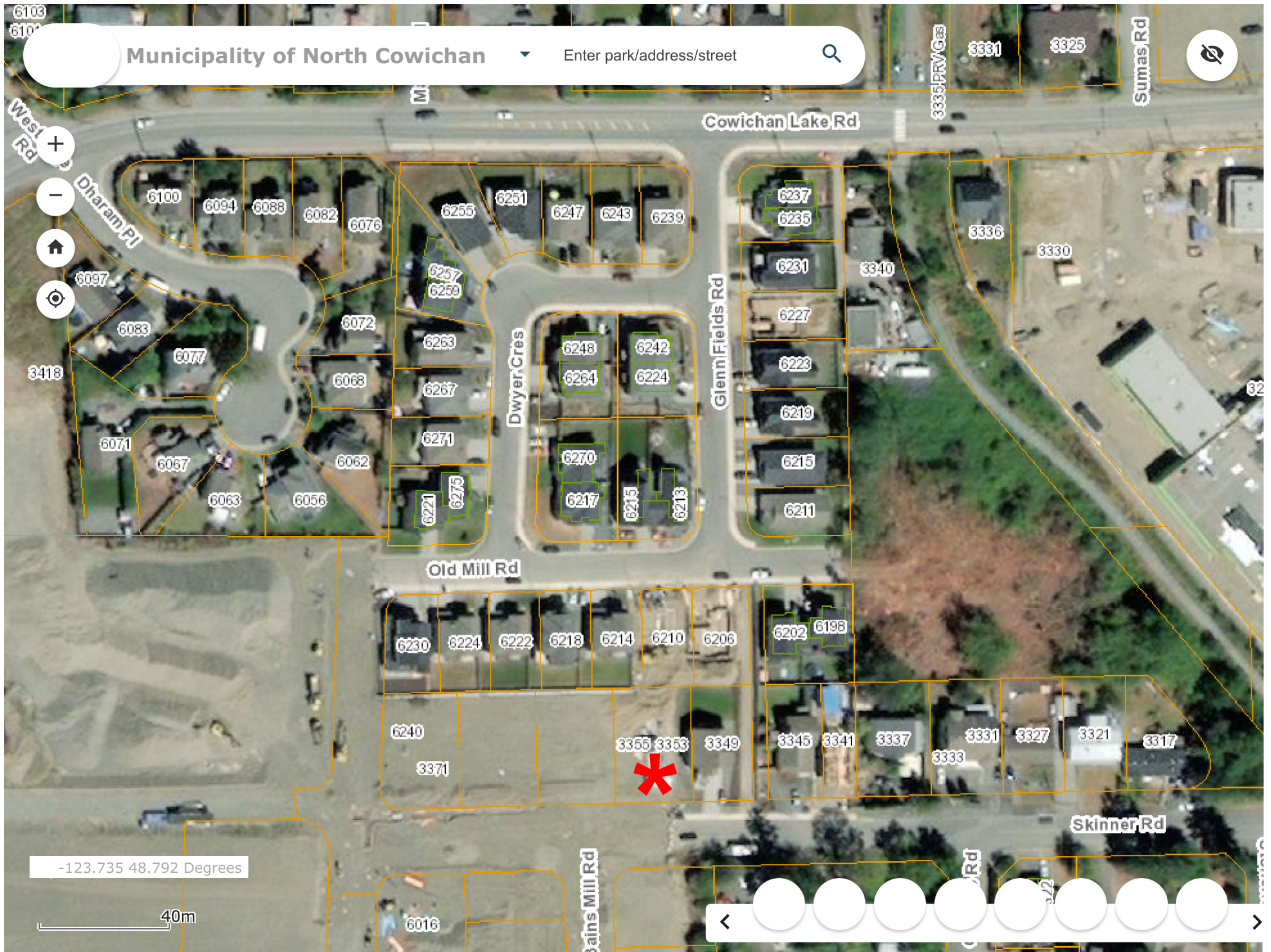
TEN YEAR NEW HOME WARRANTY

Construction financing to completion

Basic landscaping

Municipality of North Cowichan

Enter park/address/street



-123.735 48.792 Degrees

40m

Subdivision Plan of:

- Lot 1, Except Plans 42560, EPP78417 and EPP94593;
- Part of Lot 5, Except That Part in Plans 8190 and EPP72314;
- Both of Block 1, Section 20, Range 4, Quamichan District, Plan 1908;
- Part of Lot 3, Section 20, Range 3, Quamichan District, Plan 5595.

Plan EPP105017

BCGS 92B.072

The intended plot size of this plan is 864 mm in width by 559 mm in height (D size) when plotted at a scale of 1:500.

Legend:

Grid Bearings are derived from observations between geodetic control monument #64516 (8028) and #387613 (3656) and are referred to the central meridian of UTM Zone 10.

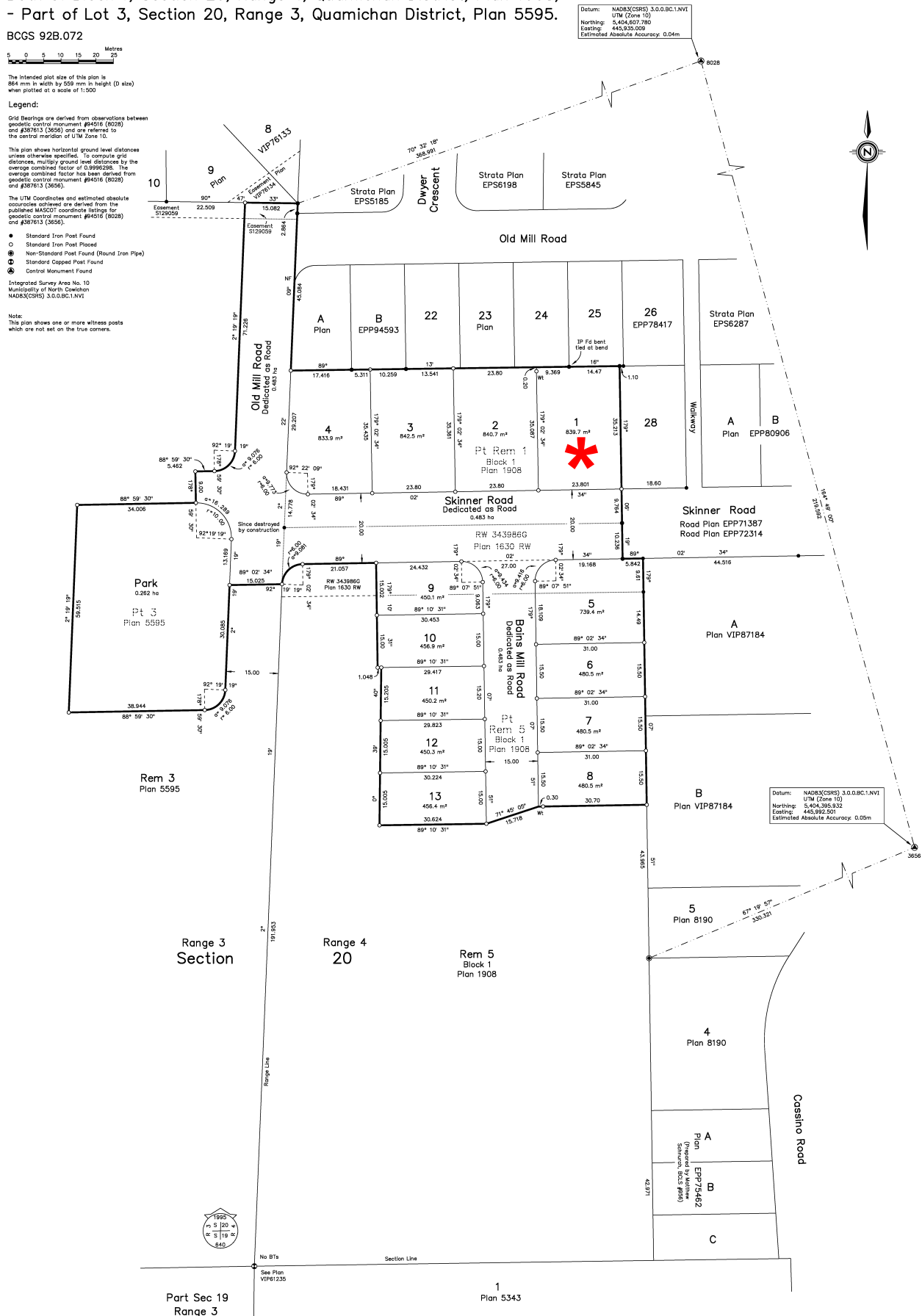
This plan shows horizontal ground level distances unless otherwise specified. To compute grid distances, multiply ground level distances by the average combined factor of 0.99960298. The average combined factor has been derived from geodetic control monument #64516 (8028) and #387613 (3656).

The UTM Coordinates and estimated absolute accuracies achieved are derived from the published MASCOF coordinate listings for geodetic control monument #64516 (8028) and #387613 (3656).

- Standard Iron Post Found
- Standard Iron Post Placed
- Non-Standard Post Found (Round Iron Pipe)
- Standard Capped Post Found
- Control Monument Found

Integrated Survey Area No. 10
Municipality of North Cowichan
NAD83(CSRS) 3.0,0,BC,1,NVT

Note:
This plan shows one or more witness posts which are not set on the true corners.



McIlveney Riley Land Surveying Inc.
#113 - 2244 Sooke Road
Victoria, B.C. V8B 1X1
(250) 474-5538
www.mrls.ca
File: 57925UB_EPP105017-AWG

Section

19

1
Plan 5343

2 Covenants in the name of The Municipality of North Cowichan, pursuant to Section 219 of the Land Title Act, are a condition of approval for this subdivision.

This plan lies within the Jurisdiction of the approving officer for the Municipality of North Cowichan

This plan lies within the Cowichan Valley Regional District.

The field survey represented by this plan was completed on the 21st day of January, 2021
Joseph S. Hodley, BCLS #925