

1840 PLANER CRES

SITE PLAN
1/8" = 1'-0"

REVISIONS

NO.	ITEM	DATE
A	CHANGES TO FOUNDATION	21 AUG 2017
B	DELETE DECK STAIR, SLOPE GARAGE TO FRONT, GENERAL REVISION	23 AUG 2017
C	REVISION OF ALL WINDOWS	28 AUG 2017
D	WINDOW REVISION & GENERAL REVISION	27 SEPT 2017

NOTES

ALL CONSTRUCTION TO CONFORM TO THE 2012 BC BUILDING CODE

CONFIRM ALL DIMENSIONS ON SITE

ENERGY EFFICIENCY: THIS PROJECT IS IN CLIMATE ZONE 6 AND REQUIRED RSI IS CALCULATED WITH AN HRV

SITE AREA: 734.41 m²

BUILDING COVERAGE: 189m², 25.7%

SURFACE COVERAGE: 288m², 39%

BASEMENT FLOOR AREA: 23m²

MAIN FLOOR AREA: 149.63m²

GARAGE AREA: 75.14m²

SUITE AREA: 38.18m² (25% MAIN FLOOR)

FLOOR AREA RATIO = .28

AVERAGE BUILDING HEIGHT 6.96m

ISSUED

NO.	ITEM	DATE
1	FOR BUILDING PERMIT	25 JULY 2017

beach spooner

BUILDING DESIGN

250 231 3343

beachspooner@telus.net

2010 McLeod Ave, Rossland, BC V0G 1Y0

PROJECT NORTH

CLIENT: ROGER & JENNIFER MOORE

PROJECT: NEW HOME
1840 PLANER CRES
ROSSLAND BC V0G 1Y0

DRAWING TITLE:

SITE PLAN

SCALE: 1/4"=1' (50% on 11 x 17)

STATUS:

DRAWN BY: CB

JOB NO: 1710

DRAWING NO: A.01

REV: D.

PLOT DATE: 2017-10-04

FOOTINGS:
REFER ENGINEERING

COLUMNS:
REFER ENGINEERING

WALLS;
W1: 8" CONC FOUNDATION WALL
W2: 8" CONC FOUNDATION WALL
TOTAL HEIGHT 10'. RETAINING UPTO 9'
REFER ENGINEERING
3" XPS FOAM INSULATION ON EXTERIOR
2" X 4" STUDS @ 16" O.C. (OFFSET 1" INTERIOR)
R24 ROXUL INSULATION

W3: 2" X 6" @ 16" O.C.
W4: 2" X 4" @ 16" O.C.(ALL INTERNAL WALLS)

FLOOR;
REFER TO ENGINEERED FLOOR
REFER TO ENGINEERED DECK

BEAMS;
REFER TO ENGINEERED FLOOR DETAILS FOR
ENGINEERED BEAMS

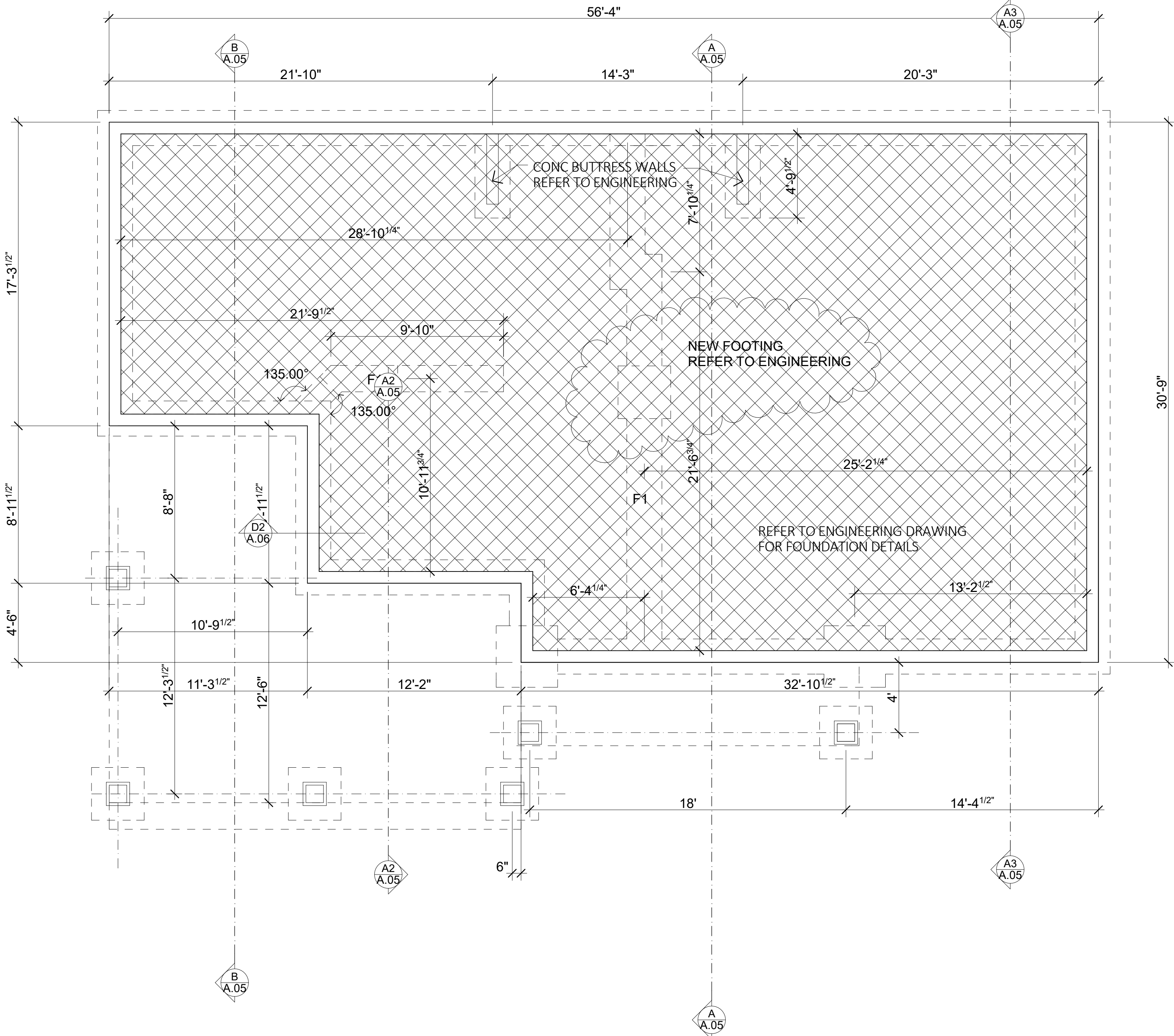
LEDGER;
2" X 12" LEDGER WITH SOLID BACKING
FIX TO WALL WITH 5/8" LAG BOLT
STAGGERED AT 16" O.C

HEADER;
IF NOT NOTED 2 X 2" X 10" SUPPORTED BY
DOUBLE STUDS

ALSO REFER TO HEADERS IN BOUNDARY
TRUSS FLOOR LAYOUT

ROOF;
REFER TO ROOF TRUSSES FROM TRUSS
MANUFACTURER

POSTS;
P1: BUILT UP POST 3 PLY 2" X 4"
P2: BUILT UP POST 4 PLY 2" X 6"
P3: 10" x 10" GLULAM POST



FOUNDATION PLAN
1/4" = 1'-0"

REVISIONS

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D	WINDOW REVISION & GENERAL REVISION	27 SEPT 2017

NOTES

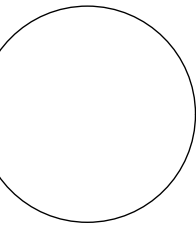
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1	FOR BUILDING PERMIT	25 JULY 2017



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PROJECT NORTH

CLIENT: ROGER & JENNIFER MOORE

PROJECT: NEW HOME
1840 PLANER CRES
ROSSLAND BC V0G 1Y0

DRAWING TITLE:
FOUNDATION PLAN

SCALE: 1/4"=1' (50% on 11 x 17)		DRAWN BY: CB	
STATUS:		DRAWING NO:	REV:
JOB NO:	1710	A.02	D.
PLOT DATE:	2017-10-04		

FOOTINGS;
REFER ENGINEERING

COLUMNS;
REFER ENGINEERING

WALLS;
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FLOOR;
REFER TO ENGINEERED FLOOR
REFER TO ENGINEERED DECK

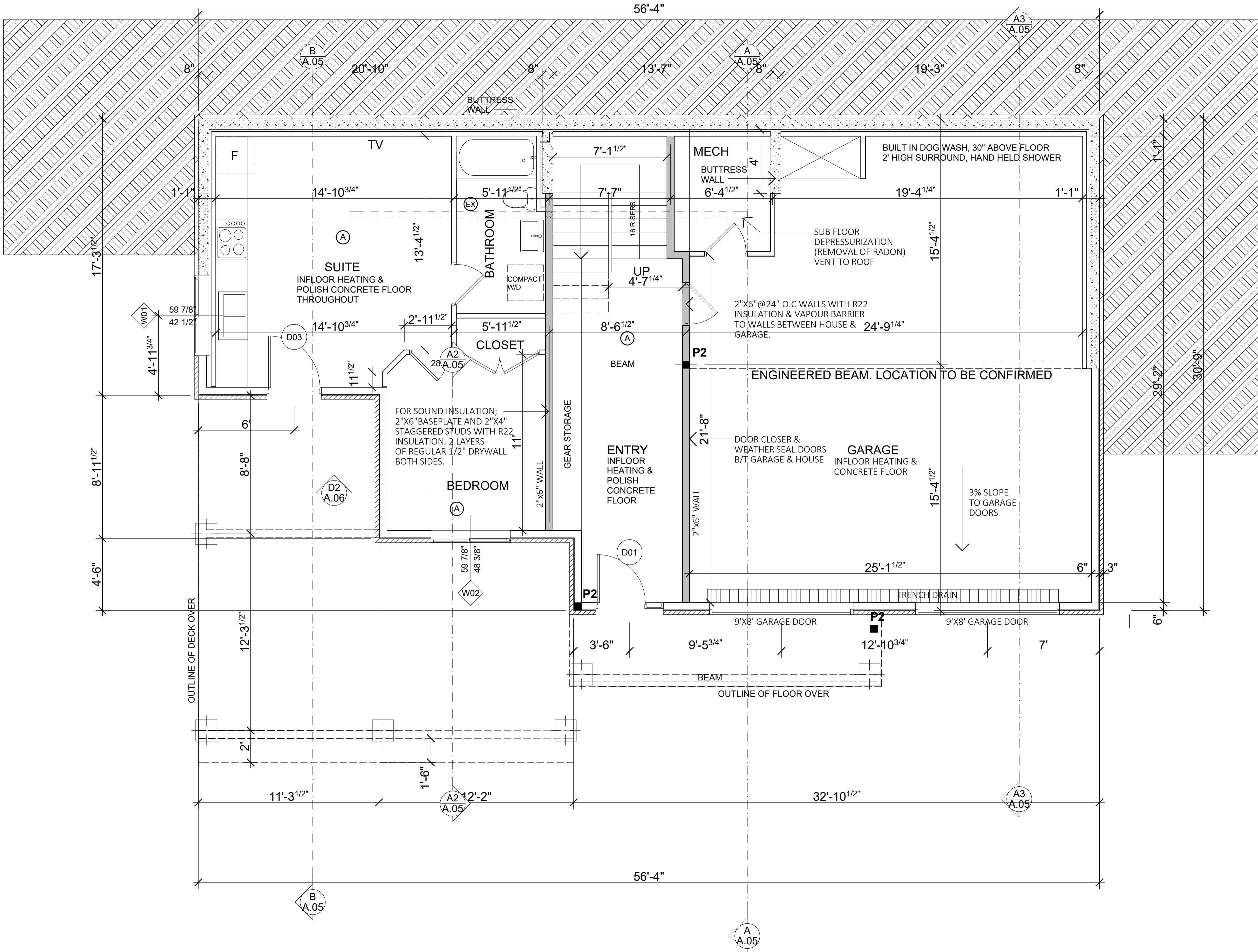
BEAMS;
REFER TO ENGINEERED FLOOR DETAILS FOR
ENGINEERED BEAMS

LEDGER;
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FIX TO WALL WITH 5/8" LAG BOLT
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REFER TO ROOF TRUSSES FROM TRUSS
MANUFACTURER

POSTS;
P1: BUILT UP POST 3 PLY 2" X 4"
P2: BUILT UP POST 4 PLY 2" X 6"
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BASEMENT PLAN
1/4" = 1'-0"

REVISIONS

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NOTES

ALL CONSTRUCTION TO CONFORM TO THE 2012 BC BUILDING CODE

CONFIRM ALL DIMENSIONS ON SITE

UNLESS NOTED OTHERWISE CENTER WINDOWS IN ROOM (INTERNAL)

(A) INTERCONNECTED SMOKE & CARBON MONOXIDE ALARM

(EX) EXHAUST FAN

BEDROOM WINDOWS: MUST HAVE UNOBSTRUCTED OPENING SIZE OF 0.35m² (3.77sf) WITH NO DIMENSION LESS THAN 380mm (15")

BEFORE CONSTRUCTION COMMENCES OWNER TO CONFIRM MECHANICAL SYSTEMS FOR HEATING & VENTILATING & WHERE REQUIRED PROVIDE MAKE UP AIR TO ACHIEVE A POSITIVE AIR PRESSURE INTERNALLY

INSULATION REQUIREMENTS NOTED ARE FOR BUILDINGS WITH AN HRV

ISSUED

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PROJECT NORTH

CLIENT: ROGER & JENNIFER MOORE

PROJECT: NEW HOME
1840 PLANER CRES
ROSSLAND BC V0G 1Y0

DRAWING TITLE:

BASEMENT PLAN

SCALE: 1/4"=1' (50% on 11 x 17)

STATUS:

DRAWN BY: CB

JOB NO:

1710

DRAWING NO:

A.03

REV:

D.

PLOT DATE:

2017-10-04

FOOTINGS:

REFER ENGINEERING

COLUMNS:

REFER ENGINEERING

WALLS;

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W2: 8" CONC FOUNDATION WALL
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FLOOR;

REFER TO ENGINEERED FLOOR

REFER TO ENGINEERED DECK

BEAMS;

REFER TO ENGINEERED FLOOR DETAILS FOR
ENGINEERED BEAMS

LEDGER;

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STAGGERED AT 16" O.C

HEADER;

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DOUBLE STUDS

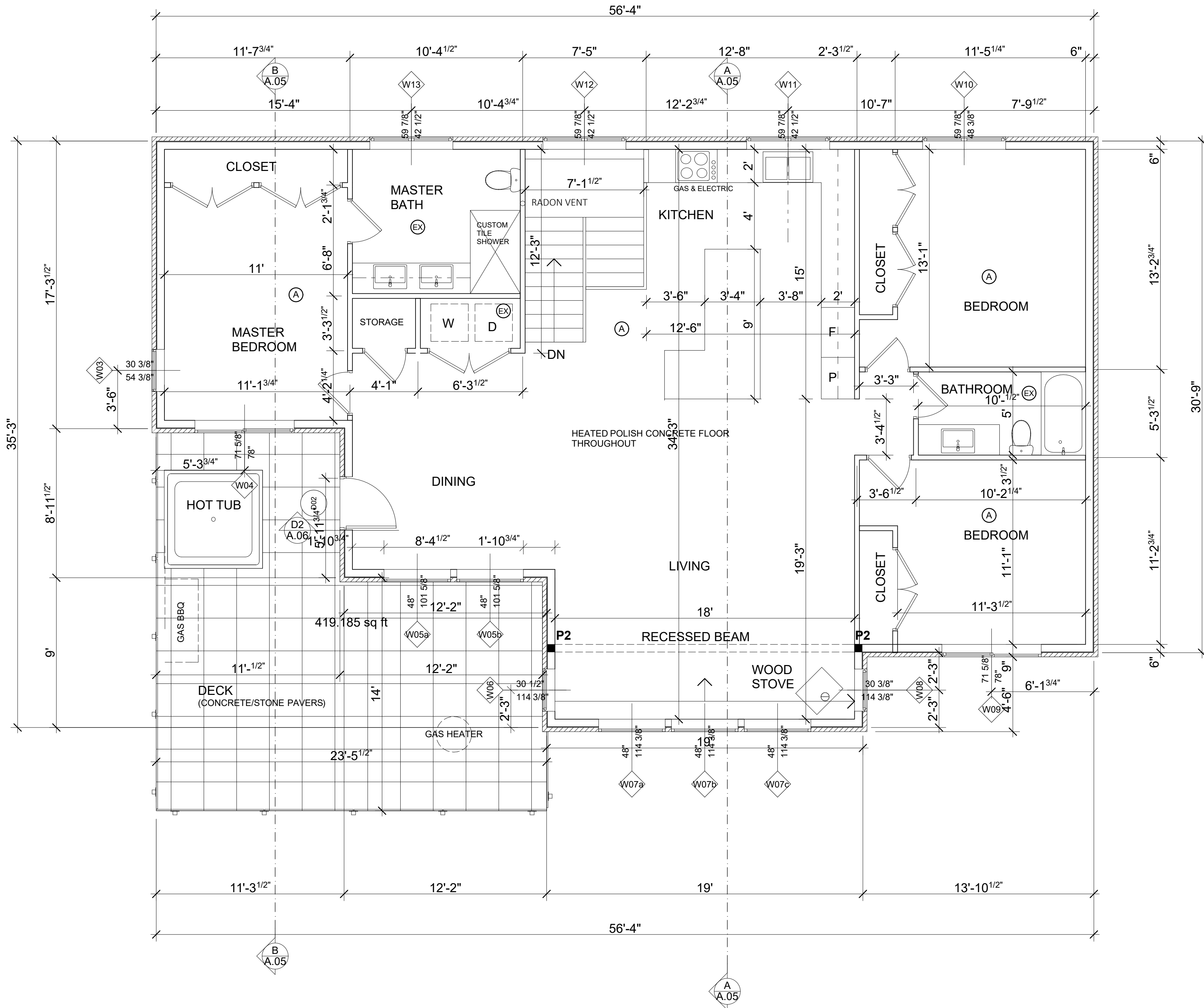
ALSO REFER TO HEADERS IN BOUNDARY
TRUSS FLOOR LAYOUT

ROOF;

REFER TO ROOF TRUSSES FROM TRUSS
MANUFACTURER

POSTS;

P1: BUILT UP POST 3 PLY 2" X 4"
P2: BUILT UP POST 4 PLY 2" X 6"
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MAIN FLOOR PLAN
1/4" = 1'-0"

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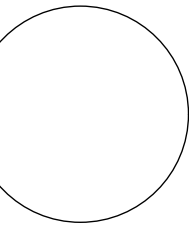
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1	FOR BUILDING PERMIT	25 JULY 2017



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ROSSLAND BC V0G 1Y0

DRAWING TITLE:

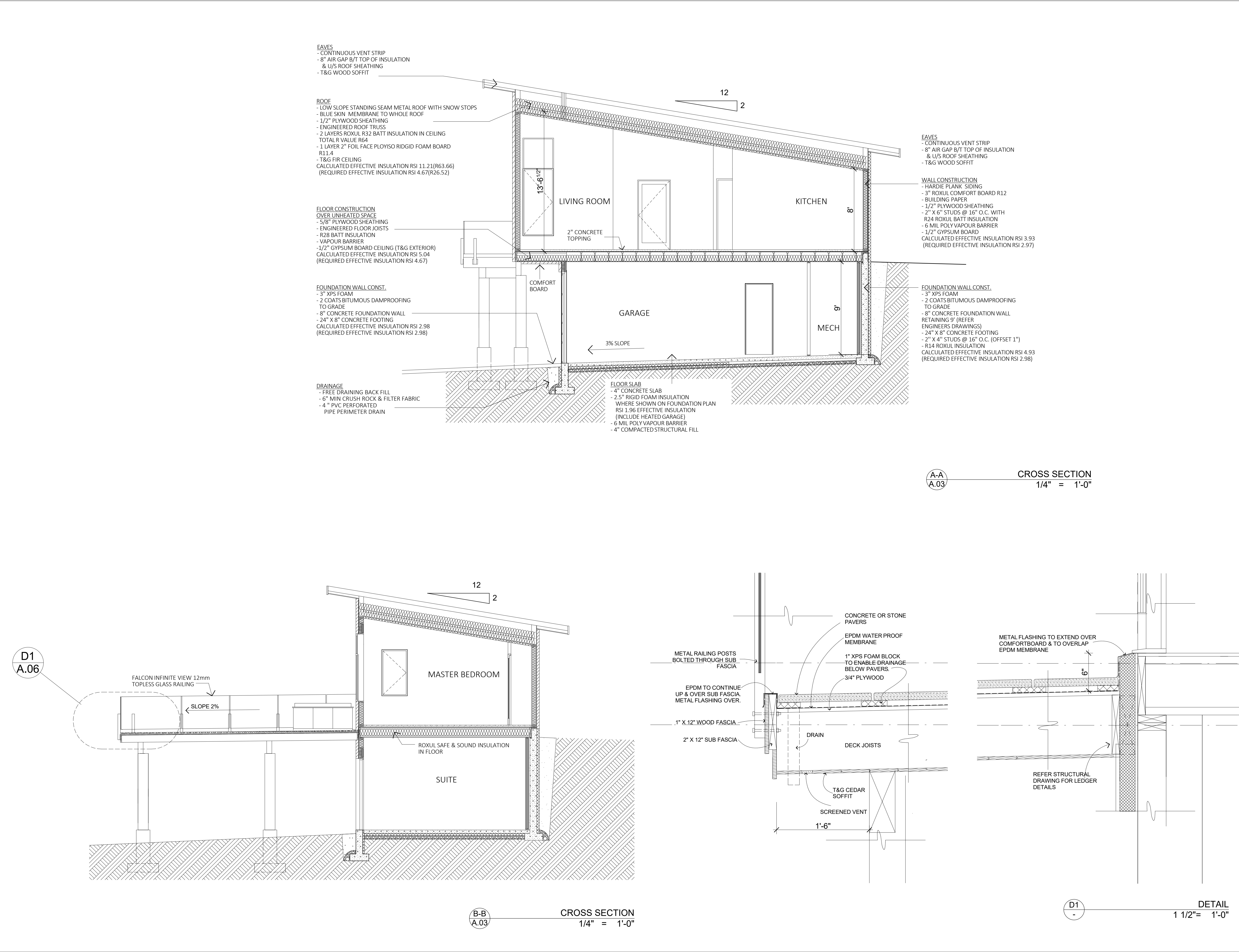
MAIN FLOOR PLAN

SCALE: 1/4"=1' (50% on 11 x 17)

STATUS: DRAWN BY: CB

JOB NO: 1710 DRAWING NO: A.04 REV: D.

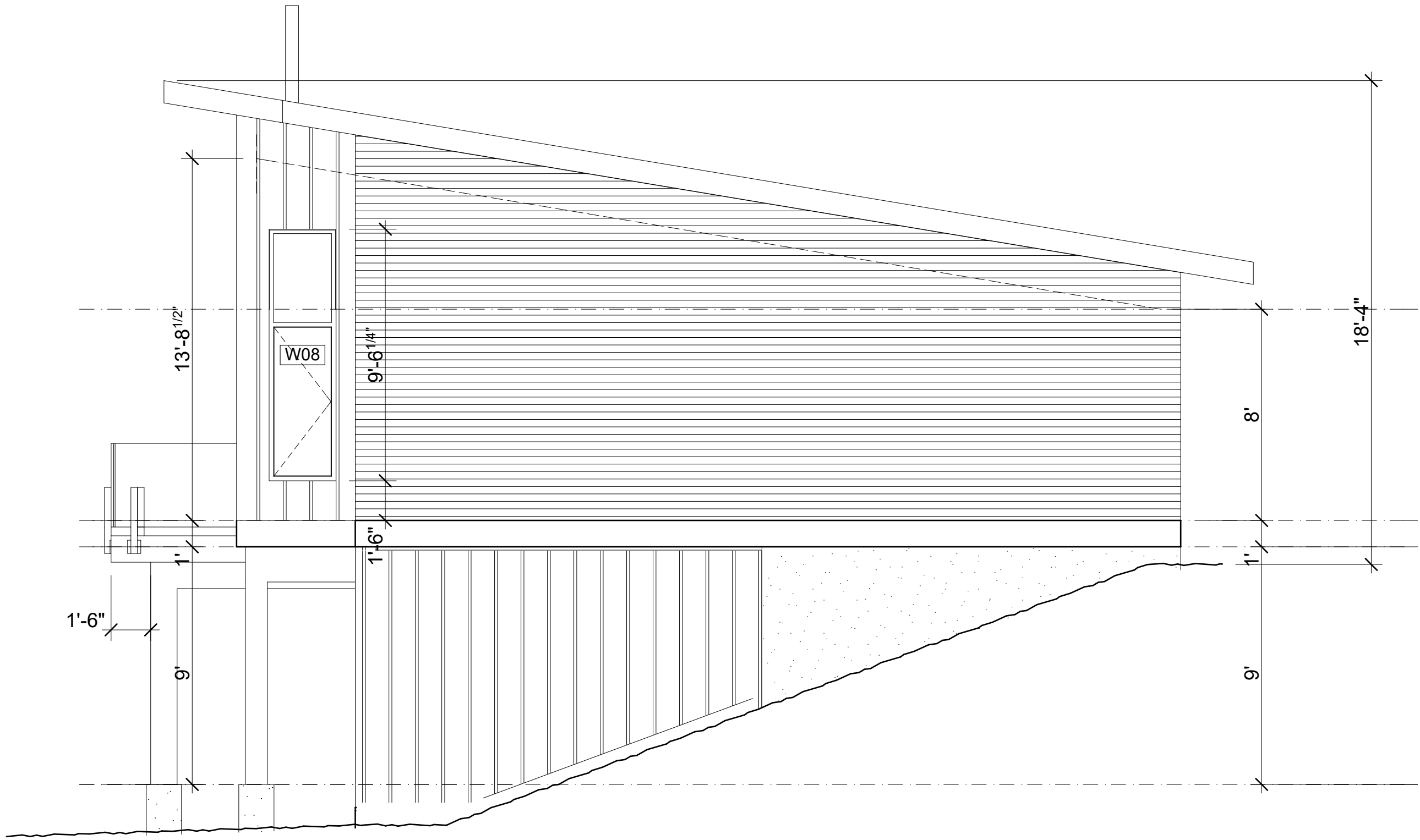
PLOT DATE: 2017-10-04



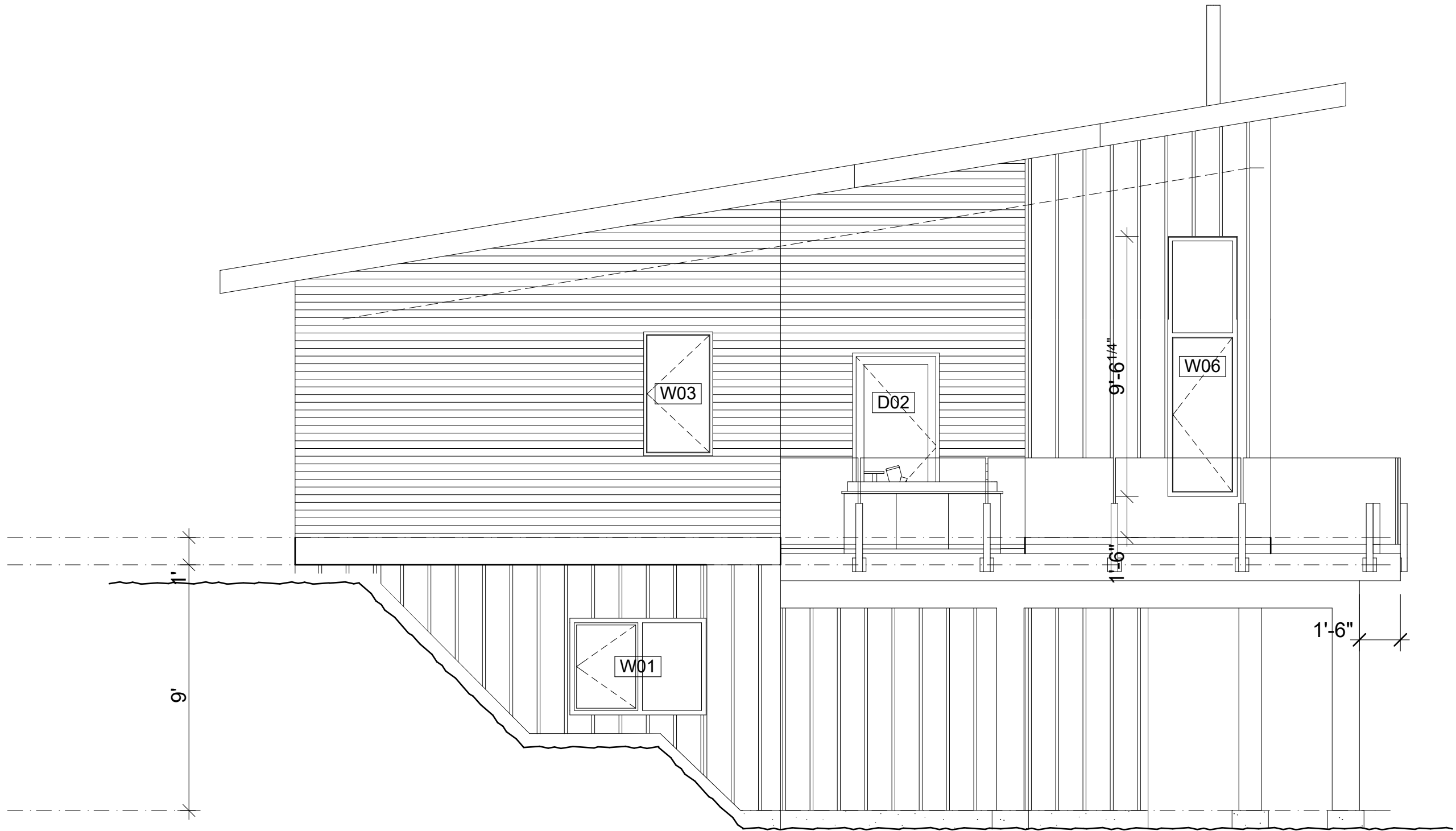
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ISSUED		
NO.	ITEM	DATE
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<div>beach spooner</div> <div>BUILDING DESIGN</div> <div>250 231 3343</div> <div>beachspooner@telus.net</div> <div>2010 McLeod Ave, Rossland, BC V0G 1Y0</div> <div>PROJECT NORTH</div>		
CLIENT: ROGER & JENNIFER MOORE		
PROJECT: NEW HOME 1840 PLANER CRES ROSSLAND BC V0G 1Y0		
DRAWING TITLE: CROSS SECTION		
SCALE: 1/4"=1' (50% on 11 x 17)		
STATUS:	DRAWN BY: CB	
JOB NO: 1710	DRAWING NO: A.06	REV: D.
PLOT DATE:		2017-10-04



EAST ELEVATION
1/4" = 1'-0"



WEST ELEVATION
1/4" = 1'-0"

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NOTES

MATERIALS;

ROOF; LOW SLOPE ASPHALT SHINGLE

FASCIA; METAL FASCIA

SOFFIT; STAINED T&G

SIDING; HARDIE PLANK SIDING

WINDOWS; METAL / VINYL

POSTS; STAINED WOOD

ISSUED

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beach
spooner
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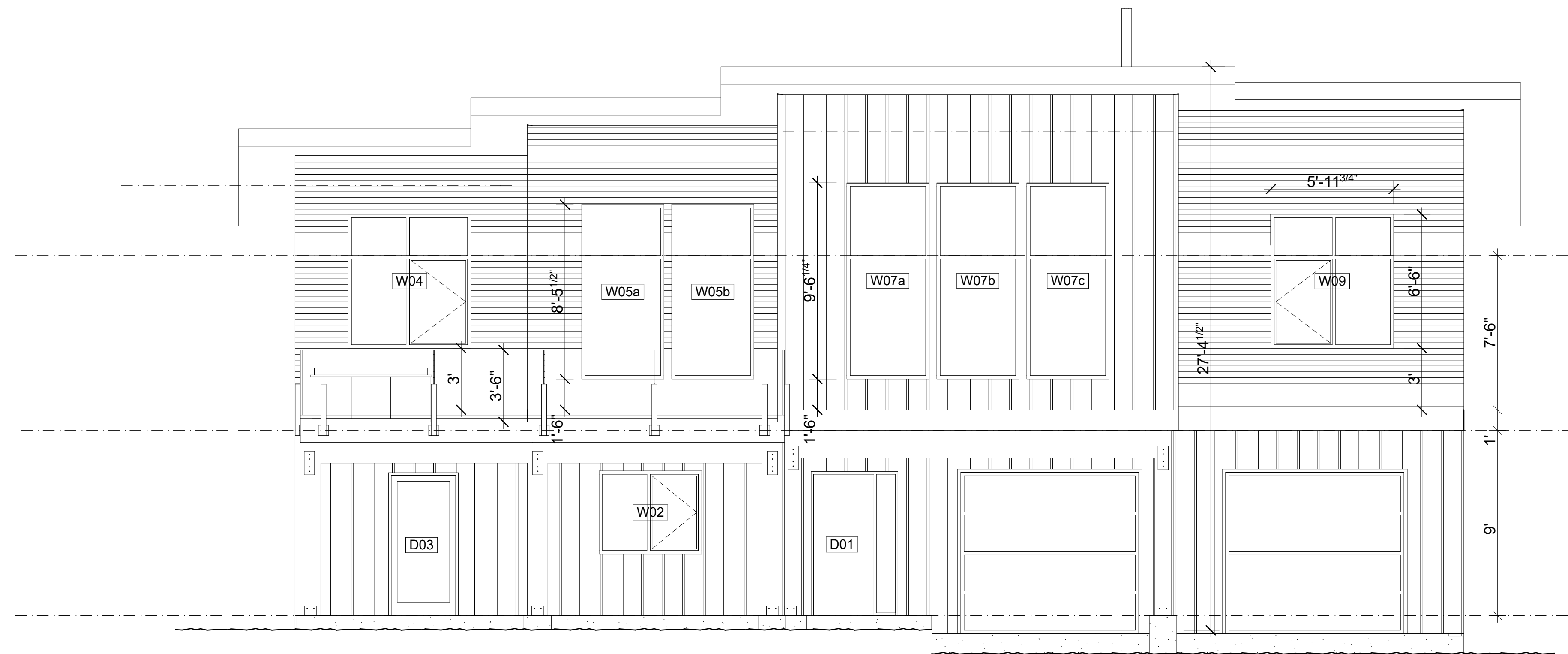
PROJECT NORTH


CLIENT: ROGER & JENNIFER MOORE

PROJECT: NEW HOME
1840 PLANER CRES
ROSSLAND BC V0G 1Y0


DRAWING TITLE:
ELEVATIONS

SCALE: 1/4"=1' (50% on 11 x 17)		
STATUS:	DRAWN BY: CB	
JOB NO: 1710	DRAWING NO: A.07	REV: D.
PLOT DATE: 2017-10-04		



 SOUTH ELEVATION
1/4" = 1'-0"



 NORTH ELEVATION
1/4" = 1'-0"

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NOTES

MATERIALS;

ROOF; LOW SLOPE ASPHALT SHINGLE

FASCIA; METAL FASCIA



SOFFIT; STAINED T&G

SIDING; HARDIE PLANK SIDING & HARDIE BOARD & BATTEN

WINDOWS; METAL / VINYL

POSTS; STAINED WOOD

ISSUED		
NO.	ITEM	DATE
1	FOR BUILDING PERMIT	25 JULY 2017

			
<p>250 231 3343 beachspooner@telus.net 2010 McLeod Ave, Rossland, BC V0G 1Y0</p>		<p>PROJECT NORTH</p>	
<p>CLIENT: ROGER & JENNIFER MOORE</p>			
<p>PROJECT: NEW HOME 1840 PLANER CRES ROSSLAND BC V0G 1Y0</p>			
<p>DRAWING TITLE:</p> <p>ELEVATIONS</p>			
<p>SCALE: 1/4"=1' (50% on 11 x 17)</p>		<p>DRAWN BY: CB</p>	
<p>STATUS:</p>		<p>DRAWING NO:</p>	
<p>JOB NO:</p>		<p>REV:</p>	
<p>1710</p>		<p>A.08</p>	
<p>1710</p>		<p>D.</p>	
<p>PLOT DATE:</p>		<p>2017-10-04</p>	



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NOTES

WINDOWS & DOORS VIEWED FROM OUTSIDE.

RO DIMENSIONS SHOWN

WINDOWS ARE;
 PLYGEM TRIPLE GLAZED SIGNATURE SERIES WITH HEM-FIR CASING.
 BLACK METAL EXTERIOR
 CHESTNUT BRONZE HARDWARE

TRIPPLE GLAZE WINDOWS
 GLASS TECHNOLOGY; TG2 WITH ECO SHIELD 270 COATING

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PROJECT NORTH

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 ROSSLAND BC V0G 1Y0

DRAWING TITLE:

WINDOW & DOOR SCHEDULE

SCALE: 1/4"=1' (50% on 11 x 17)		DRAWN BY: CB	
STATUS:	JOB NO:	DRAWING NO:	REV:
	1710	A.09	D.
PLOT DATE:		2017-10-04	