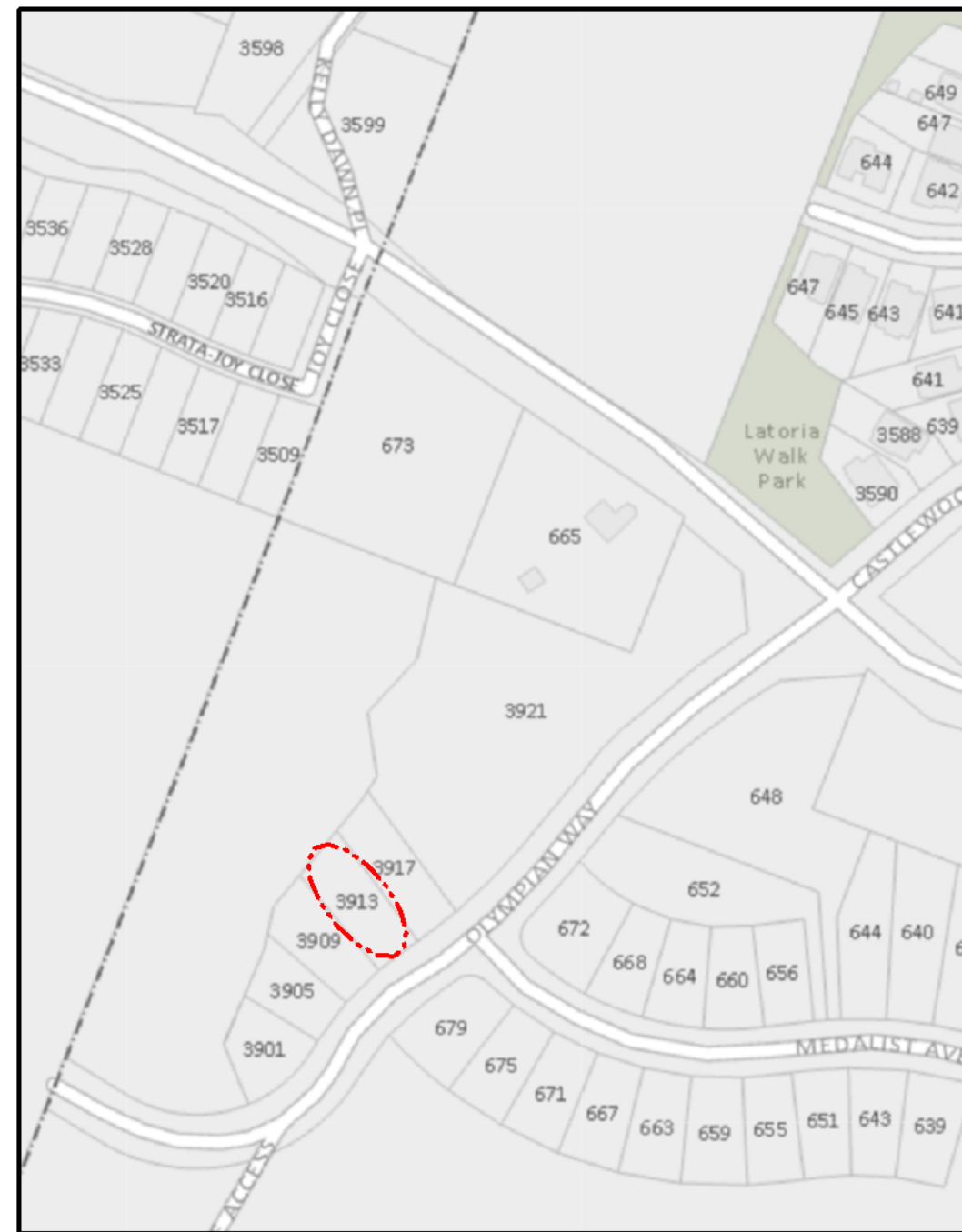


NEW CUSTOM HOME: Lot 18 Olympic View

COLWOOD, BC

KEY PLAN:



CD-2 ZONING ANALYSIS:

LOT AREA:	944.5m ²	
FLOOR ELEVATIONS:	MAIN FLOOR: 82.40m SECOND FLOOR: 85.80m GARAGE SLAB: 82.25m	
AVERAGE GRADE:	82.24m	
F.S.R.:	ALLOWABLE 0.40 (377.8m ²)	PROPOSED 0.34 (320.0m ²)
GROSS FLOOR AREA:	ALLOWABLE MAIN FLOOR: 127.9m ² SECOND FLOOR: 131.6m ² GARAGE: 0.0m ² (47.0m ² -50.0m ²) SUITE: 60.5m ² TOTAL: 320.0m ²	PROPOSED 127.9m ² 131.6m ² 0.0m ² (47.0m ² -50.0m ²) 60.5m ² 320.0m ²
LOT COVERAGE:	ALLOWABLE HOUSE: 40.0% (377.8m ²)	PROPOSED 23.2% (218.7m ²)
HEIGHT:	ALLOWABLE HOUSE: 9.00m	PROPOSED 7.79m
SETBACKS:	ALLOWABLE FRONT (SE): 4.50m REAR (NW): 4.50m SIDE (NE): 1.50m SIDE (SW): 1.50m	PROPOSED 4.50m 24.48m 1.72m 3.30m

PROJECT INFORMATION:

SITE ADDRESS: 3913 OLYMPIAN WAY,
COLWOOD, BC.
LOT 18, PLAN EPP101740,
SECTION 60, LAND DISTRICT 21
PID: 031-260-080

SCOPE OF WORK:

CONSTRUCTION OF A NEW SINGLE FAMILY DWELLING

PROJECT DIRECTORY:

DESIGNER: HOYT DESIGN CO.
250.999.9893
HELLO@HOYT.CO

GENERAL CONTRACTOR: STORY CONSTRUCTION LTD.
250.386.3396

STRUCTURAL ENGINEER: TBD

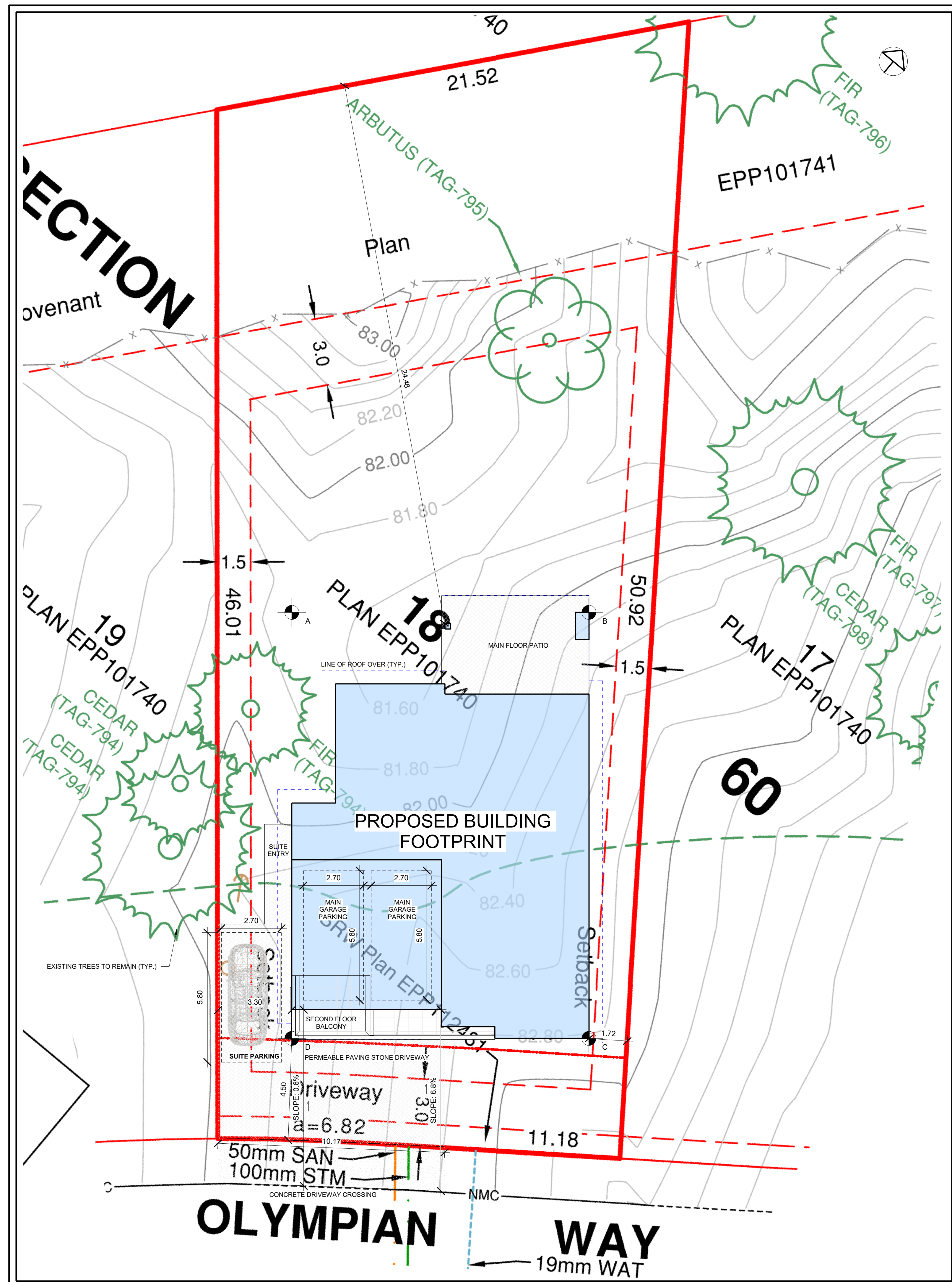
SURVEYOR: GEOVERRA
250.342.9767

SHEET INDEX:

- A0.0 SITE PLAN & ZONING ANALYSIS
- A1.1 FOUNDATION & ROOF PLAN
- A1.2 FLOOR PLANS
- A2.1 ELEVATIONS
- A2.2 ELEVATIONS
- A3.1 SECTIONS & DETAILS
- A4.1 DETAILS
- A5.1 PERSPECTIVES

AVERAGE NATURAL GRADE CALC.	
POINT	ELEVATION (HOUSE)
A	81.74m
B	82.14m
C	82.83m
D	82.25m
TOTAL	328.96 / 4 = 82.24m

- SERVICE CONNECTIONS:**
- HDC IS NOT RESPONSIBLE FOR THE DESIGN AND/OR LOCATION OF SERVICE CONNECTIONS. IT IS THE RESPONSIBILITY OF THE OWNER / CONTRACTOR, PRIOR TO CONSTRUCTION TO:
 - PHYSICALLY LOCATE ALL STORM & SEWER CONNECTIONS FOR THE SITE
 - CONFIRM INVERT / CONNECTION ELEVATIONS FOR THE STORM AND SEWER SYSTEMS
 - ENSURE THAT BUILDING ELEVATIONS (ALL FLOORS, CRAWLSPACE AND/OR
 - DESIGN OF PUMPED DRAINAGE SYSTEMS (WHERE NECESSARY) TO BE BY OTHER
 - COMMENCEMENT OF CONSTRUCTION OR ANY PART THEREOF CONSTITUTES ACCEPTANCE OF THE DRAWINGS, ACCEPTANCE OF THE SITE CONDITIONS, AND MEANS DIMENSIONS AND ELEVATIONS HAVE BEEN CONSIDERED, VERIFIED, AND ARE ACCEPTABLE



201-5325 Cordova Bay Road
Victoria, BC V8Y 2L3
250.999.9893
hello@hoyt.co | www.hoyt.co

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PROJECT

Lot 18 Olympic View

202189

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Site Plan & Zoning Analysis

A0.0

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PROJECT

Lot 18 Olympic View

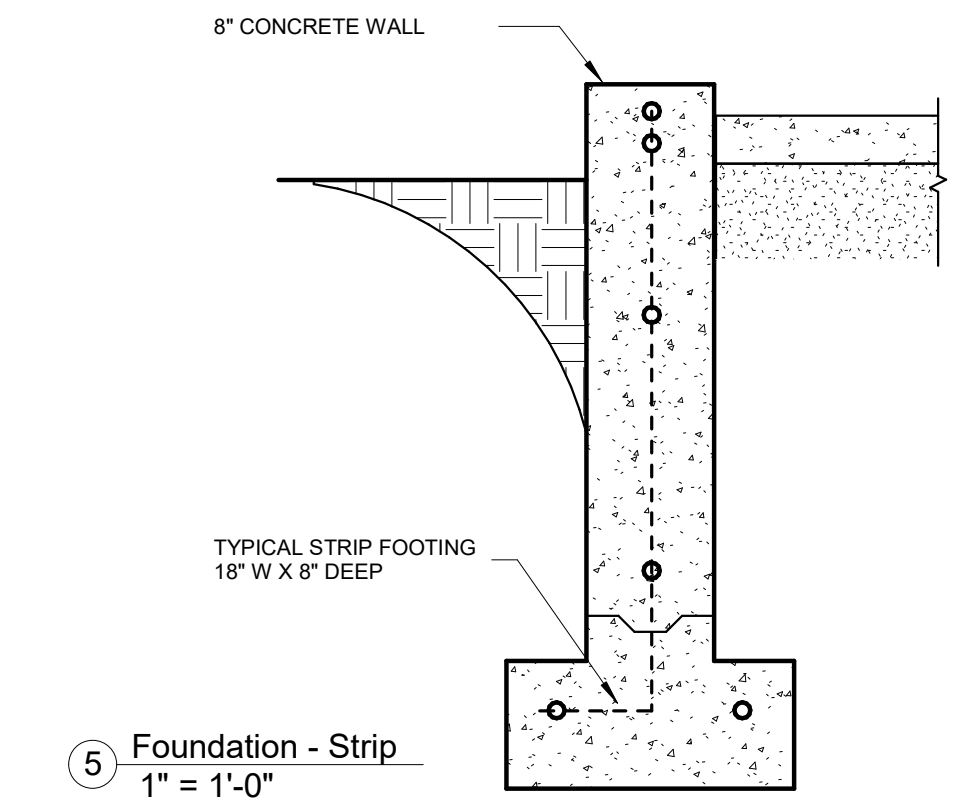
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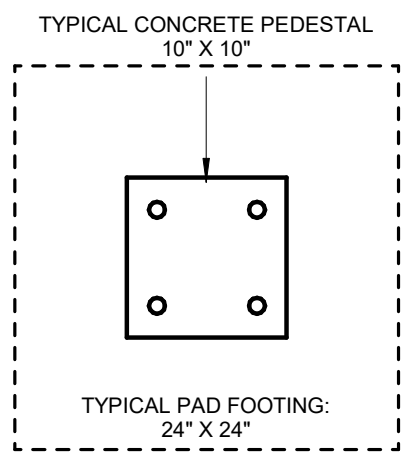
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Foundation & Roof Plan

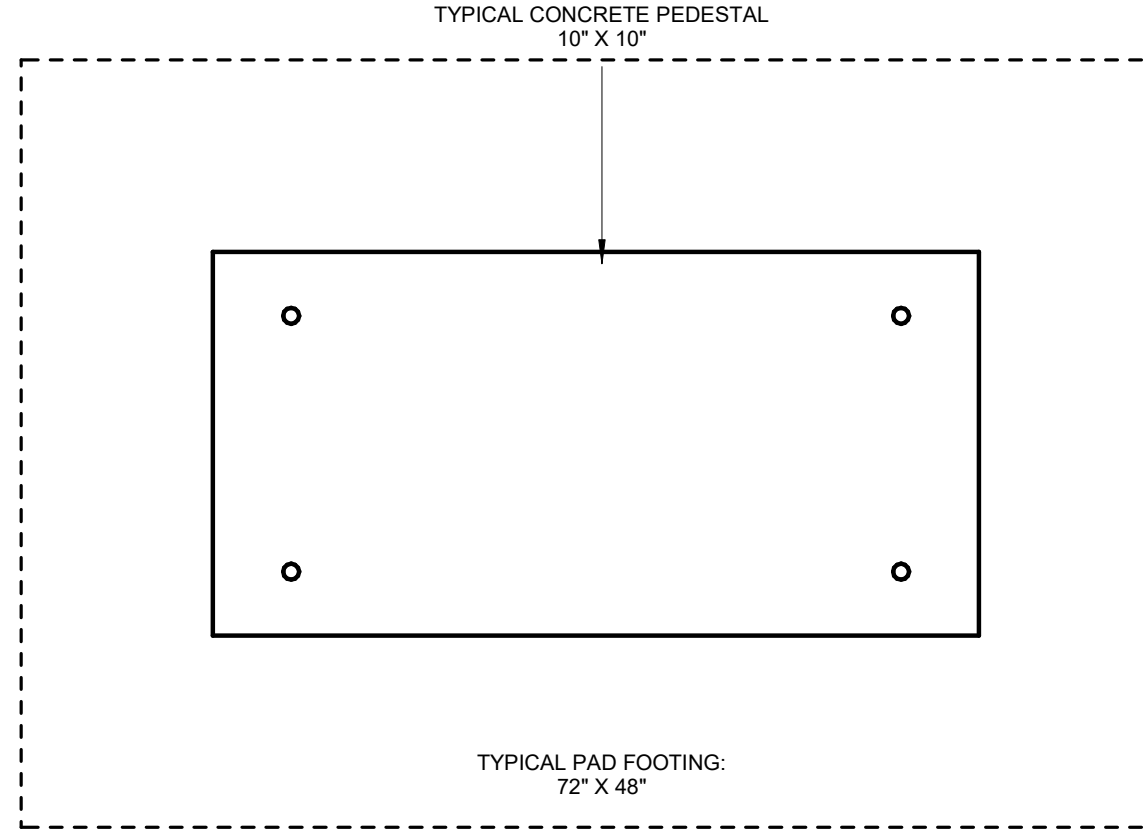
A1.1



⑤ Foundation - Strip
1" = 1'-0"



③ Foundation - Pad (PF1)
1" = 1'-0"

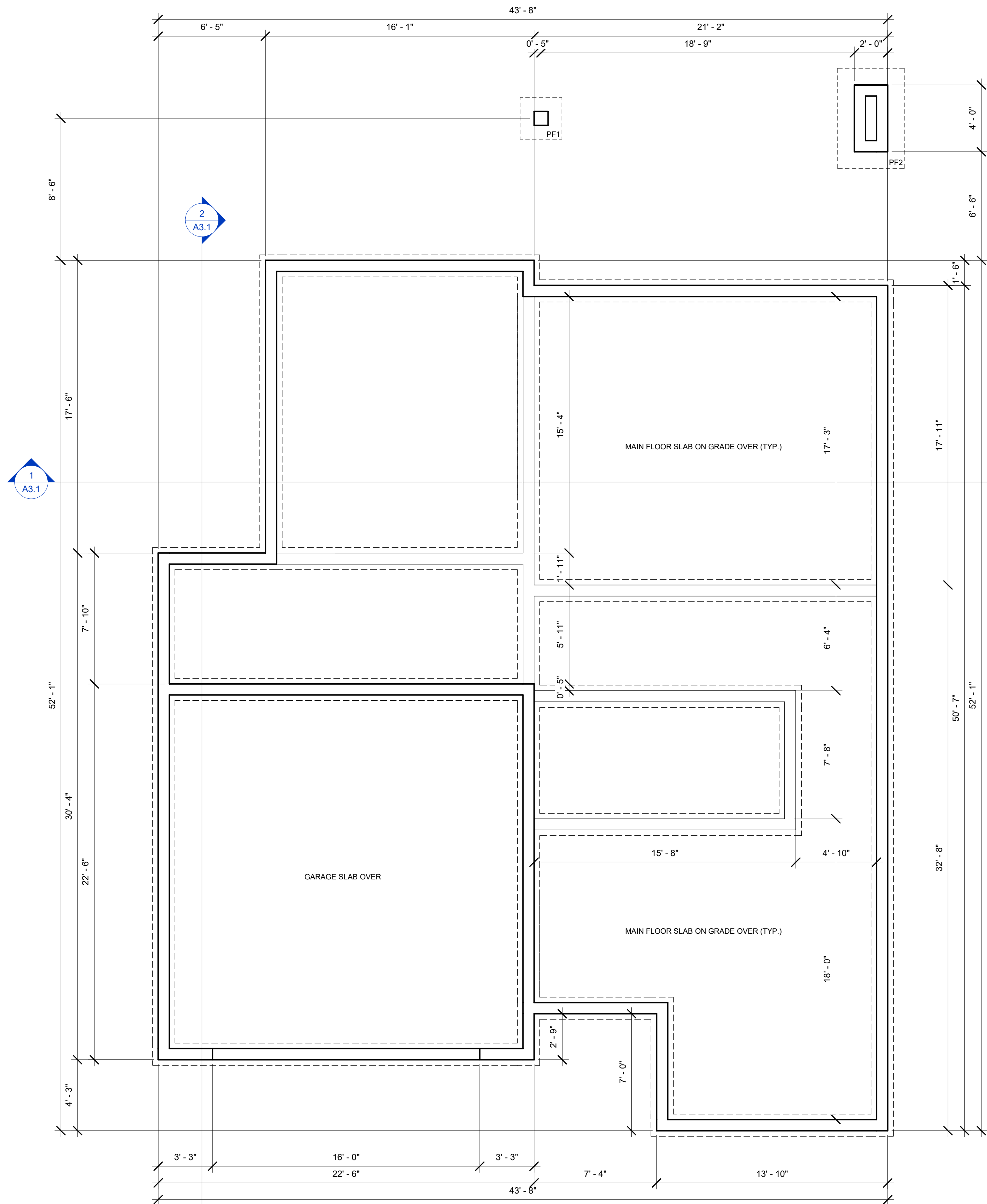


④ Foundation - Pad (PF2)
1" = 1'-0"

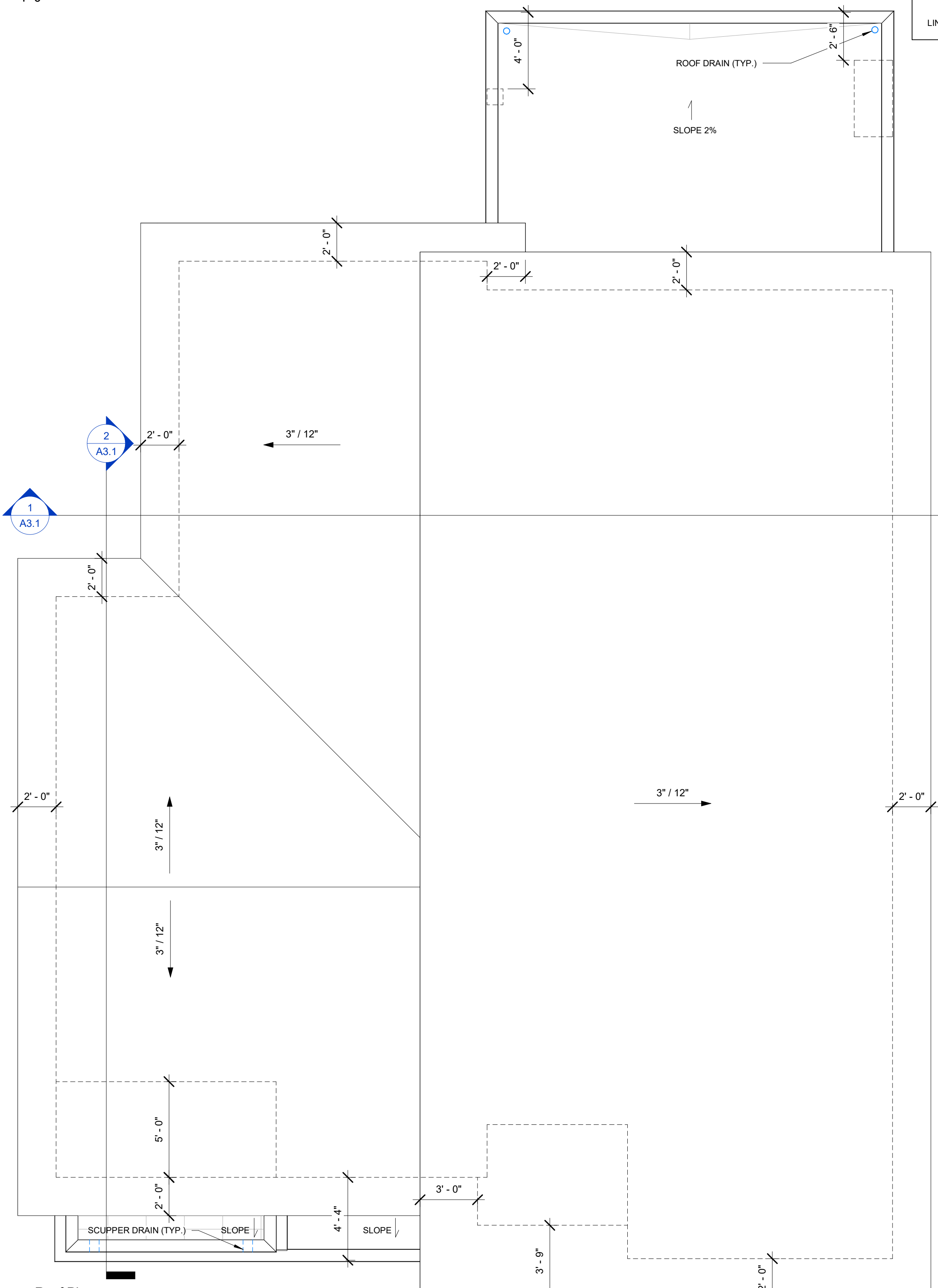
- FRAMING NOTES:**
- ALL FRAMING TO BE IN ACCORDANCE WITH THE 2018 BC BUILDING CODE
 - ALL LUMBER TO BE SPF#2 OR BETTER UNLESS NOTED OTHERWISE
 - ALL EXTERIOR WALL AND ROOF SHEATHING TO BE 1/2" STANDARD FIR PLYWOOD UNLESS NOTED OTHERWISE
 - ALL EXPOSED EXTERIOR POSTS TO BE 6X6 MIN.
 - ALL LINTELS TO BE 2X10 U.N.O.
 - ALL CONCRETE TO BE MINIMUM 25MPa AT 28 DAYS
 - ALL INTERIOR DOORS TO PROVIDE MIN. 2-STUDS E/S AT JAMB FRAMING
 - TYPICAL DOOR / WINDOW HEAD HEIGHT:
MAIN FLOOR: 8'
SECOND FLOOR: SEE ELEVATION
 - ALL EXPOSED EXTERIOR FRAMING TO BE PRESERVATIVE TREATED LUMBER; FIELD TREAT ALL CUTS
 - DESIGN LOADS:
COLWOOD: S_s: 2.3kPa
S_r: 0.3kPa

PLAN LEGEND

WALL	
FIRE-RATED WALL	
ROOF OVER	
FLOOR OVER	
DECK OVER	
WALL BELOW	
POST	
FLUSH BEAM OVER	
DROP BEAM OVER	
GIRDER TRUSS OVER	
SIC DETECTOR	
DOOR SIZE	
WINDOW SIZE	
JOIST SPAN DIRECTION	
LINE OF INTERIOR VAULT	



② Foundation
1/4" = 1'-0"



① Roof Plan
1/4" = 1'-0"

FLOOR AREA

MAIN FLOOR:	1377 SF
SECOND FLOOR:	1416 SF
TOTAL LIVING SPACE:	2793 SF
SUITE:	651 SF
GARAGE:	506 SF
TOTAL BUILDING SF:	3950 SF

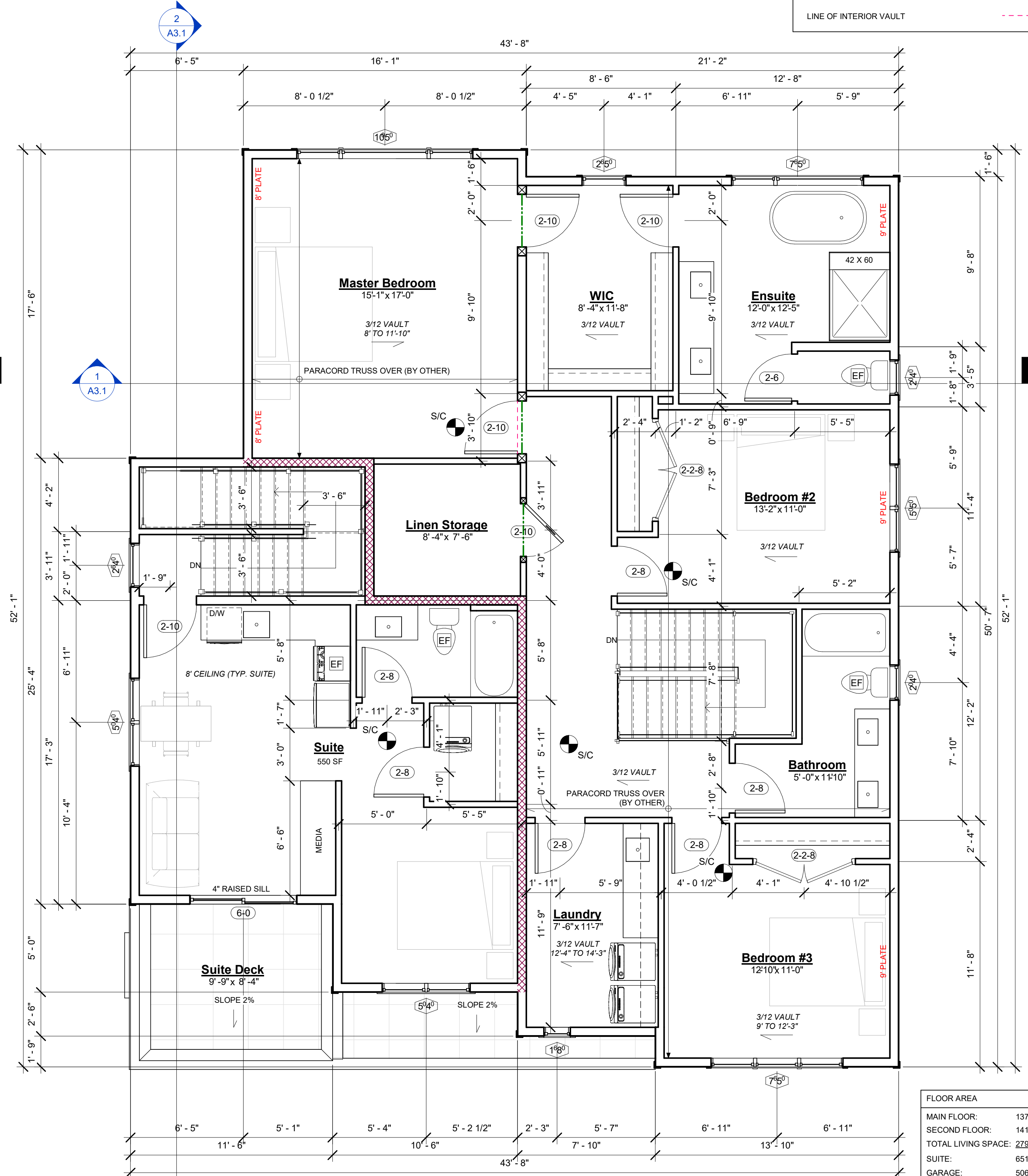
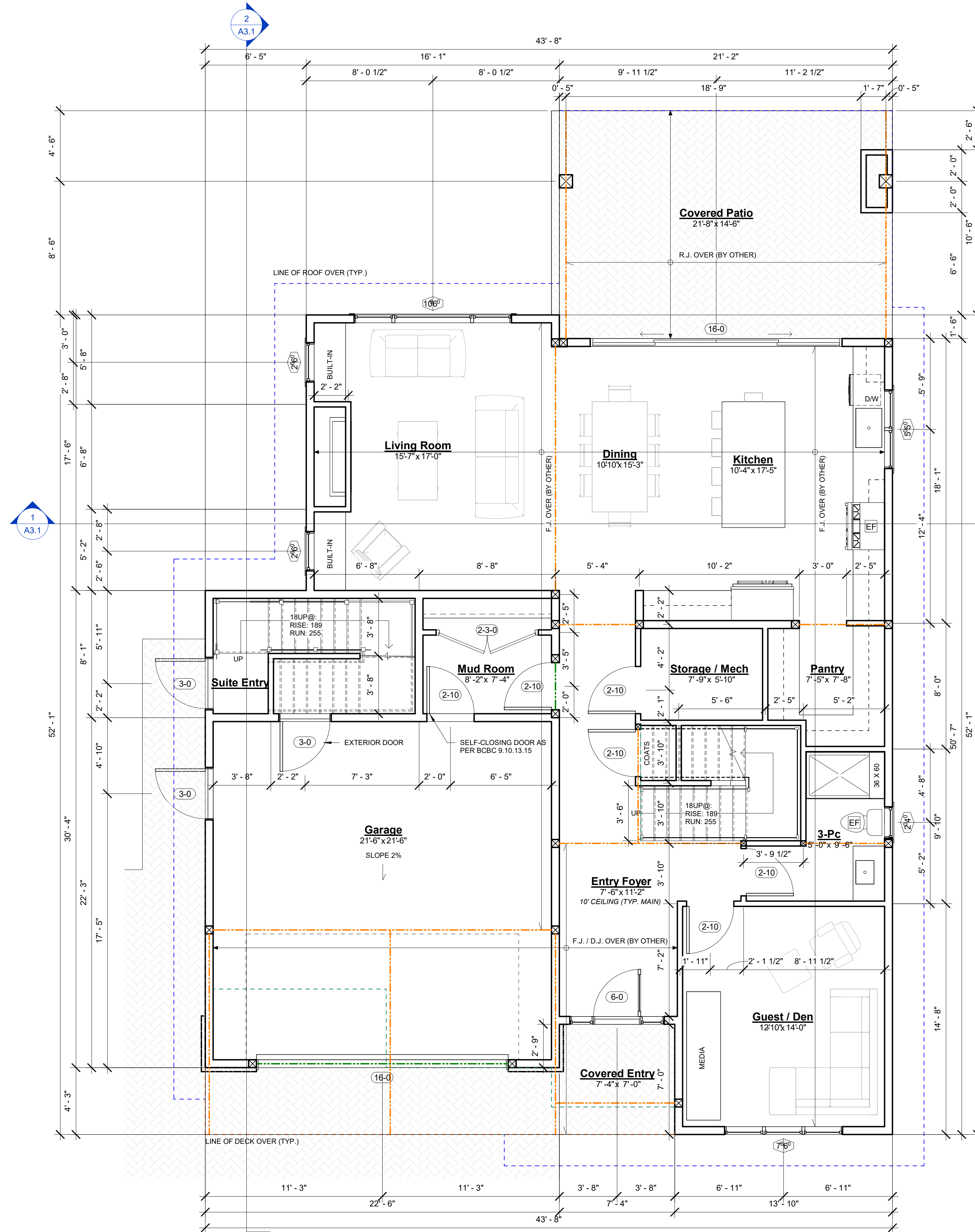
DRAWING SCALE: 1/4" = 1'-0" ALL MEASUREMENTS ARE IN FEET



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 - DESIGN LOADS:
COLWOOD: S: 2.3kPa
Sr: 0.3kPa

- PLAN LEGEND**
- WALL
 - FIRE-RATED WALL
 - ROOF OVER
 - FLOOR OVER
 - DECK OVER
 - WALL BELOW
 - POST
 - FLUSH BEAM OVER
 - DROP BEAM OVER
 - GIRDER TRUSS OVER
 - SIC DETECTOR
 - DOOR SIZE
 - WINDOW SIZE
 - JOIST SPAN DIRECTION
 - LINE OF INTERIOR VAULT

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FLOOR AREA

MAIN FLOOR:	1377 SF
SECOND FLOOR:	1416 SF
TOTAL LIVING SPACE:	2793 SF
SUITE:	651 SF
GARAGE:	906 SF
TOTAL BUILDING SF:	3950 SF

DRAWING SCALE: 1/4" = 1'-0" ALL MEASUREMENTS ARE IN FEET



Lot 18 Olympic View
202189

PROJECT

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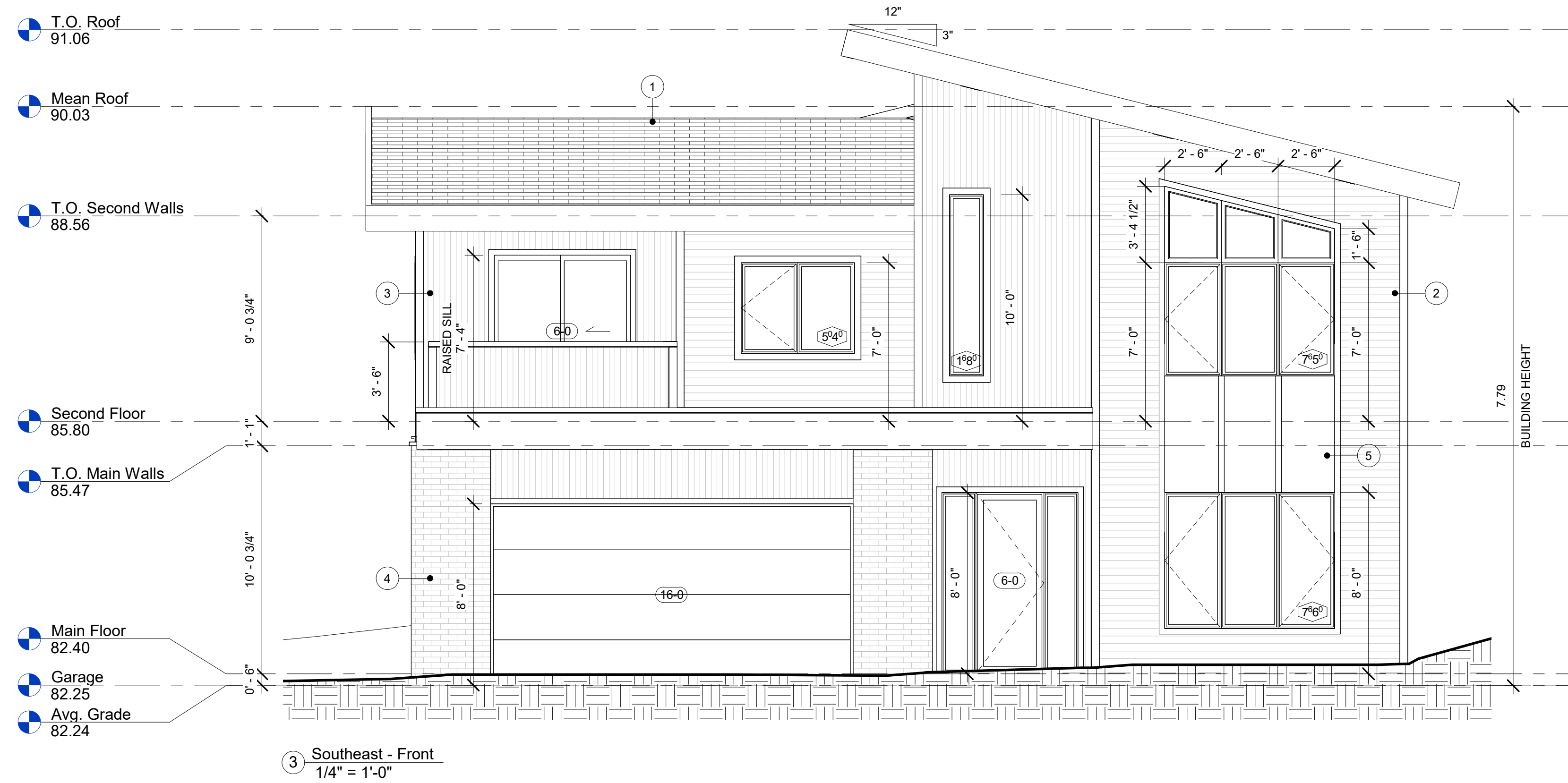
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Floor Plans

A1.2

PLAN LEGEND	
WALL	
FIRE-RATED WALL	
ROOF OVER	
FLOOR OVER	
DECK OVER	
WALL BELOW	
POST	
FLUSH BEAM OVER	
DROP BEAM OVER	
GIRDER TRUSS OVER	
SIC DETECTOR	
DOOR SIZE	
WINDOW SIZE	
JOIST SPAN DIRECTION	
LINE OF INTERIOR VAULT	

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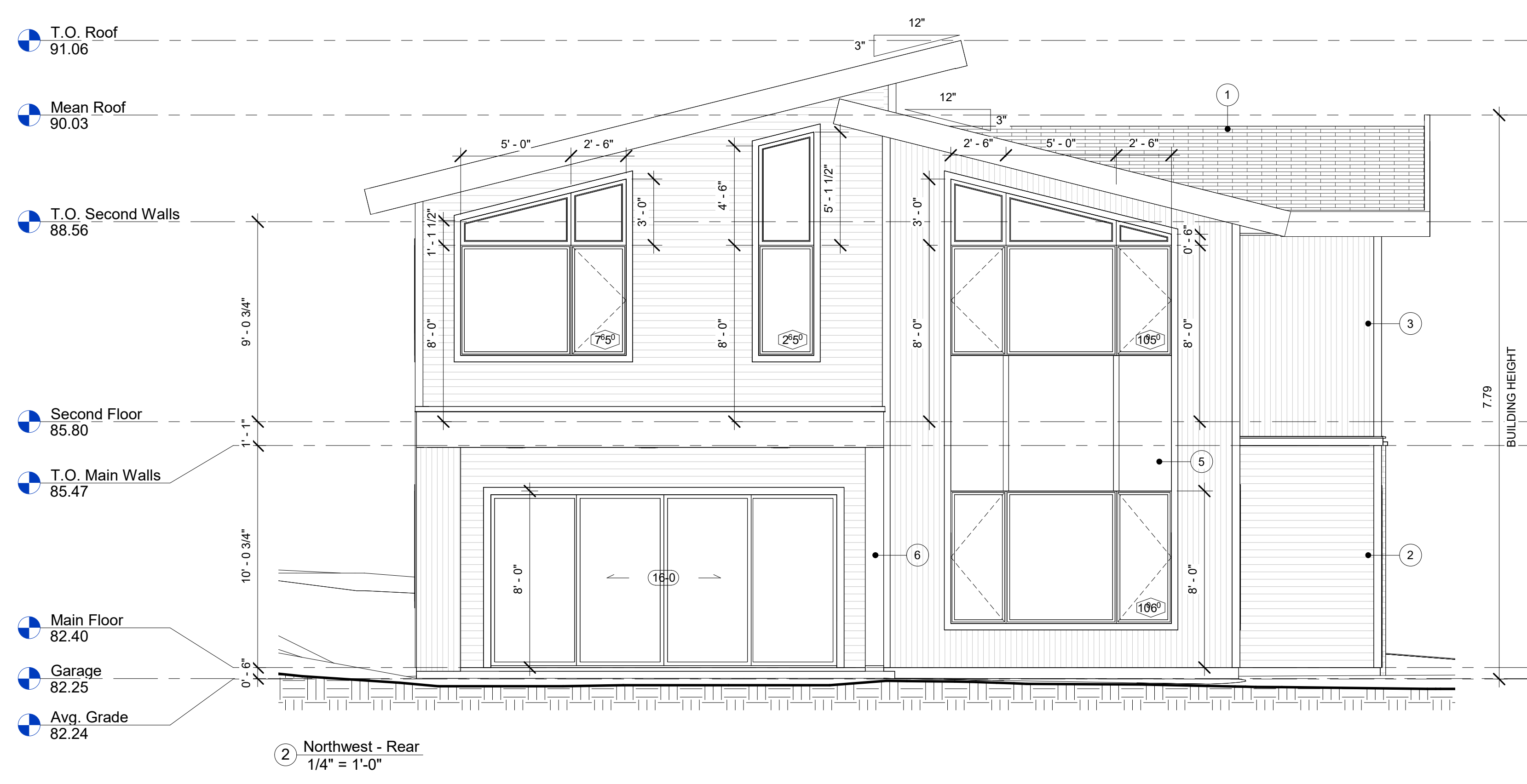


SOUTHEAST ELEVATION SPACIAL SEPARATION	
AREA OF EXPOSING BUILDING FACE:	87.6m ²
LIMITING DISTANCE:	4.50m
PERCENTAGE OF GLAZED AREA ALLOWABLE:	22.0%
AREA OF GLAZED OPENINGS ALLOWABLE:	19.3m ² (87.6m ² x 0.22)
AREA OF GLAZED OPENINGS PROPOSED:	18.6m ²
PERCENTAGE OF GLAZED AREA PROPOSED:	21.2%

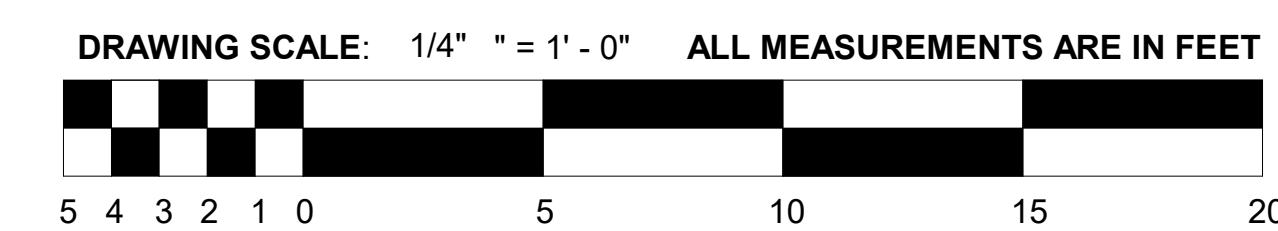
ELEVATION NOTES LEGEND	
①	ASPHALT SHINGLE ROOFING
②	FIBRE CEMENT LAP SIDING
③	CORRUGATED METAL
④	STONE VENEER
⑤	FIBRE CEMENT PANEL
⑥	10"x10" TIMBER POST

EXTERIOR FINISH NOTES	
SOFFIT:	TYPICAL EAVE: VENTED ALUMINUM OR VINYL
	GABLE EAVE: VENTED ALUMINUM OR VINYL
	U/S OF DECK: VENTED ALUMINUM OR VINYL
	U/S OF FLOOR: VENTED ALUMINUM OR VINYL
GUTTERS:	5" CONTINUOUS ALUMINUM C/W 4" X 3" ALUMINUM DOWNPIPE
FASCIA BOARDS:	HIDDEN GUTTER
BARGEBOARD:	2X14 PAINTED COMB FACE SPF
CORNER BOARDS:	1X4 PAINTED COMB FACE SPF
WINDOW TRIM:	2X4 PAINTED COMB FACE SPF TOP AND SIDES
DOOR TRIMS:	2X4 PAINTED COMB FACE SPF TOP AND SIDES

NORTHWEST ELEVATION SPACIAL SEPARATION	
AREA OF EXPOSING BUILDING FACE:	87.9m ²
LIMITING DISTANCE:	24.48m
PERCENTAGE OF GLAZED AREA ALLOWABLE:	N/A
AREA OF GLAZED OPENINGS ALLOWABLE:	N/A
AREA OF GLAZED OPENINGS PROPOSED:	N/A
PERCENTAGE OF GLAZED AREA PROPOSED:	N/A



FLOOR AREA	
MAIN FLOOR:	1377 SF
SECOND FLOOR:	1416 SF
TOTAL LIVING SPACE:	2793 SF
SUITE:	651 SF
GARAGE:	506 SF
TOTAL BUILDING SF:	3950 SF



PROJECT

Lot 18 Olympic View

202189

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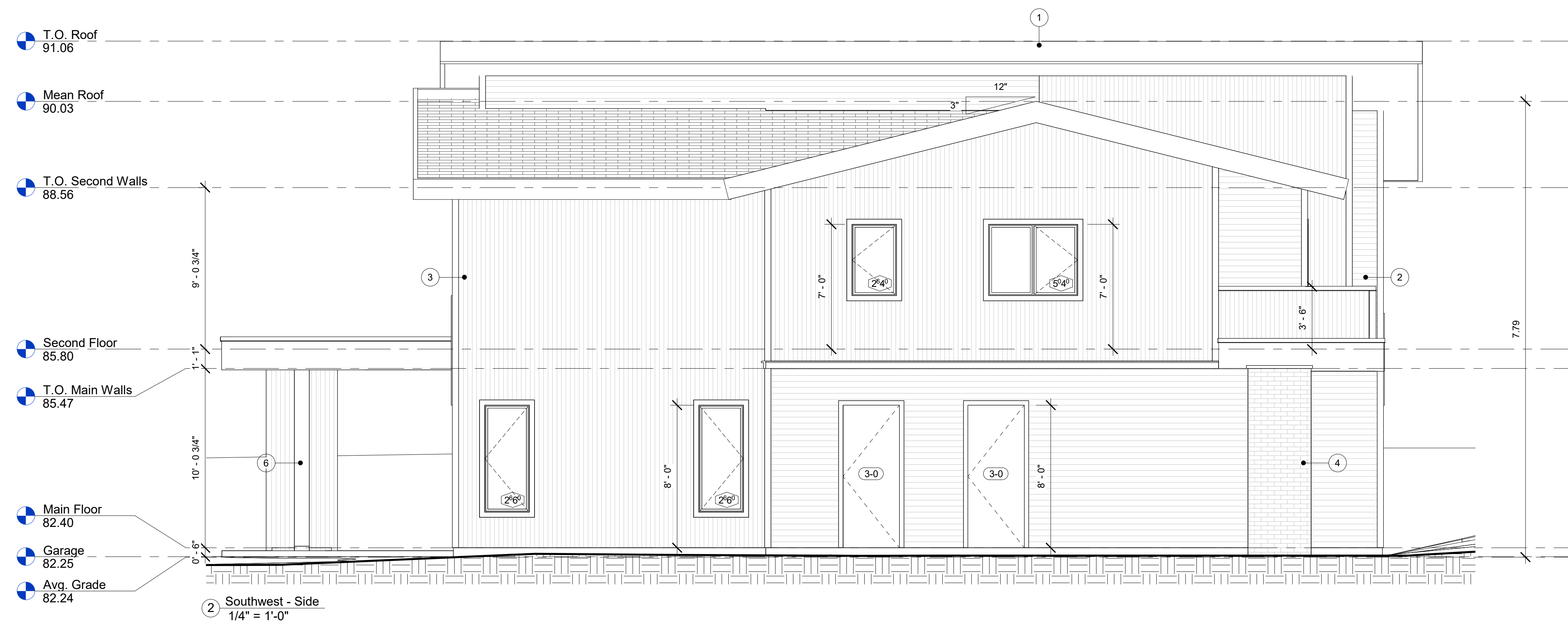
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Elevations

A2.1

PLAN LEGEND	
WALL	
FIRE-RATED WALL	
ROOF OVER	
FLOOR OVER	
DECK OVER	
WALL BELOW	
POST	
FLUSH BEAM OVER	
DROP BEAM OVER	
GIRDER TRUSS OVER	
SIC DETECTOR	
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WINDOW SIZE	
JOIST SPAN DIRECTION	
LINE OF INTERIOR VAULT	

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2 Southwest - Side
1/4" = 1'-0"

SOUTHWEST ELEVATION SPACIAL SEPARATION	
AREA OF EXPOSING BUILDING FACE:	122.0m2
LIMITING DISTANCE:	3.30m
PERCENTAGE OF GLAZED AREA ALLOWABLE:	10.0%
AREA OF GLAZED OPENINGS ALLOWABLE:	12.2m2 (122.0m2*0.30)
AREA OF GLAZED OPENINGS PROPOSED:	5.6m2
PERCENTAGE OF GLAZED AREA PROPOSED:	4.6%

ELEVATION NOTES LEGEND	
1	ASPHALT SHINGLE ROOFING
2	FIBRE CEMENT LAP SIDING
3	CORRUGATED METAL
4	STONE VENEER
5	FIBRE CEMENT PANEL
6	10"x10" TIMBER POST

EXTERIOR FINISH NOTES	
SOFFIT:	TYPICAL EAVE: VENTED ALUMINUM OR VINYL
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BARGEBOARD:	2X14 PAINTED COMB FACE SPF
CORNER BOARDS:	1X4 PAINTED COMB FACE SPF
WINDOW TRIM:	2X4 PAINTED COMB FACE SPF TOP AND SIDES
DOOR TRIMS:	2X4 PAINTED COMB FACE SPF TOP AND SIDES

NORTHEAST ELEVATION SPACIAL SEPARATION	
AREA OF EXPOSING BUILDING FACE:	98.0m2
LIMITING DISTANCE:	1.72m
PERCENTAGE OF GLAZED AREA ALLOWABLE:	8.0%
AREA OF GLAZED OPENINGS ALLOWABLE:	7.84m2 (98.0m2*0.08)
AREA OF GLAZED OPENINGS PROPOSED:	6.9m2
PERCENTAGE OF GLAZED AREA PROPOSED:	7.0%



1 Northeast - Side
1/4" = 1'-0"

FLOOR AREA	
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SECOND FLOOR:	1416 SF
TOTAL LIVING SPACE:	2793 SF
SUITE:	651 SF
GARAGE:	906 SF
TOTAL BUILDING SF:	3950 SF

DRAWING SCALE: 1/4" = 1'-0" ALL MEASUREMENTS ARE IN FEET



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Elevations

A2.2

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BCBC 9.32 COMPLIANCE

HEATING SYSTEM
HEAT PUMP & AIR HANDLER

VENTILATION REQUIREMENTS

KITCHEN AND BATHROOM FANS
IN ACCORDANCE WITH 9.32.3.6:

KITCHEN:	INTERMITTENT	CONTINUOUS
BATHROOM:	47LS	N/A
	23LS	9LS

PRINCIPAL VENTILATION SYSTEM SUPPLY AIR (9.32.3.4)
DUCTED SUPPLY AIR SYSTEM
PROVIDE SUPPLY AIR TO EACH BEDROOM AND EACH FLOOR LEVEL WITHOUT A BEDROOM

PRINCIPAL VENTILATION SYSTEM EXHAUST FAN (9.32.3.5)

TOTAL FLOOR AREA:	259.5m ²
NUMBER OF BEDROOMS:	5
PRINCIPAL EXHAUST FAN MINIMUM AIR-FLOW RATE PER 9.32.3.4:	35.0L/S

PRINCIPAL VENTILATION SYSTEM EXHAUST FAN:
3 PC. BATHROOM FAN

SUITE VENTILATION SYSTEM EXHAUST FAN (9.32.3.5)

TOTAL FLOOR AREA:	60.5m ²
NUMBER OF BEDROOMS:	1
PRINCIPAL EXHAUST FAN MINIMUM AIR-FLOW RATE PER 9.32.3.4:	14.0L/S

PRINCIPAL VENTILATION SYSTEM EXHAUST FAN:
BATHROOM FAN

SUITE HEATING SYSTEM:
ELECTRIC BASEBOARD

NAFS SPECIFICATIONS

PERFORMANCE GRADE:	62
STRUCTURAL:	1920 Pa
WATER:	360 Pa
AIR:	A2

BCBC 9.36

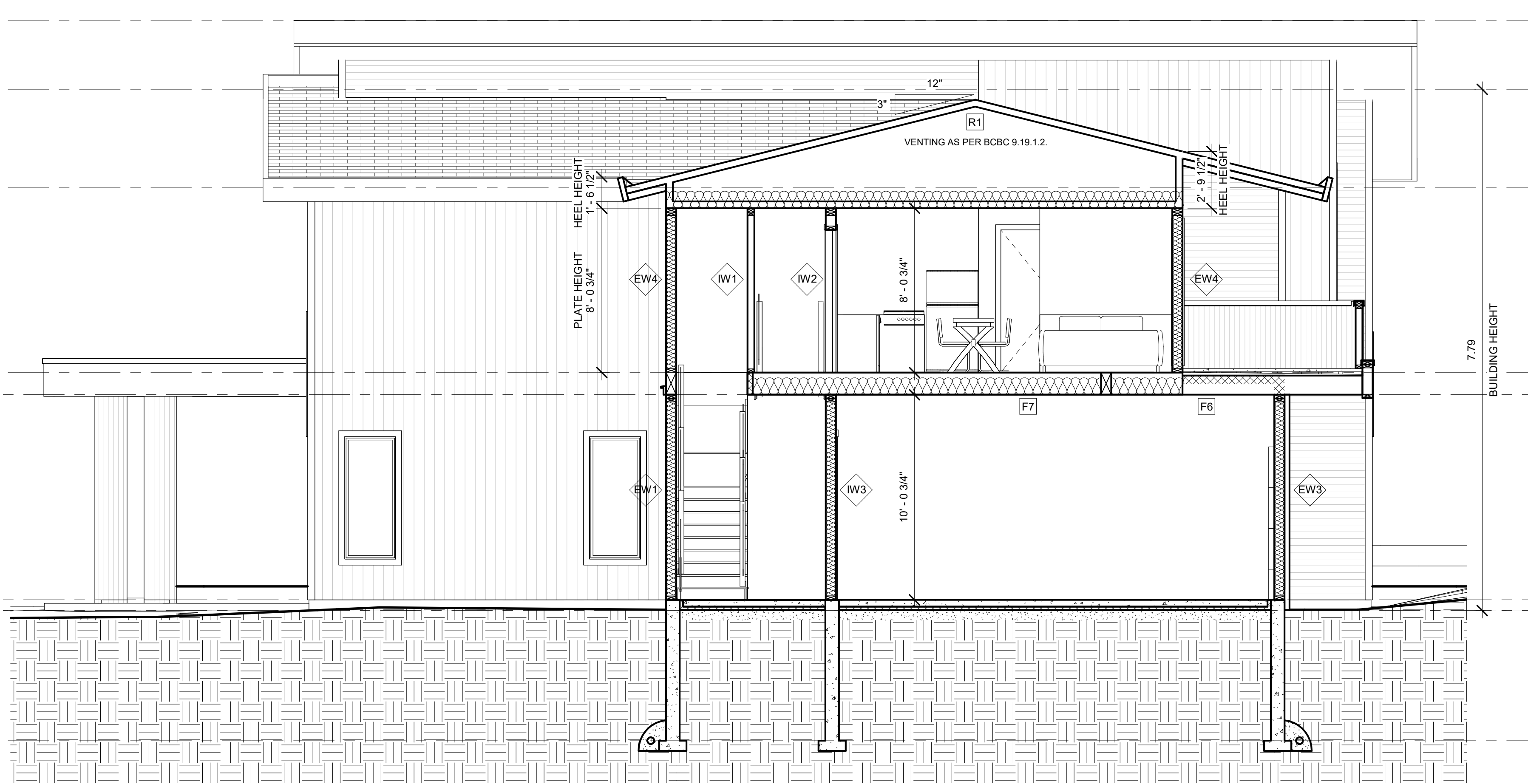
MAXIMUM U-VALUE FOR FENESTRATION:	1.31 W/(m ² *K)
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FRAMING NOTES:

- ALL FRAMING TO BE IN ACCORDANCE WITH THE 2018 BC BUILDING CODE
- ALL LUMBER TO BE SPF#2 OR BETTER UNLESS NOTED OTHERWISE
- ALL EXTERIOR WALL AND ROOF SHEATHING TO BE 1/2" STANDARD FIR PLYWOOD UNLESS NOTED OTHERWISE
- ALL EXPOSED EXTERIOR POSTS TO BE 6X6 MIN.
- ALL UNTELS TO BE 2-PLY 2X10 U.O.D.
- ALL INTERIOR DOORS TO PROVIDE MIN. 2-STUDS E/S AT JAMB FRAMING
- TYPICAL DOOR / WINDOW HEAD HEIGHT:
MAIN FLOOR: 8'
SECOND FLOOR: SEE ELEVATION
- ALL EXPOSED EXTERIOR FRAMING TO BE PRESERVATIVE TREATED LUMBER: FIELD TREAT ALL CUTS
- DESIGN LOADS:
COLWOOD: Ss: 2.3kPa
Sr: 0.3kPa

PLAN LEGEND

WALL	
FIRE-RATED WALL	
ROOF OVER	
FLOOR OVER	
DECK OVER	
WALL BELOW	
POST	
FLUSH BEAM OVER	
DROP BEAM OVER	
GIRDER TRUSS OVER	
S/C DETECTOR	
DOOR SIZE	
WINDOW SIZE	
JOIST SPAN DIRECTION	
LINE OF INTERIOR VAULT	



Section B
1/4" = 1'-0"

ASSEMBLY DESCRIPTIONS (REFER TO STEP CODE 3 COMPLIANCE REPORT FOR FULL ASSEMBLY DETAILS)

EXTERIOR WALLS	INTERIOR WALLS	FLOOR SYSTEMS	ROOF SYSTEMS
<p>EW1 EXTERIOR WALL - FIBRE CEMENT LAP SIDING</p> <ol style="list-style-type: none"> EXTERIOR AIR FILM FIBRE CEMENT LAP SIDING 1/2" AIR SPACE (FROM RAINSCREEN) 1/2" P.T. RAINSCREEN STRAPPING @ 8" O/C C/W INSECT SCREEN T&B SYNTHETIC SHEATHING MEMBRANE (A/M BARRIER) 1/2" PLYWOOD SHEATHING R-24 BATT INSULATION 2X6 WALL STUDS @ 16" O/C (SPF #2 OR BETTER) 1/2" GYPSUM WALL BOARD VAPOUR BARRIER PAINT FINISH TO OWNERS SPECIFICATION INTERIOR AIR FILM <p>EW2 EXTERIOR WALL - SHINGLE CLADDING</p> <ol style="list-style-type: none"> EXTERIOR AIR FILM FIBRE CEMENT SHINGLES 1/2" AIR SPACE (FROM RAINSCREEN) 1/2" P.T. RAINSCREEN STRAPPING @ 8" O/C C/W INSECT SCREEN T&B SYNTHETIC SHEATHING MEMBRANE (A/M BARRIER) 1/2" PLYWOOD SHEATHING R-24 BATT INSULATION 2X6 WALL STUDS @ 16" O/C (SPF #2 OR BETTER) 1/2" GYPSUM WALL BOARD VAPOUR BARRIER PAINT FINISH TO OWNERS SPECIFICATION INTERIOR AIR FILM <p>EW3 EXTERIOR WALL - STONE VENEER</p> <ol style="list-style-type: none"> EXTERIOR AIR FILM 2" STONE VENEER SCRATCH & BROWN COAT (PORTLAND CEMENT) STUCCO RITE 1/2" AIR SPACE (FROM RAINSCREEN) 1/2" P.T. RAINSCREEN STRAPPING @ 8" O/C C/W INSECT SCREEN T&B SYNTHETIC SHEATHING MEMBRANE (A/M BARRIER) 1/2" PLYWOOD SHEATHING R-24 BATT INSULATION 2X6 WALL STUDS @ 16" O/C (SPF #2 OR BETTER) 1/2" GYPSUM WALL BOARD VAPOUR BARRIER PAINT FINISH TO OWNERS SPECIFICATION INTERIOR AIR FILM <p>EW4 EXTERIOR WALL - METAL SIDING</p> <ol style="list-style-type: none"> EXTERIOR AIR FILM METAL SIDING 1/2" AIR SPACE (FROM RAINSCREEN) 1/2" P.T. RAINSCREEN STRAPPING @ 8" O/C C/W INSECT SCREEN T&B SYNTHETIC SHEATHING MEMBRANE (A/M BARRIER) 1/2" PLYWOOD SHEATHING R-24 BATT INSULATION 2X6 WALL STUDS @ 16" O/C (SPF #2 OR BETTER) 1/2" GYPSUM WALL BOARD VAPOUR BARRIER PAINT FINISH TO OWNERS SPECIFICATION INTERIOR AIR FILM 	<p>IW1 INTERIOR WALL - 2X4 WALL</p> <ol style="list-style-type: none"> FINISH TO OWNERS SPEC. 1/2" GYPSUM WALL BOARD 2X4 WALL STUDS @ 16" O/C (SPF #2 OR BETTER) 1/2" GYPSUM WALL BOARD FINISH TO OWNERS SPEC. <p>IW2 INTERIOR WALL - 2X6 WALL</p> <ol style="list-style-type: none"> FINISH TO OWNERS SPEC. 1/2" GYPSUM WALL BOARD 2X6 WALL STUDS @ 16" O/C (SPF #2 OR BETTER) 1/2" GYPSUM WALL BOARD FINISH TO OWNERS SPEC. <p>IW3 INTERIOR WALL - 2X6 WALL BETWEEN UNHEATED SPACES</p> <ol style="list-style-type: none"> EXTERIOR AIR FILM 1/2" GYPSUM WALL BOARD 2X6 WALL STUDS @ 16" O/C (SPF #2 OR BETTER) R-24 BATT INSULATION 6mil POLY AV BARRIER 1/2" GYPSUM WALL BOARD INTERIOR AIR FILM <p>IW4 INTERIOR WALL - SUITE PARTY WALL BCBC A-9.10.3.1A W7A (1 HR)</p> <ol style="list-style-type: none"> FINISH TO OWNERS SPEC. 5/8" TYPE X GYPSUM WALL BOARD TWO ROWS 2X4 STUDS @ 16" O/C STAGGERED ON COMMON 2X6 PLATE (ALL SPF #2 OR BETTER) MINERAL WOOL INSULATION 5/8" TYPE X GYPSUM WALL BOARD INTERIOR AIR FILM <p>EW5 EXTERIOR WALL - FIBRE CEMENT PANEL</p> <ol style="list-style-type: none"> EXTERIOR AIR FILM FIBRE CEMENT PANEL 1/2" AIR SPACE (FROM RAINSCREEN) 1/2" P.T. RAINSCREEN STRAPPING @ 8" O/C C/W INSECT SCREEN T&B SYNTHETIC SHEATHING MEMBRANE (A/M BARRIER) 1/2" PLYWOOD SHEATHING R-24 BATT INSULATION 2X6 WALL STUDS @ 16" O/C (SPF #2 OR BETTER) 1/2" GYPSUM WALL BOARD VAPOUR BARRIER PAINT FINISH TO OWNERS SPECIFICATION INTERIOR AIR FILM 	<p>F1 FLOOR - TYPICAL JOIST FLOOR ASSEMBLY</p> <ol style="list-style-type: none"> FLOOR FINISH TO OWNERS SPEC 5/8" T&G PLYWOOD SUBFLOOR ENG. FLOOR JOISTS (BY OTHER) 5/8" GYPSUM CD BOARD <p>F2 FLOOR - GARAGE SLAB</p> <ol style="list-style-type: none"> COMPACTED SUB-BASE 6mil POLY AV/M BARRIER 4" CONCRETE S.O.G. SLOPED POWER TROWEL FINISH <p>F3 FLOOR - FLOOR OVER UNHEATED SPACES</p> <ol style="list-style-type: none"> INTERIOR AIR FILM 5/8" T&G PLYWOOD SUBFLOOR R-28 BATT INSULATION ENG. FLOOR JOISTS (BY OTHER) 5/8" GYPSUM CD BOARD EXTERIOR AIR FILM <p>F4 FLOOR - BASEMENT SLAB ON GRADE</p> <ol style="list-style-type: none"> COMPACTED SUB-BASE 6mil POLY AV/M BARRIER R-12.5 XPS INSULATION (PERIMETER TO CODE) 4" CONCRETE S.O.G. SMOOTH HAND TROWEL FINISH <p>F5 FLOOR - CANTILEVERED FLOOR</p> <ol style="list-style-type: none"> INTERIOR AIR FILM 5/8" T&G PLYWOOD SUBFLOOR MINERAL WOOL INSULATION ENG. FLOOR JOISTS (BY OTHER) SOFFIT TO OWNERS SPECIFICATION EXTERIOR AIR FILM <p>F6 FLOOR - CONCRETE PAVER ROOF DECK</p> <ol style="list-style-type: none"> 2X2" CONCRETE PAVING STONES ON PEDESTALS 2-PLY SBS MEMBRANE PROTECTION BOARD 5/8" T&G PLYWOOD SUBFLOOR 2X SLOPED TAPERS EXTERIOR AIR FILM ENG. FLOOR JOISTS (BY OTHER) (R-40 EQ.) SPF INSUL. (AV BARRIER) 5/8" GYPSUM CD BOARD INTERIOR AIR FILM <p>F7 FLOOR ASSEMBLY - (RATED OVER SUITE) BCBC A-9.10.3.1.B F6D (1 HR)</p> <ol style="list-style-type: none"> FLOOR TO OWNERS SPEC. 5/8" T&G PLYWOOD SUBFLOOR ENG. FLOOR JOISTS (BY OTHER) MINERAL WOOL INSULATION STEEL FURRING CHANNELS @600mm O/C 2-LAYERS 5/8" TYPE X GYPSUM WALL BRD. 	<p>R1 ROOF - TYPICAL TRUSS - FLAT CEILING</p> <ol style="list-style-type: none"> 30 YEAR ASPHALT SHINGLE MANUFACTURER APPROVED UNDERLAY 1/2" PLYWOOD ROOF SHEATHING C/W H-CLIPS EXTERIOR AIR FILM ENG. ROOF TRUSSES (BY OTHER) R-40 LOOSE FILL INSULATION 6mil POLY AV BARRIER 5/8" GYPSUM CD BOARD INTERIOR AIR FILM <p>R2 ROOF - PARACORD TRUSS - CATHEDRAL CEILING</p> <ol style="list-style-type: none"> 30 YEAR ASPHALT SHINGLE MANUFACTURER APPROVED UNDERLAY 1/2" PLYWOOD ROOF SHEATHING C/W H-CLIPS EXTERIOR AIR FILM ENG. PARACORD TRUSSES (BY OTHER) R-40 BATT INSULATION 6mil POLY AV BARRIER 5/8" GYPSUM CD BOARD INTERIOR AIR FILM <p>R3 ROOF - PARACORD TRUSS - FLAT CEILING (LOW SLOPE)</p> <ol style="list-style-type: none"> 2 PLY MOD. BIT. ROOFING PROTECTION BOARD 5/8" T&G PLYWOOD ROOF SHEATHING (SLOPED TRUSS) EXTERIOR AIR FILM ENG. ROOF TRUSSES (BY OTHER) R-40 LOOSE FILL INSULATION 6mil POLY AV BARRIER VENTED SOFFIT TO OWNERS SPEC. INTERIOR AIR FILM

FLOOR AREA

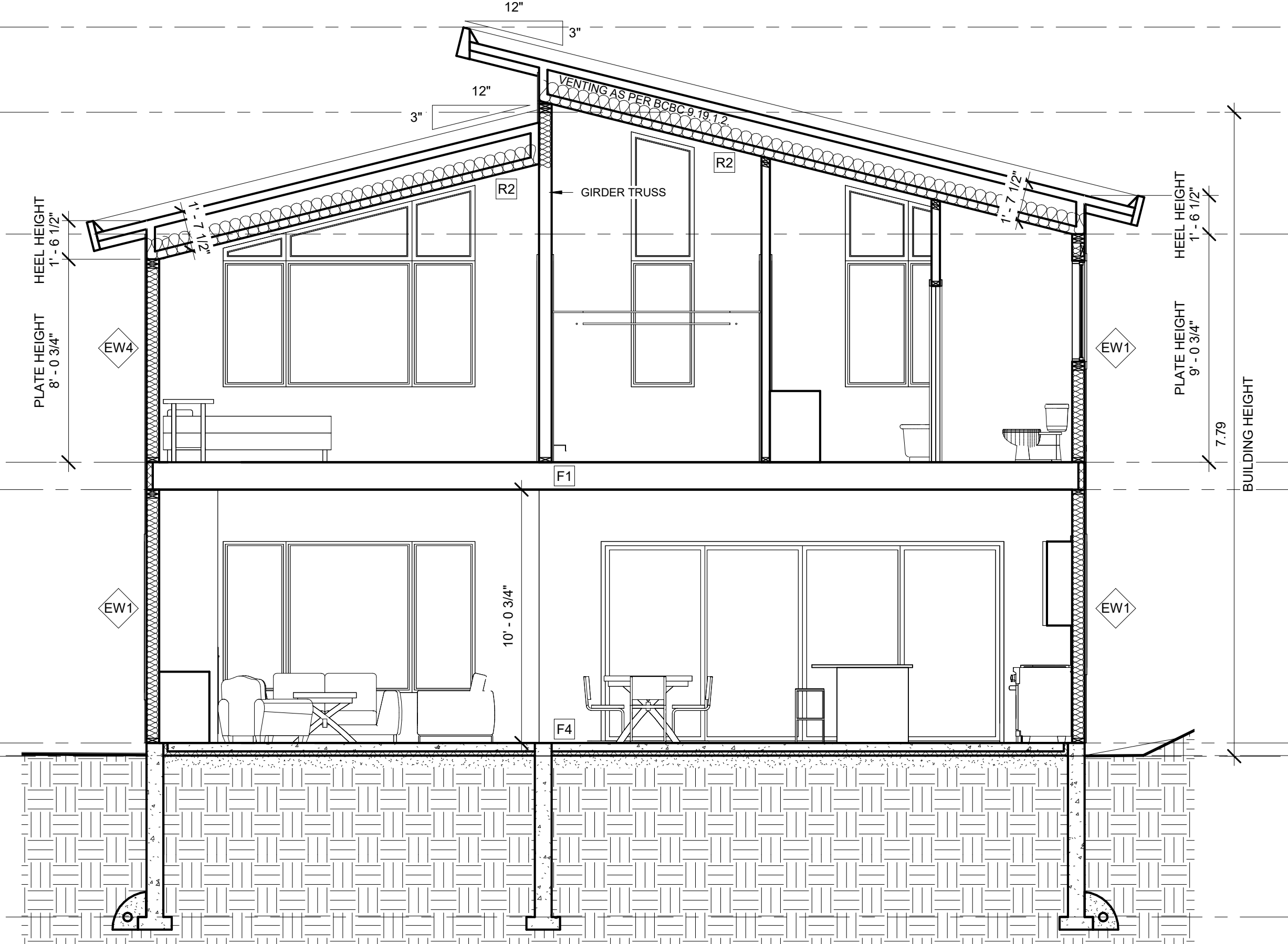
MAIN FLOOR:	1377 SF
SECOND FLOOR:	1416 SF
TOTAL LIVING SPACE:	2793 SF
SUITE:	651 SF
GARAGE:	506 SF
TOTAL BUILDING SF:	3950 SF

DRAWING SCALE: 1/4" = 1'-0" ALL MEASUREMENTS ARE IN FEET



- T.O. Roof 91.06
- Mean Roof 90.03
- T.O. Second Walls 88.56
- Second Floor 85.80
- T.O. Main Walls 85.47
- Main Floor 82.40
- Garage 82.25
- Avg. Grade 82.24
- Foundation 80.29

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- Mean Roof 90.03
- T.O. Second Walls 88.56
- Second Floor 85.80
- T.O. Main Walls 85.47
- Main Floor 82.40
- Garage 82.25
- Avg. Grade 82.24
- Foundation 80.29



Section A
1/4" = 1'-0"

PROJECT

Lot 18 Olympic View
202189

ISSUE DATE: 22Feb25 REV 6

Description:

No.	Description
1	Concept 1
2	Concept 2
3	90% Client Review
4	Issue for Engineering
5	Issue for Permit
6	Permit Revisions

Date:

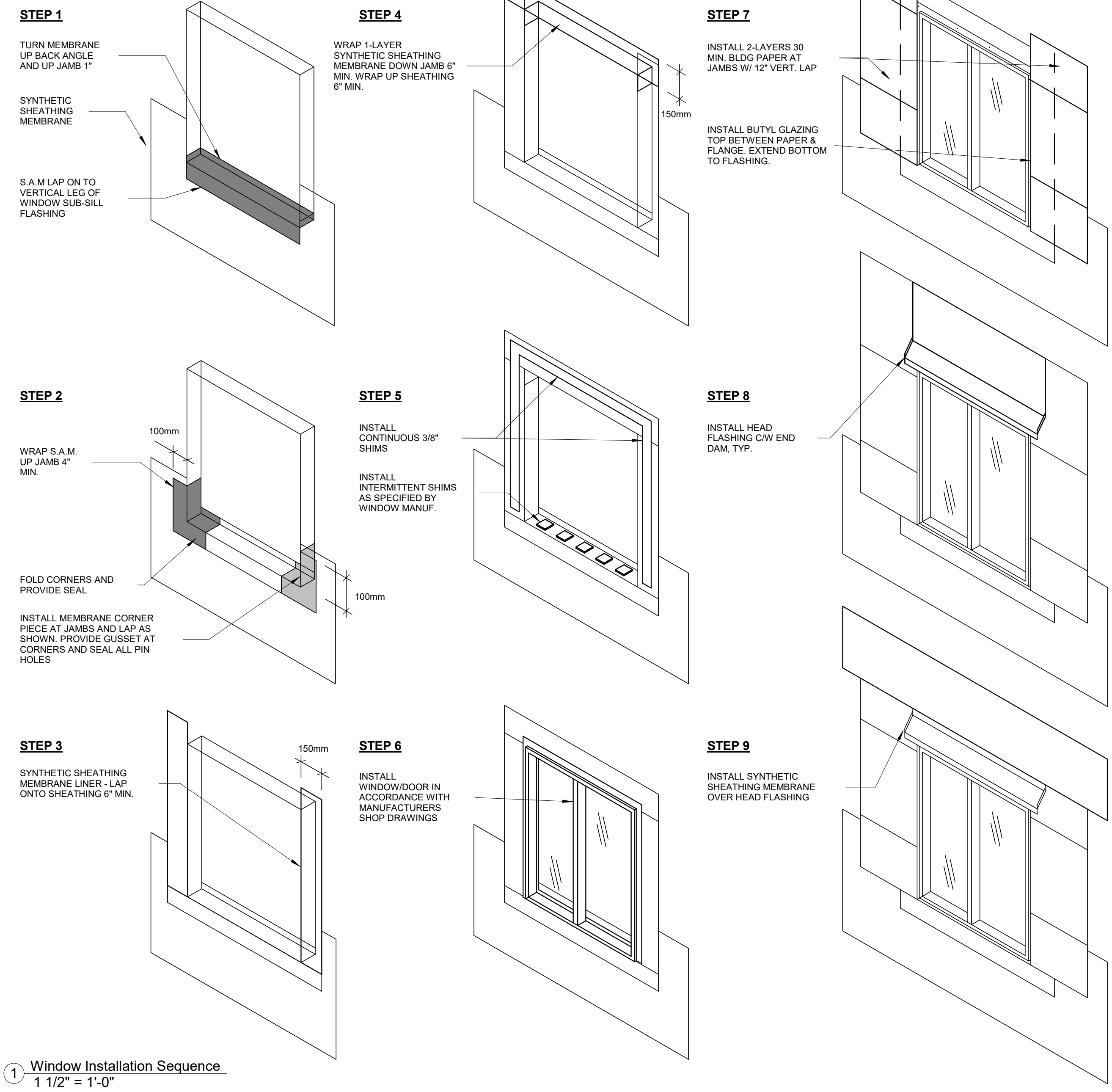
21Oct19	21Dec03	21Dec17	22Feb22	22Feb25
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Sections & Details

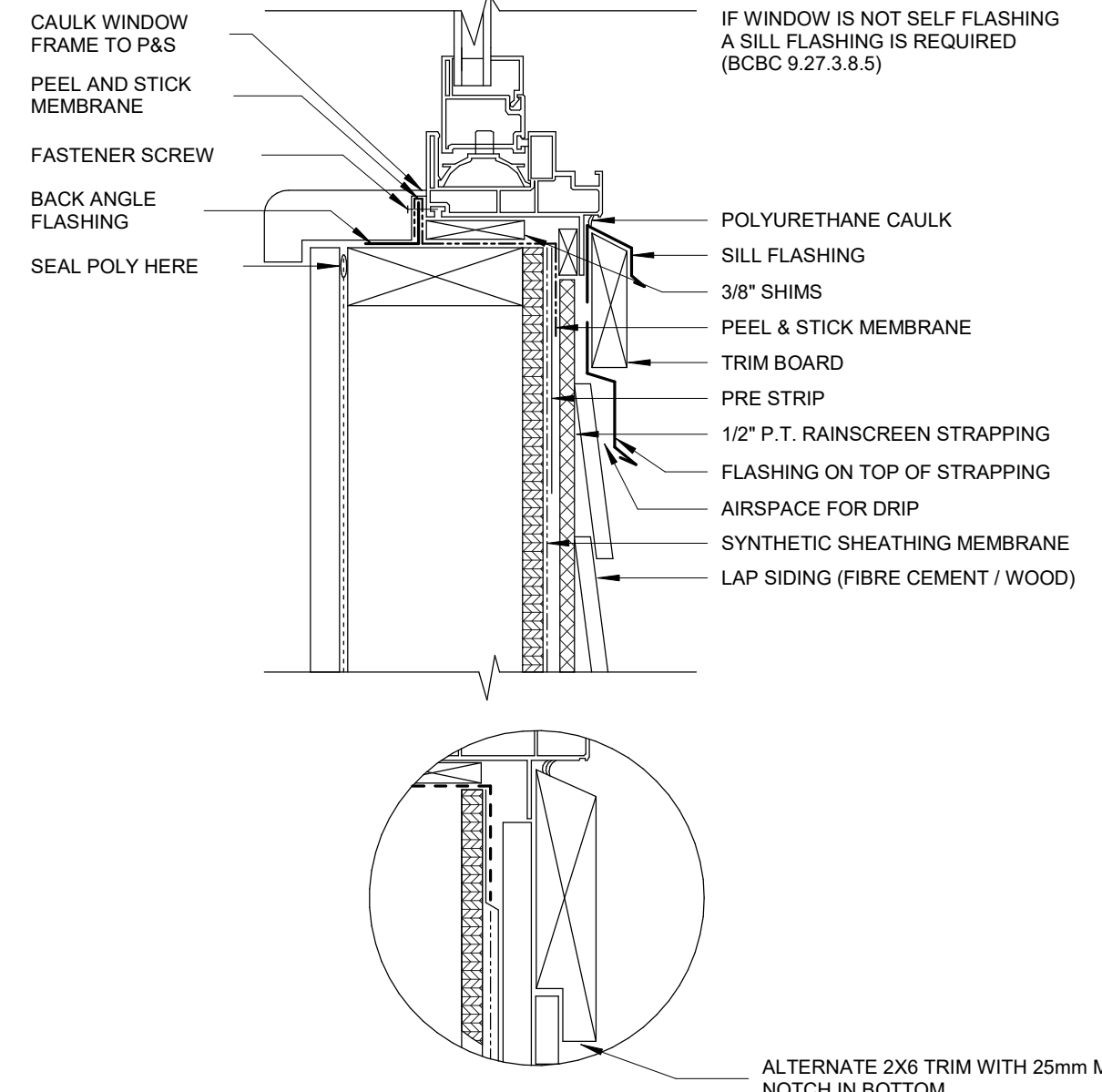
A3.1

GENERAL NOTES:

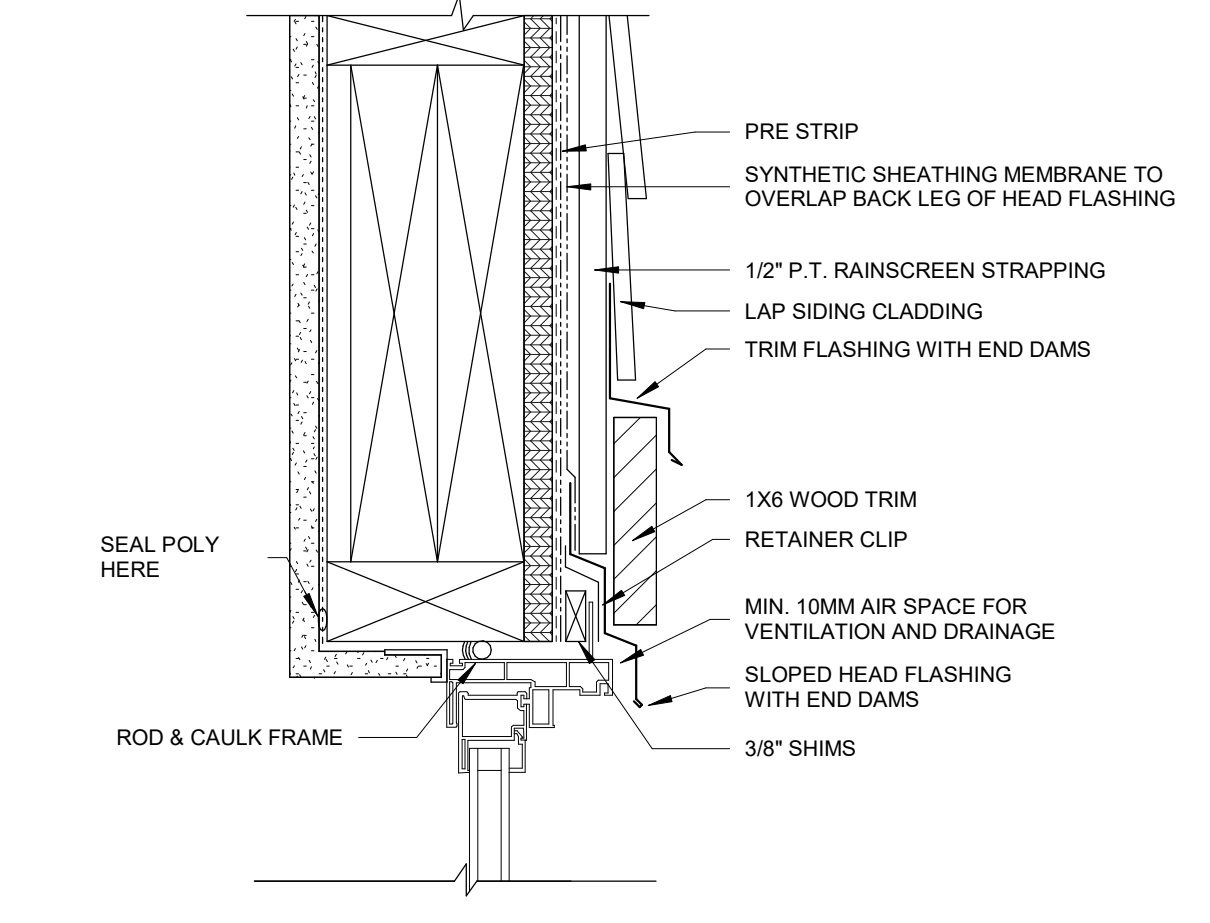
- All drawings, plans, models, designs, specifications and other documents prepared by Hoyt Design Co (HDC) and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of HDC whether the work is executed or not, and HDC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
- It is the responsibility of the Contractor to verify all dimensions, elevations, and site conditions as applicable to the project and the proposed work. The Contractor shall notify the Designer of any errors, omissions or discrepancies identified within the drawings prior to commencement of the work. Commencement of construction or any part thereof constitutes acceptance of the drawings, acceptance of the existing site conditions, and means dimensions and elevations have been considered, verified and are acceptable.
- The Contractor shall work with a B.C.L.S. to verify correct placement, siting and elevation of the proposed buildings or structures on the property prior to commencing the work. HDC is not responsible for any encroachments with respect to elevation, siting or placement. Any proposed changes with respect to elevation, siting or placement shall be confirmed with a B.C.L.S. prior to execution.
- The Contractor shall engage a Professional Engineer licensed in the Province of BC for the design and field review of all structural components and systems within the work as required by the Authority Having Jurisdiction. Prior to commencement of the work, the Contractor shall notify HDC of any changes to the design required by the Structural Engineer. These manufacturer or other engineered component supplier.



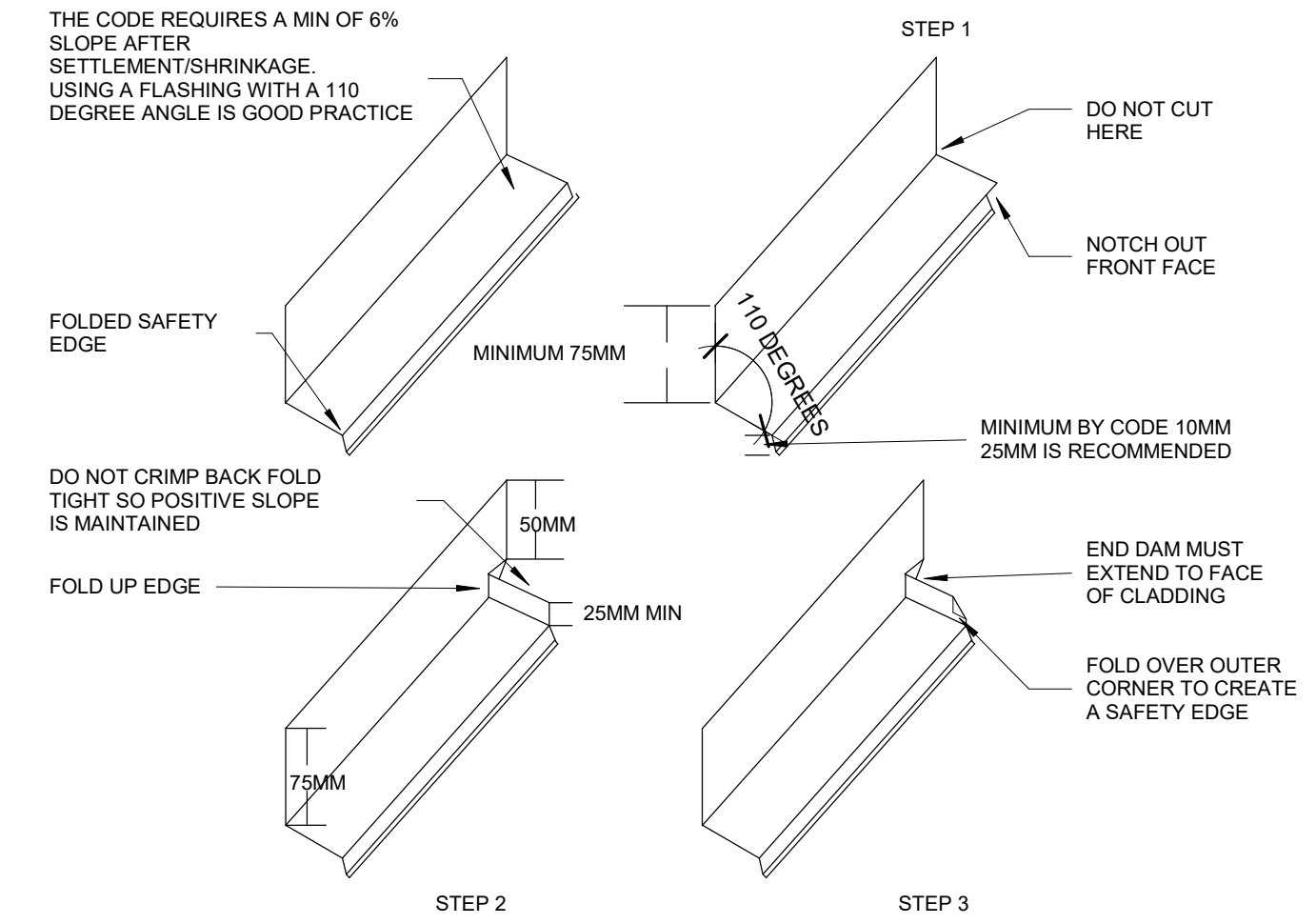
1 Window Installation Sequence
1 1/2" = 1'-0"



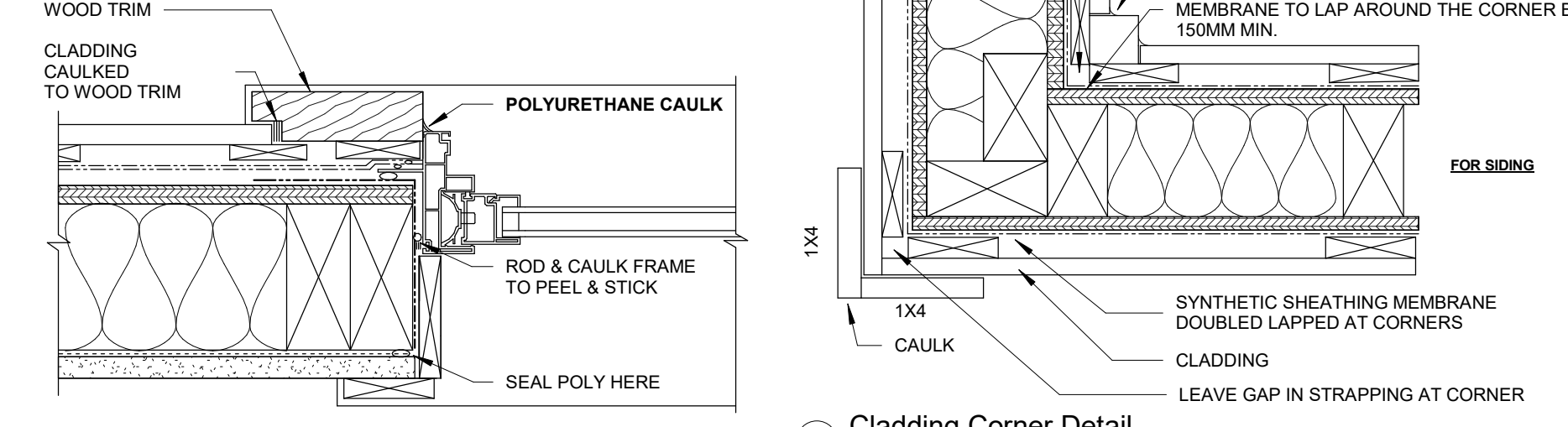
2 Window Sill Detail - Lap Siding
2" = 1'-0"



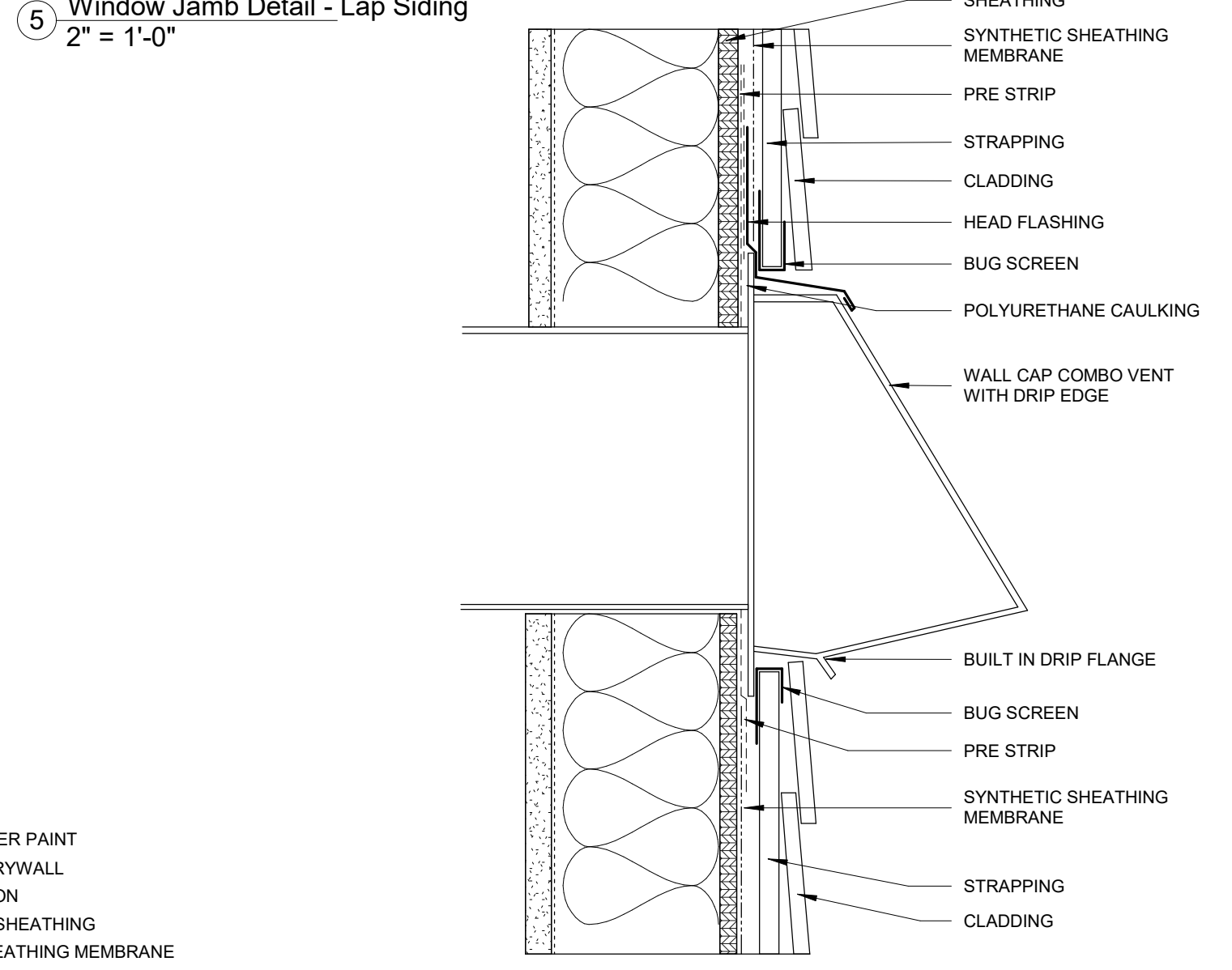
4 Window Head Detail - Lap Siding
2" = 1'-0"



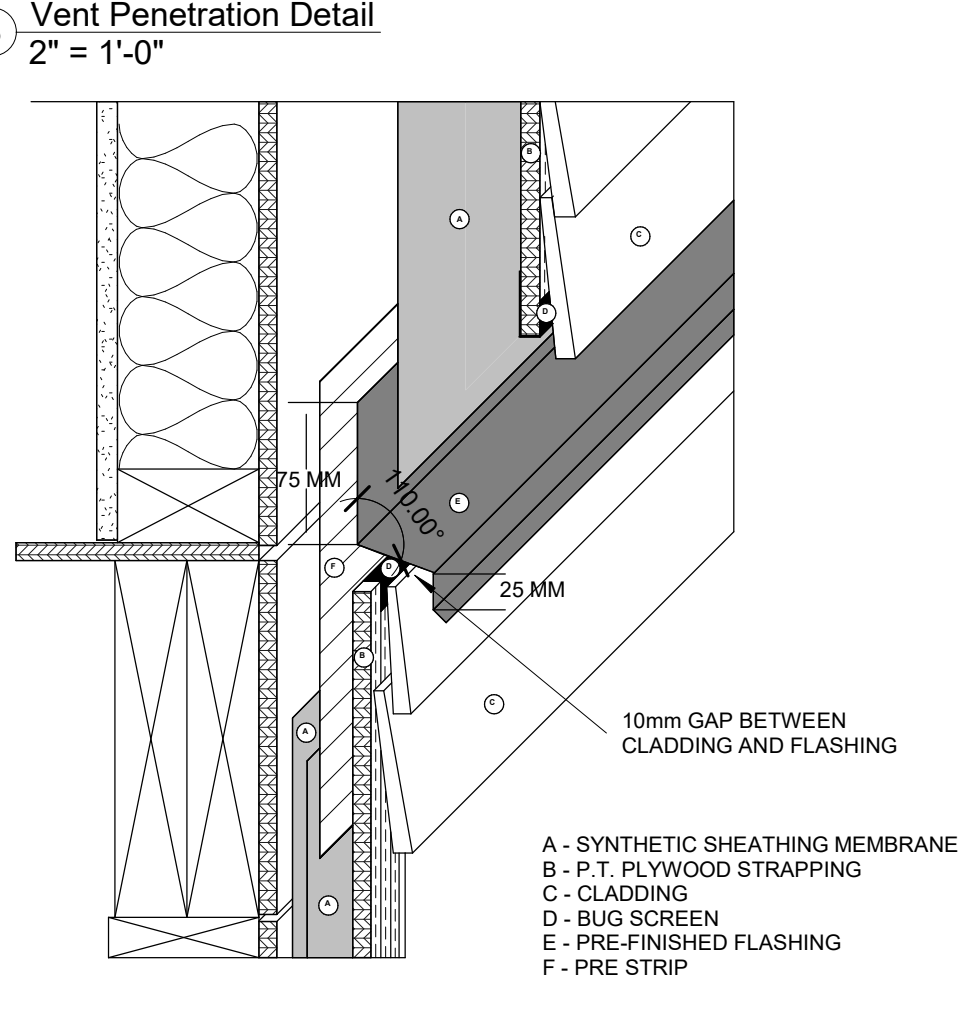
3 Typical Flashing With End Dam
1 1/2" = 1'-0"



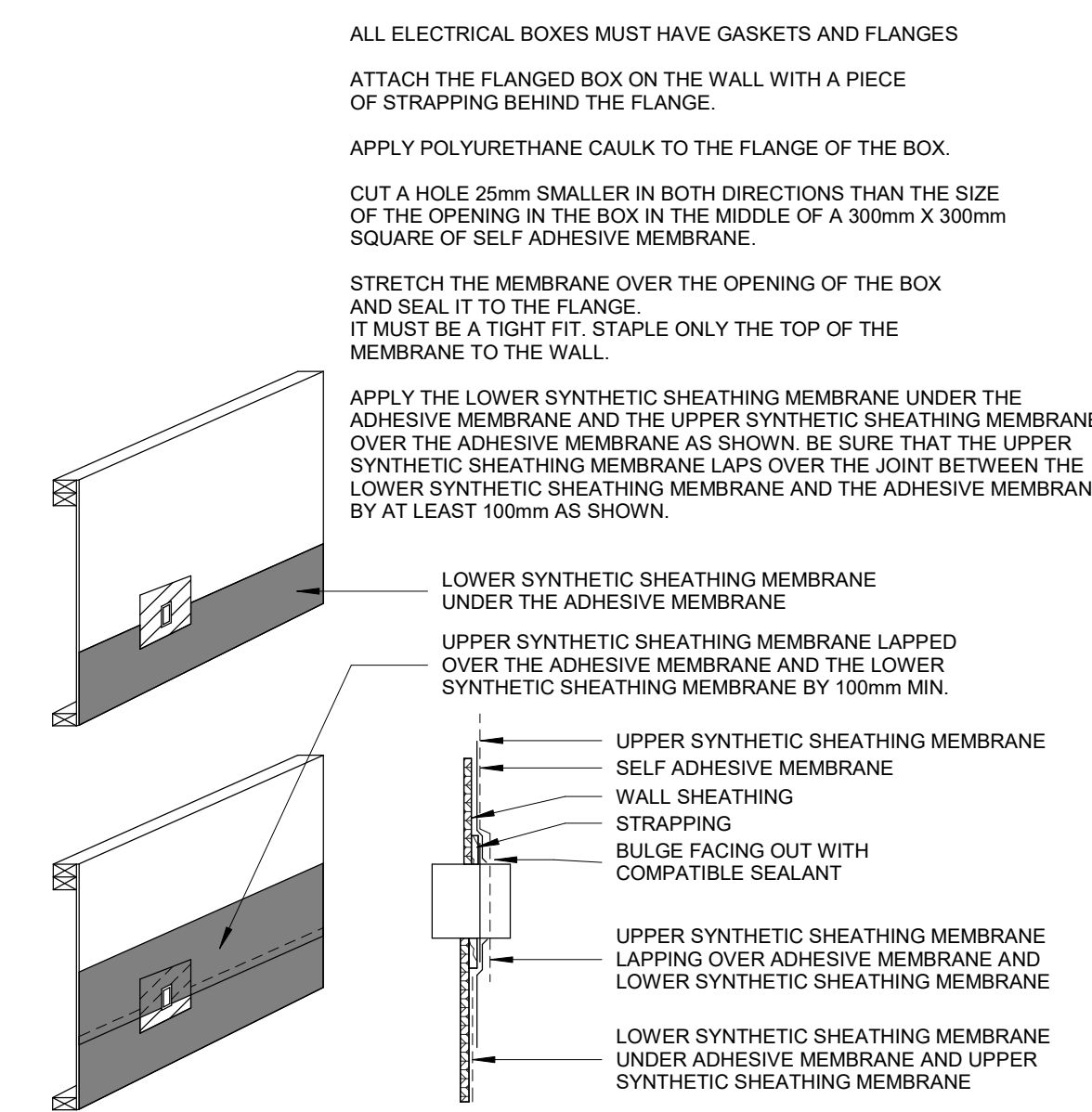
6 Cladding Corner Detail
2" = 1'-0"



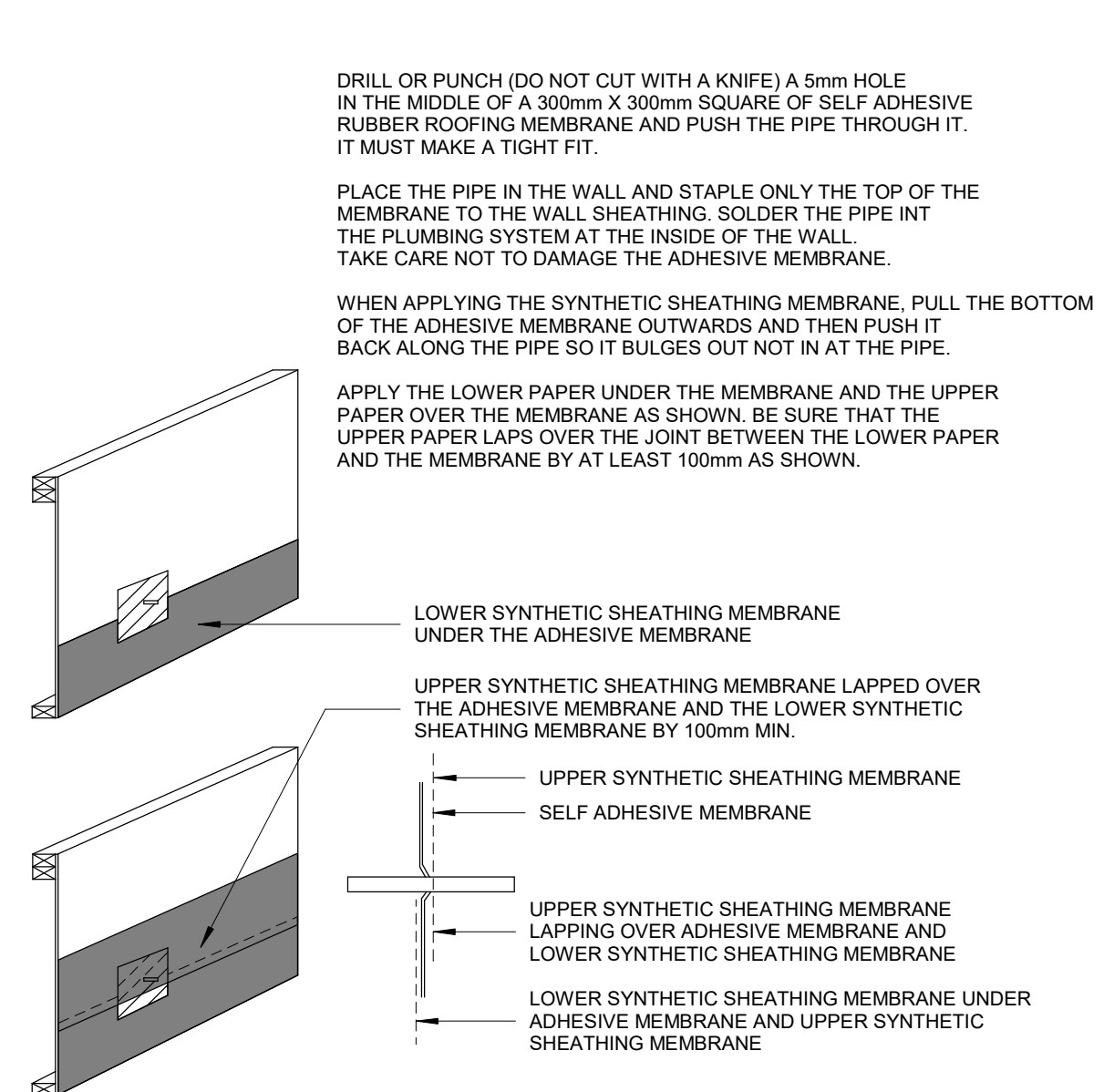
5 Window Jamb Detail - Lap Siding
2" = 1'-0"



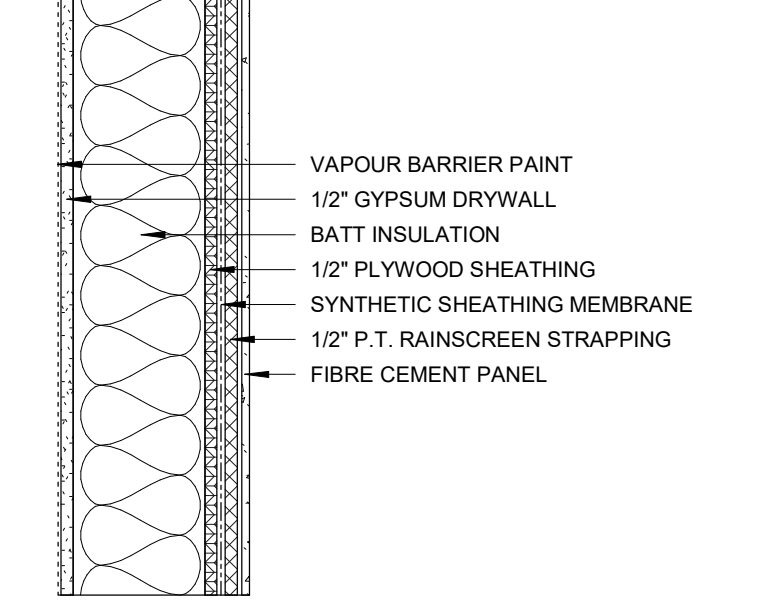
8 Vent Penetration Detail
2" = 1'-0"



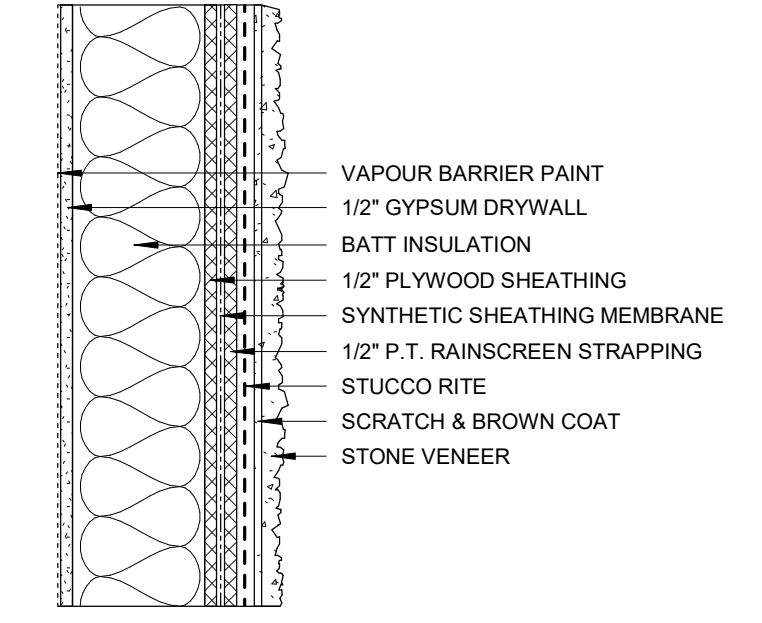
9 Electrical Reception Penetration Detail
1 1/2" = 1'-0"



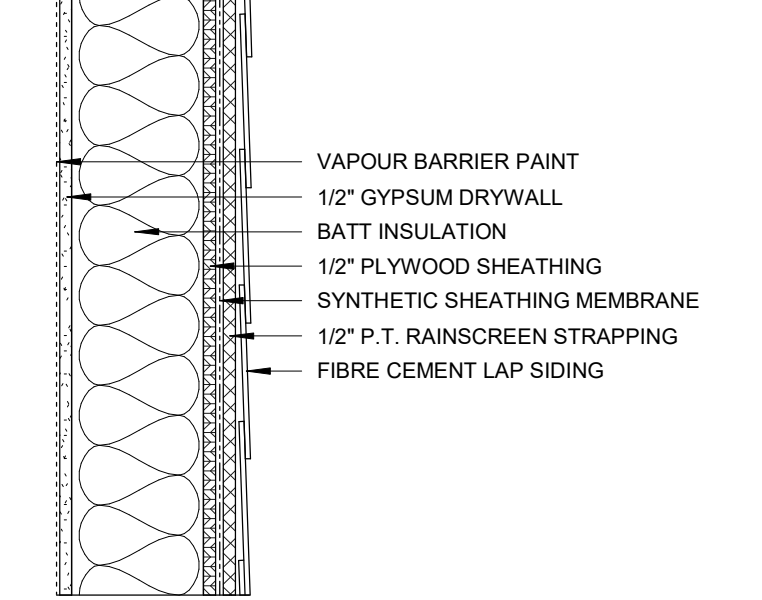
10 Hose Bib Penetration Detail
1 1/2" = 1'-0"



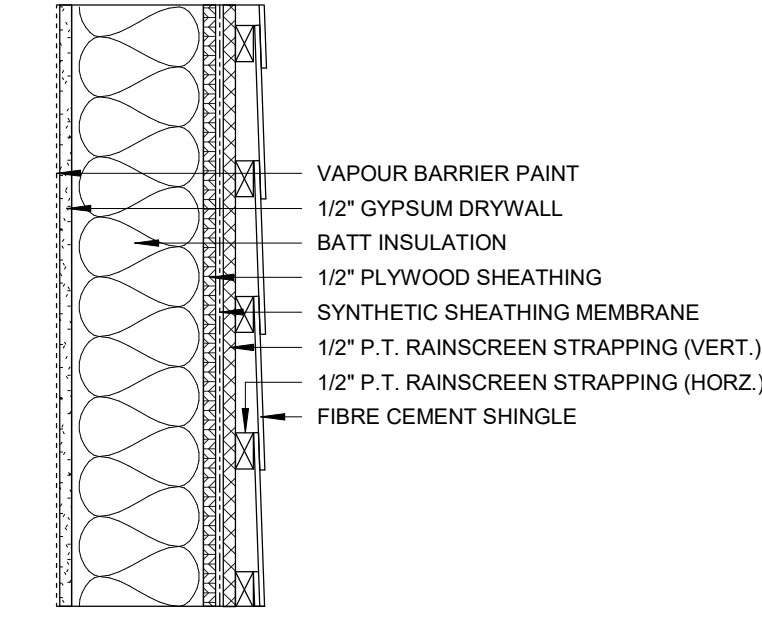
12 Wall Assembly - Fibre Cement Panel Siding
1 1/2" = 1'-0"



11 Wall Assembly - Stone Veneer
1 1/2" = 1'-0"



14 Wall Assembly - Lap Siding
1 1/2" = 1'-0"



18 Wall Assembly - Shingle Siding
1 1/2" = 1'-0"

15 Thru Cavity Flashing Detail
1 1/2" = 1'-0"

PROJECT

Lot 18 Olympic View
202189

ISSUE DATE: 22Feb25 REV 6

No.:	Description:	Date:
1	Concept 1	21Oct19
2	Concept 2	21Dec03
3	90% Client Review	21Dec17
4	Issue for Engineering	21Dec22
5	Issue for Permit	22Feb22
6	Permit Revisions	22Feb25

Details

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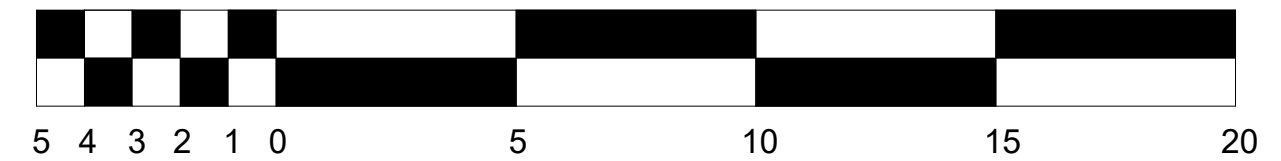
1 Northeast Perspective - Front



2 North Perspective - Rear

FLOOR AREA	
MAIN FLOOR:	1377 SF
SECOND FLOOR:	1416 SF
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SUITE:	651 SF
GARAGE:	506 SF
TOTAL BUILDING SF:	3950 SF

DRAWING SCALE: 1/4" = 1' - 0" ALL MEASUREMENTS ARE IN FEET



PROJECT

Lot 18 Olympic View

202189

ISSUE DATE: 22Feb25 REV 6

No.:	Description:
1	Concept 1
2	Concept 2
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Date:
21Oct19
21Dec03
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22Feb25

Perspectives

A5.1