

1840 PLANER CRES

- SITE PLAN - 1/8" = 1'-0"

N0.	SIONS ITEM		DATE
Α	CHANGES TO FOUNDATION		21 AUG 2017
В	DELETE DECK STAIR, SLOPE GA GENERAL REVISION	RAGE TO FRONT,	23 AUG 2017
С			28 AUG 2017 27 SEPT 2017
D	WINDOW REVISION & GENERAL	REVISION	27 3LFT 2017
NOT	ES		
	NSTUCTION TO CONFOR		
	2012 BC BUILDING COD		
CONFIF	MALL DIMENSIONS ON	SITE	
	Y EFFICIENCY; THIS PRI AND REQUIRED RSI IS		
	REA; 734.41 m2	05 70/	
	NG COVERAGE; 189m2,		
SURFA	CE COVERAGE; 288m2,	, 39%	
	IENT FLOOR AREA; 23r		
MAIN	FLOOR AREA; 149.63m2	<u>)</u>	
GARA	GE AREA; 75.14m2		
SUITE	AREA; 38.18m2 (25% M	AIN FLOOR)	
FLOO	R AREA RATIO =.28		
۸۱/۲۳	AGE BUILDING HEIGHT	6 06m	
AVER		0.3011	
ISSL			
N0.	ITEM		DATE
1	FOR BUILDING PERM	MIT	25 JULY 2017
	each		
l SC	each	θſ	
Sp			
Sp			
SC	UILDING DESI	GN	
S (B 2 5 ($\begin{array}{c} 0 \\ 0 \\ 0 \\ 0 \\ 2 \\ 3 \\ 1 \\ 3 \\ 3 \\ 3 \\ 3 \\ 3 \\ 3 \\ 3 \\ 3$	G N (
SC B 2 5 (beac	DOONE UILDING DESI D 231 33 hspooner@telus	GN 43 s.net	
S C B 2 5 C beac	$\begin{array}{c} 0 \\ 0 \\ 0 \\ 0 \\ 2 \\ 3 \\ 1 \\ 3 \\ 3 \\ 3 \\ 3 \\ 3 \\ 3 \\ 3 \\ 3$	G N 4 3 s.net	
S C B 2 5 C beac	DOONE UILDING DESI D 231 33 hspooner@telus	G N 4 3 s.net /0G 1Y0	
2 5 (beac 2010 Mc	DOONE UILDING DESI D 231 33 Ispooner@telus Leod Ave, Rossland, BC V	G N 4 3 s.net /0G 1Y0	
2 5 (beac 2010 Mc	DOONE UILDING DESI D 231 33 aspooner@telus Leod Ave, Rossland, BC V ROGER & JENN	G N 4 3 s.net /0G 1Y0	
S C B 2 5 C beac 2010 Mc	231 33 spooner@telus Leod Ave, Rossland, BC V ROGER & JENN NEW HOME 1840 PLANER	G N 4 3 s.net /0G 1Y0	DRE
S C B 2 5 C beac 2010 Mc	DOONE UILDING DESI D 231 33 aspooner@telus Leod Ave, Rossland, BC V ROGER & JENN	G N 4 3 s.net /0G 1Y0	DRE
S C B 2 5 C beac 2010 Mc	231 33 spooner@telus Leod Ave, Rossland, BC V ROGER & JENN NEW HOME 1840 PLANER	G N 4 3 s.net /0G 1Y0	DRE
S C B 2 5 C beac 2010 Mc	231 33 spooner@telus Leod Ave, Rossland, BC V ROGER & JENN NEW HOME 1840 PLANER	G N 4 3 s.net /0G 1Y0	DRE
S C B 2 5 C beac 2010 Mc	231 33 spooner@telus Leod Ave, Rossland, BC V ROGER & JENN NEW HOME 1840 PLANER ROSSLAND B	G N 4 3 s.net /0G 1Y0	DRE
S G B 2 5 G beac 2010 Mc CLIENT: PROJECT	231 33 spooner@telus Leod Ave, Rossland, BC V ROGER & JENN NEW HOME 1840 PLANER ROSSLAND B	G N 4 3 s.net /oG 1Y0 IIFER MOO	DRE
S G B 2 5 G beac 2010 Mc CLIENT: PROJECT	DOONE UILDING DESI 0 231 33 Spooner@telus Leod Ave, Rossland, BC V ROGER & JENN NEW HOME 1840 PLANER ROSSLAND B	G N 4 3 s.net /oG 1Y0 IIFER MOO	DRE
S G B 2010 Mc CLIENT: PROJECT	DOONE UILDING DEST D 2 3 1 3 3 Spooner@telus Leod Ave, Rossland, BC V ROGER & JENN ROGER & JENN NEW HOME 1840 PLANER ROSSLAND B	G N 4 3 s.net /oG 1Y0 IIFER MOO	DRE
S G B 2010 Mc CLIENT: PROJECT	DOONE UILDING DESI 0 231 33 Spooner@telus Leod Ave, Rossland, BC V ROGER & JENN NEW HOME 1840 PLANER ROSSLAND B	G N 4 3 s.net /oG 1Y0 IIFER MOO	DRE)
SCALE: 1	 OOOC UILDING DESI Q 3 1 3 3 Spooner@telus Leod Ave, Rossland, BC V ROGER & JENN NEW HOME 1840 PLANER ROSSLAND B TITLE: SITE PLAN 4"=1' (50% on 11 x 17) 	G N 4 3 s.net /oG 1Y0 IIFER MOO	DRE)
SCALE: 1 STATUS:	DOONE UILDING DEST D 2 3 1 3 3 Spooner@telus Leod Ave, Rossland, BC V ROGER & JENN ROGER & JENN NEW HOME 1840 PLANER ROSSLAND B	G N 4 3 s.net OG 1Y0 JIFER MOO	DRE)
SCALE: 1 STATUS:	 OOOC UILDING DESI Q 3 1 3 3 Spooner@telus Leod Ave, Rossland, BC V ROGER & JENN NEW HOME 1840 PLANER ROSSLAND B TITLE: SITE PLAN 4"=1' (50% on 11 x 17) 	G N 4 3 s.net OG 1YO JIFER MOO IFER MOO IFER MOO IFER MOO	DRE

REFER ENGINEERING COLUMNS; REFER ENGINEERING WALLS; W1; 8" CONC FOUNDATION WALL W2; 8" CONC FOUNDATION WALL TOTAL HEIGHT 10', RETAINING UPTO 9' REFER ENGINEERING 3" XPS FOAM INSUALTION ON EXTERIOR 2" X 4" STUDS @ 16" O.C. (OFFSET 1" INTERIOR) R24 ROXUL INSULATION W3; 2" X 6" @ 16" O.C. W4; 2" X 4" @ 16" O.C.(ALL INTERNAL WALLS) FLOOR; REFER TO ENGINEERED FLOOR REFER TO ENGINEERED DECK BEAMS; REFER TO ENGINEERED FLOOR DETAILS FOR ENGINEERED BEAMS LEDGER; 2" X 12" LEDGER WITH SOLID BACKING FIX TO WALL WITH 5/8" LAG BOLT STAGGERED AT 16" O.C HEADER;

IF NOT NOTED 2 X 2" X 10" SUPPORTED BY

ALSO REFER TO HEADERS IN BOUNDARY

REFER TO ROOF TRUSSES FROM TRUSS

P1; BUILT UP POST 3 PLY 2" X 4" P2; BUILT UP POST 4 PLY 2" X 6" P3; 10" x 10" GLULAM POST

DOUBLE STUDS

MANUFACTURER

ROOF;

POSTS;

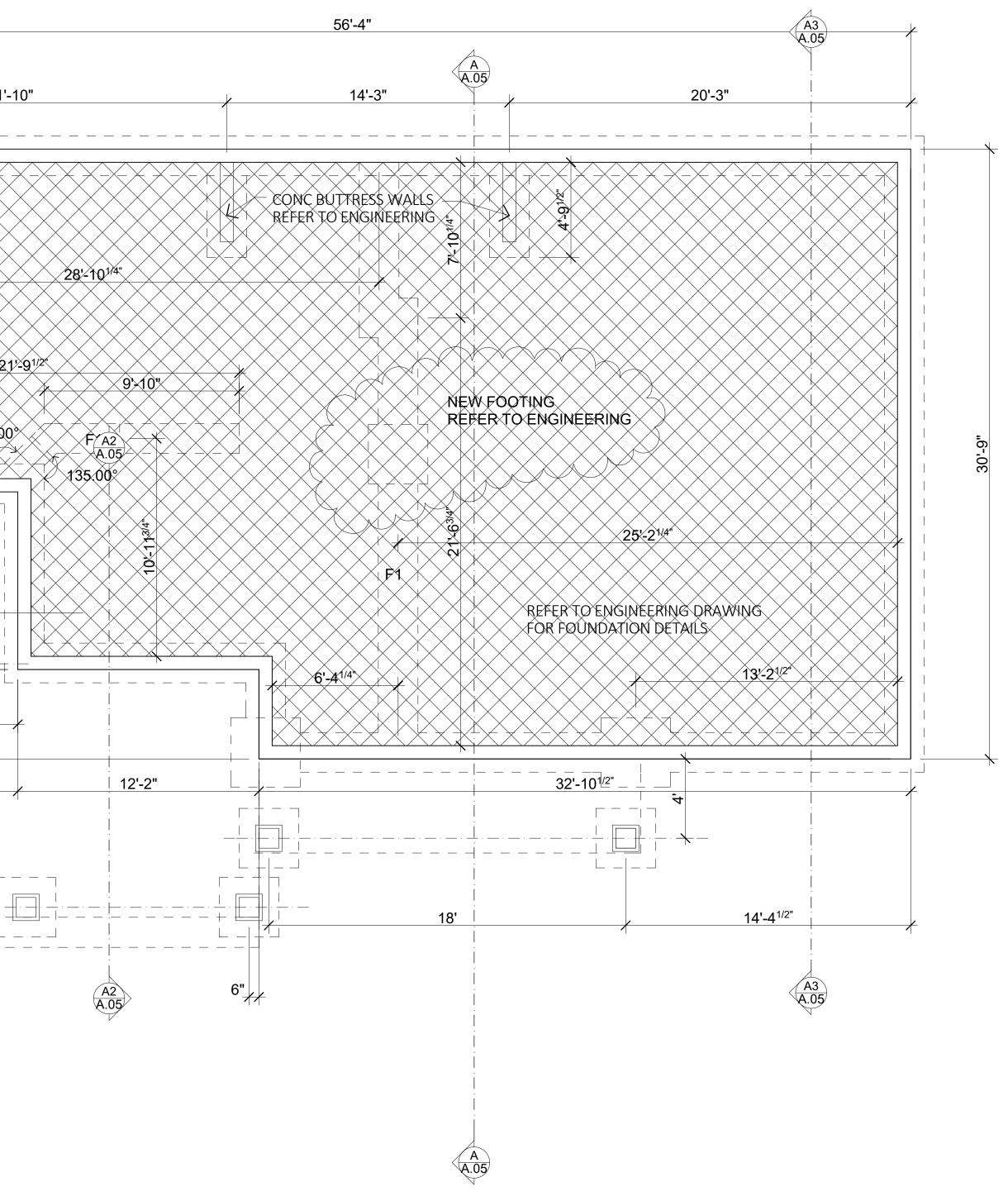
TRUSS FLOOR LAYOUT

FOOTINGS;

A.05 21'-10" 21'-91/2" 135.00 _|_ _ _ _ _ _ _ _ $\sqrt{D2}$ A.06 10'-9^{1/2"} _ [] __'· __|· __|· ___ · _ . ___ . ___ . ___ - - + - + + + + - +┤╵┟╾╤╼╧┤╶┼

(B) (A.05)

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REV	ISIONS		DATE
A	CHANGES TO FOUNDATION		21 AUG 2017
В	DELETE DECK STAIR, SLOPE GA GENERAL REVISION	RAGE TO FRONT,	23 AUG 2017
C D	REVISION OF ALL WINDOWS WINDOW REVISION & GENERAL		28 AUG 2017 27 SEPT 2017
NOT	ES		
ISSU NO. 1	JED ITEM FOR BUILDING PER		DATE 25 JULY 2017
S 2 5 beac	O 231 33 hspooner@telu cLeod Ave, Rossland, BC \ ROGER & JENN	G N 4 3 s.net /0G 1Y0 PR	OJECT NORTH
PROJEC	^{T:} NEW HOME 1840 PLANER ROSSLAND B		
DRAWIN	STITLE: FOUNDAT	ION PLAN	
SCALE: STATUS: JOB NO:	1/4"=1' (50% on 11 x 17) 1710	DRAWN BY: CB DRAWING NO: A.02	^{REV:}

PLOT DATE:

2017-10-04

FOUNDATION PLAN 1/4" = 1'-0"

FOOTINGS;

REFER ENGINEERING
COLUMNS;

REFER ENGINEERING

WALLS;

W1; 8" CONC FOUNDATION WALL

- W2; 8" CONC FOUNDATION WALL TOTAL HEIGHT 10', RETAINING UPTO 9' REFER ENGINEERING
 - 3" XPS FOAM INSUALTION ON EXTERIOR 2" X 4" STUDS @ 16" O.C. (OFFSET 1" INTERIOR) R24 ROXUL INSULATION

W3; 2" X 6" @ 16" O.C.

W4; 2" X 4" @ 16" O.C.(ALL INTERNAL WALLS)

FLOOR;

REFER TO ENGINEERED FLOOR

REFER TO ENGINEERED DECK

BEAMS;

REFER TO ENGINEERED FLOOR DETAILS FOR ENGINEERED BEAMS

LEDGER;

2" X 12" LEDGER WITH SOLID BACKING FIX TO WALL WITH 5/8" LAG BOLT STAGGERED AT 16" O.C

HEADER;

IF NOT NOTED 2 X 2" X 10" SUPPORTED BY DOUBLE STUDS

ALSO REFER TO HEADERS IN BOUNDARY TRUSS FLOOR LAYOUT

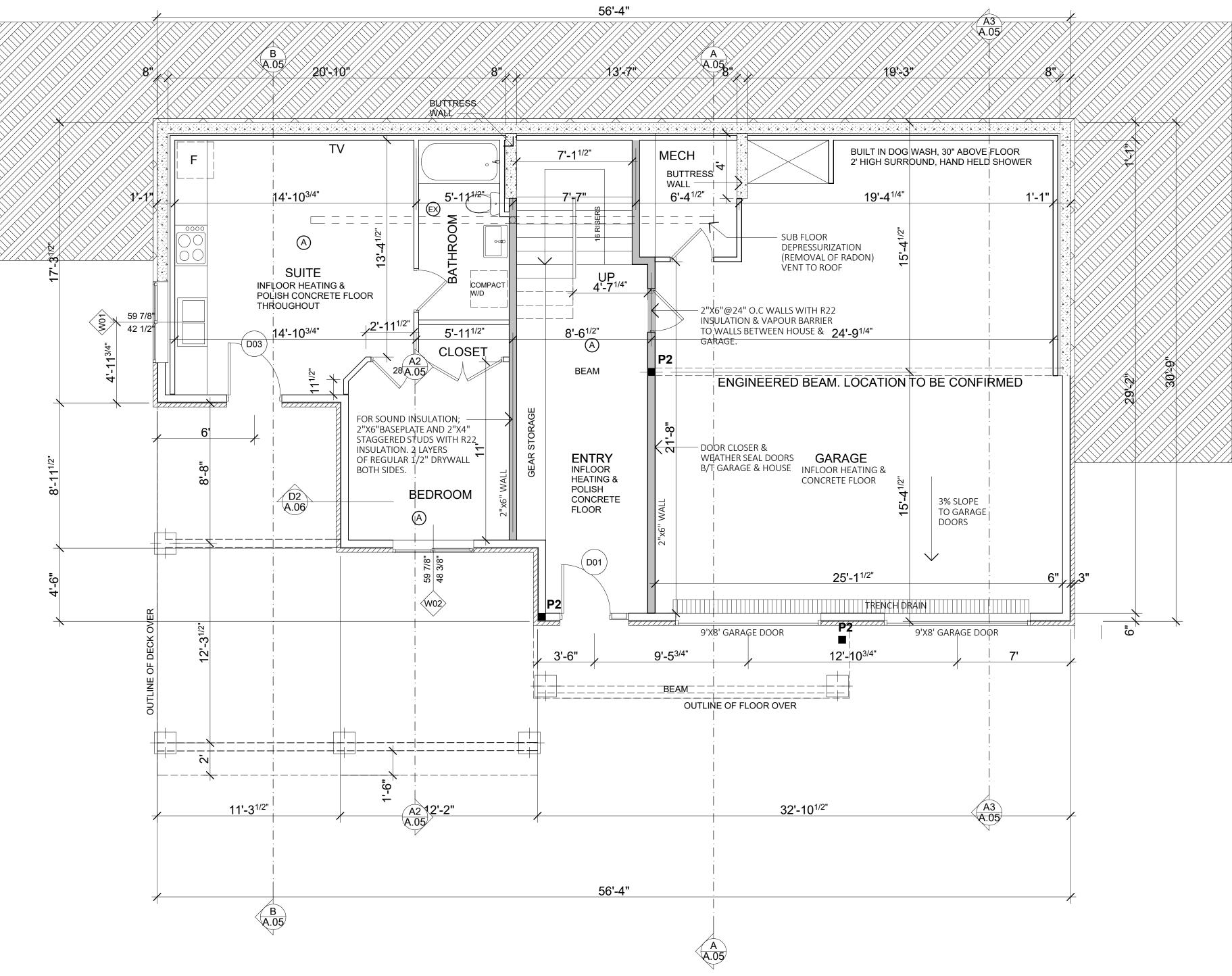
ROOF;

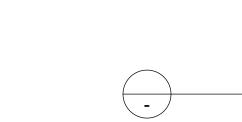
REFER TO ROOF TRUSSES FROM TRUSS MANUFACTURER

POSTS;

P1; BUILT UP POST 3 PLY 2" X 4"

P2; BUILT UP POST 4 PLY 2" X 6" P3; 10" x 10" GLULAM POST







REV	ISIONS]	DATE
А	CHANGES TO FOUNDATION	2	1 AUG 2017
В	DELETE DECK STAIR, SLOPE GA	ARAGE TO FRONT, 2	3 AUG 2017
C D	REVISION OF ALL WINDOWS		8 AUG 2017 7 SEPT 2017
NOT			
	ES INSTUCTION TO CONFO E 2012 BC BUILDING COI		
CONFI	RM ALL DIMENSIONS ON	I SITE	
	S NOTED OTHERWISE (DM (INTERNAL)	CENTER WINDOWS	6
A	INTERCONNECTED SM CARBON MONOXIDE A		
(EX)	EXHAUST FAN		
MUST SIZE C LESS BEFOI OWNE SYSTE & WHE AIR TC	DOM WINDOWS; HAVE UNOBSTRUCTED DF 0.35m ² (3.77 _{SF}) WITH N THAN 380 _{MM} (15") RE CONSTRUCTION CC ER TO CONFIRM MECH EMS FOR HEATING & VE ERE REQUIRED PROVIE D ACHIEVE A POSITIVE RESSURE INTERNALLY	IO DIMENSION IMMENCES ANICAL ENTILATING	
	ATION REQUIREMENTS SUILDINGS WITH AN HR		
ISSL	JED		
N0.	ITEM	[DATE
1	FOR BUILDING PER	MIT 2	25 JULY 2017
6	each		
Sp	DOONE		
beac	0 2 3 1 3 3 hspooner@telu cLeod Ave, Rossland, BC \	s.net	DJECT NORTH
CLIENT:	ROGER & JENN	NIFER MOOF	RE
PROJEC	[™] NEW HOME 1840 PLANER ROSSLAND B	-	
DRAWIN	G TITLE: BASESME	NT PLAN	
0011-		-	
STATUS:	1/4"=1' (50% on 11 x 17)	DRAWN BY: CB	
JOB NO:	1710	DRAWING NO:	REV:
	🗸	H.U3	

PLOT DATE:

2017-10-04

Т	PLAN	
=	1'-0"	

FOOTINGS; REFER ENGINEERING COLUMNS; REFER ENGINEERING WALLS; W1; 8" CONC FOUNDATION WALL W2; 8" CONC FOUNDATION WALL TOTAL HEIGHT 10', RETAINING UPTO 9' REFER ENGINEERING **3" XPS FOAM INSUALTION ON EXTERIOR** 2" X 4" STUDS @ 16" O.C. (OFFSET 1" INTERIOR) R24 ROXUL INSULATION W3; 2" X 6" @ 16" O.C. W4; 2" X 4" @ 16" O.C.(ALL INTERNAL WALLS) FLOOR; REFER TO ENGINEERED FLOOR REFER TO ENGINEERED DECK BEAMS; REFER TO ENGINEERED FLOOR DETAILS FOR ENGINEERED BEAMS LEDGER; 2" X 12" LEDGER WITH SOLID BACKING FIX TO WALL WITH 5/8" LAG BOLT STAGGERED AT 16" O.C HEADER; IF NOT NOTED 2 X 2" X 10" SUPPORTED BY DOUBLE STUDS

ALSO REFER TO HEADERS IN BOUNDARY

REFER TO ROOF TRUSSES FROM TRUSS

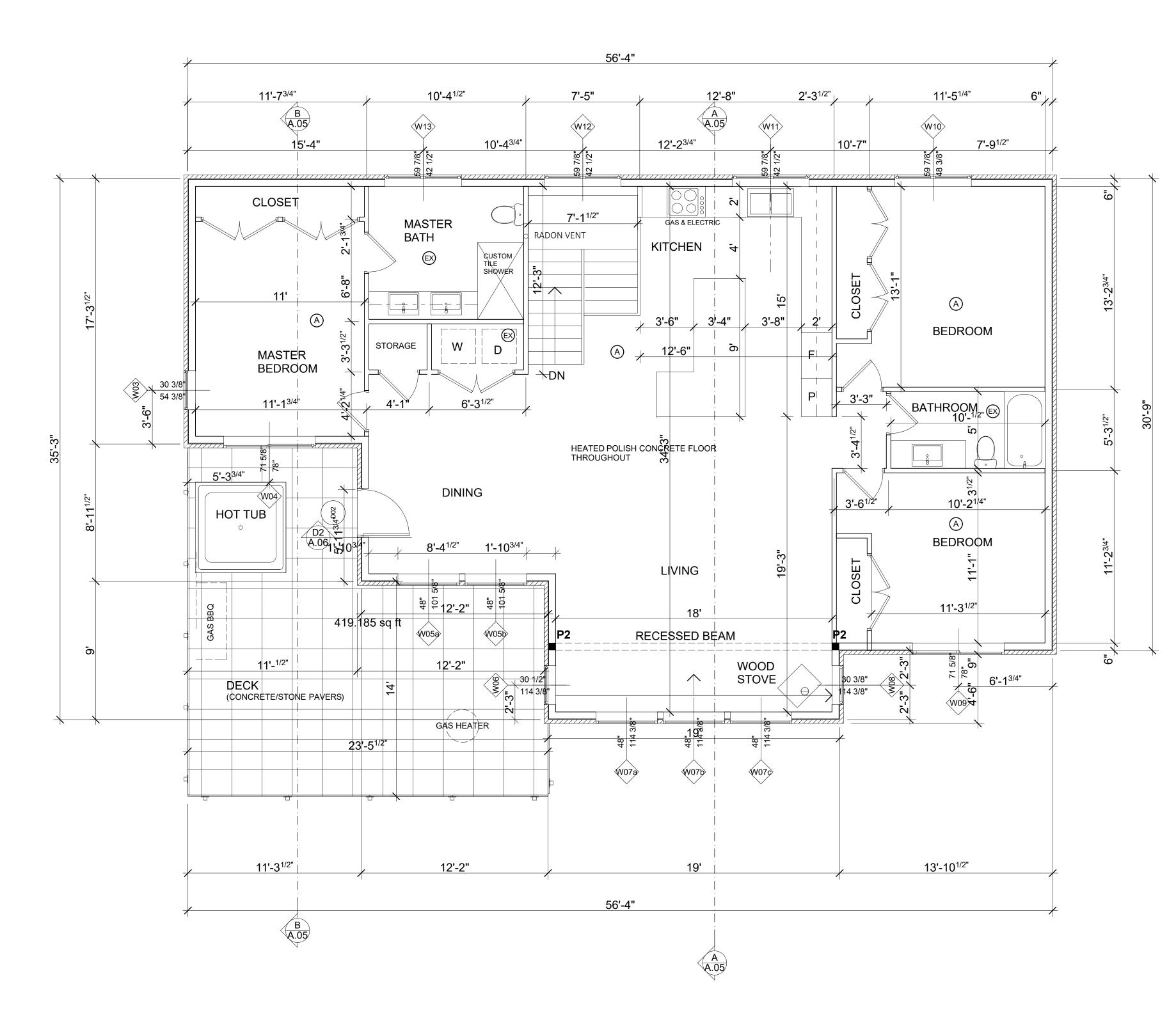
P1; BUILT UP POST 3 PLY 2" X 4" P2; BUILT UP POST 4 PLY 2" X 6" P3; 10" x 10" GLULAM POST

TRUSS FLOOR LAYOUT

MANUFACTURER

ROOF;

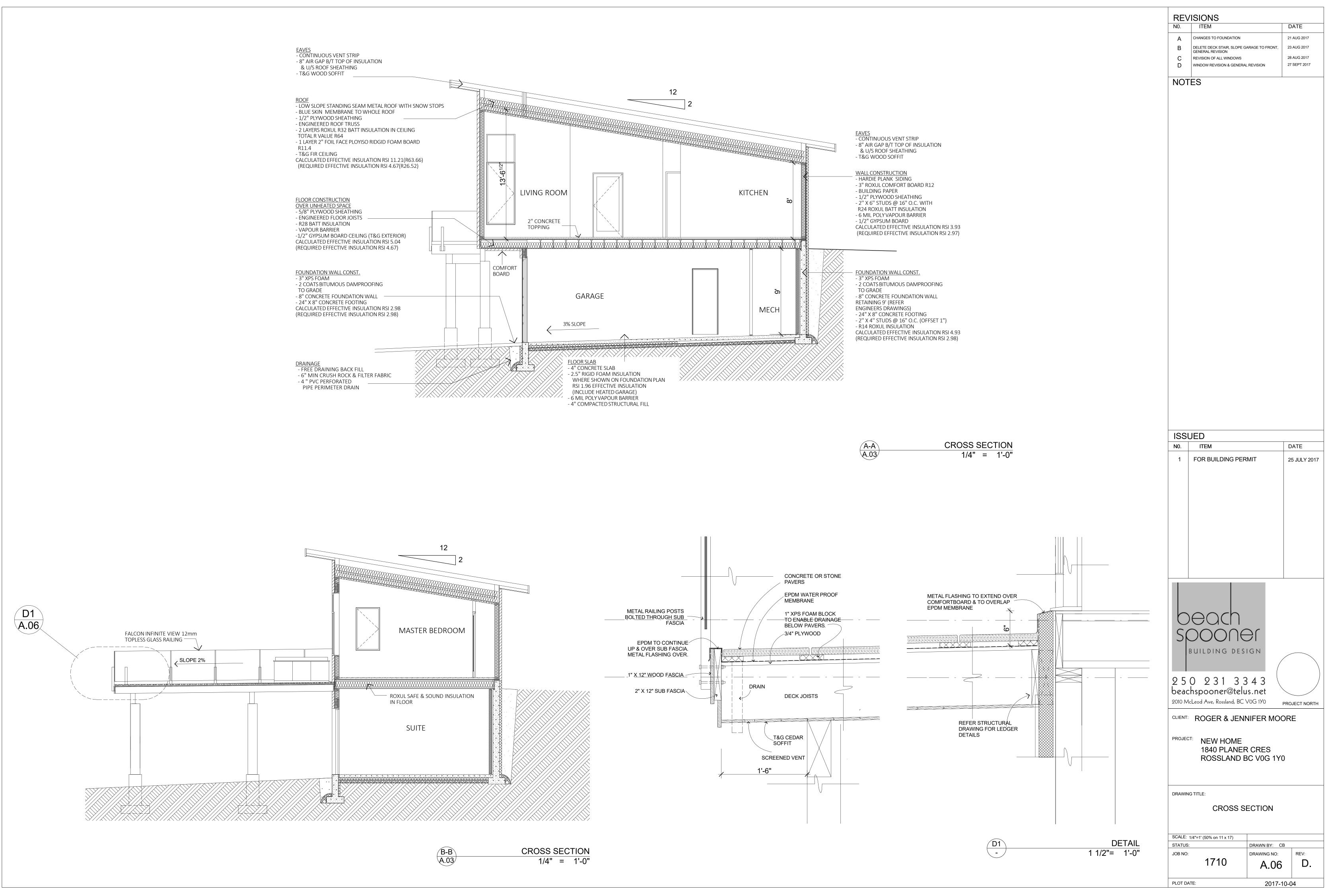
POSTS;

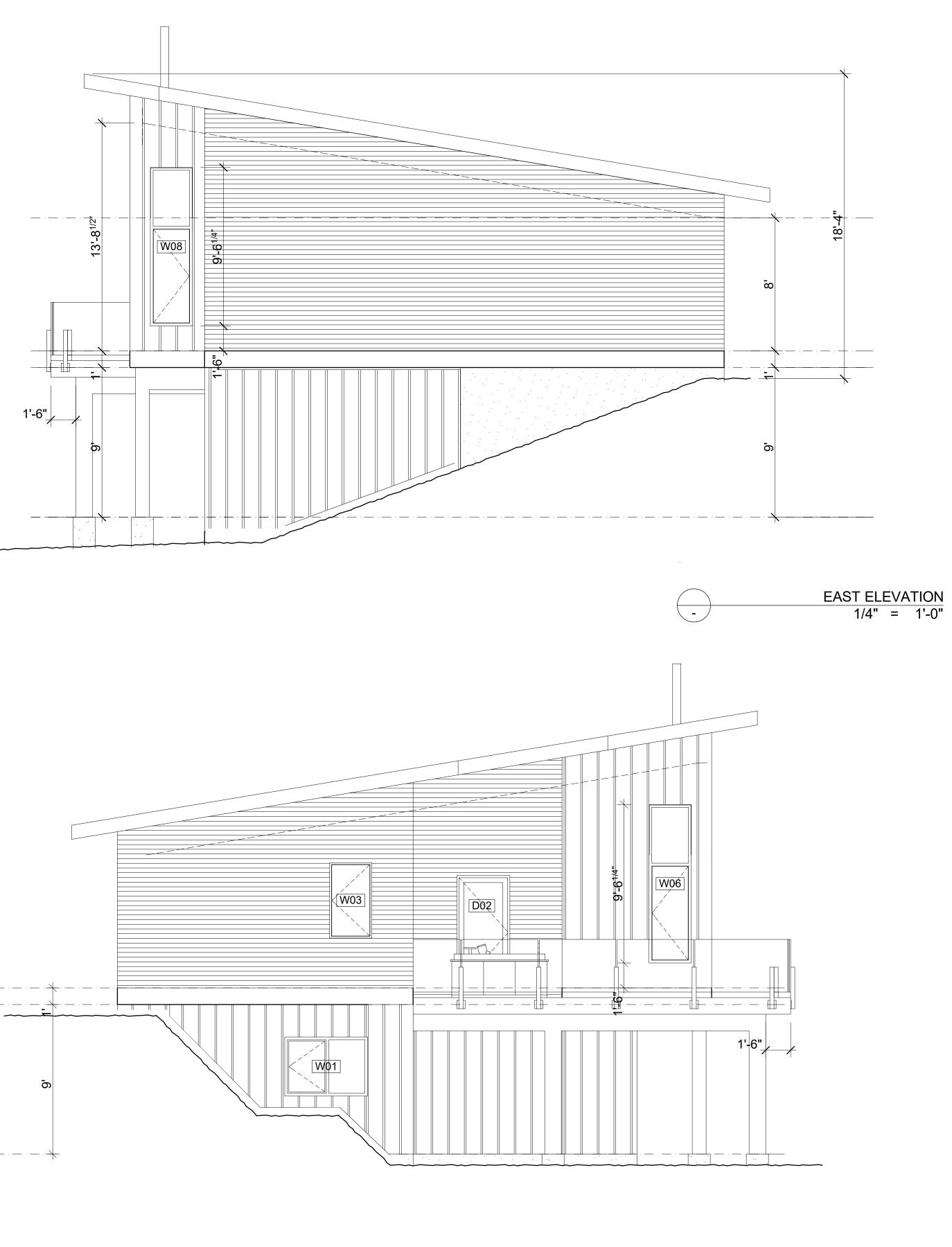


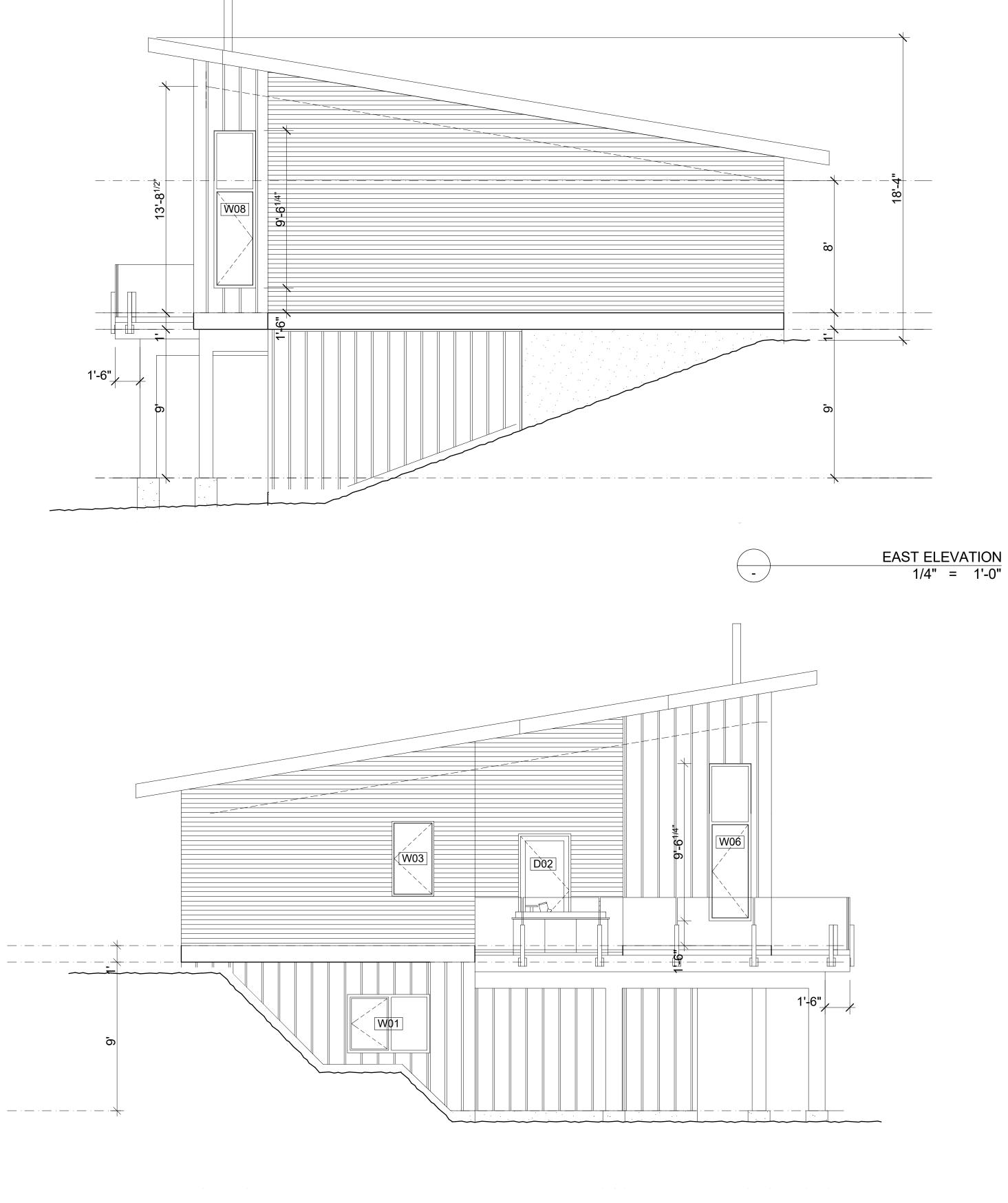
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NO. A B C	ITEM	DATE
В	CHANGES TO FOUNDATION	21 AUG 2017
	DELETE DECK STAIR, SLOPE GARAGE TO FRONT,	
-	GENERAL REVISION REVISION OF ALL WINDOWS	28 AUG 2017
D	WINDOW REVISION & GENERAL REVISION	27 SEPT 2017
NOT	ES	
ISSL NO. 1	JED ITEM FOR BUILDING PERMIT	DATE 25 JULY 2017
SC E 2 5 beac	O 231 3343 hspooner@telus.net	
2 5 C 2010 Ma CLIENT:	DOONOG BUILDING DESIGN 0 231 3343 hspooner@telus.net ELeod Ave, Rossland, BC VOG 1YO ROGER & JENNIFER MC	PROJECT NORTH
2 5 C 2010 Ma	DOONOG BUILDING DESIGN 0 231 3343 hspooner@telus.net ELeod Ave, Rossland, BC VOG 1YO ROGER & JENNIFER MC	ORE
2 5 C 2010 Ma CLIENT:	DOONOG BUILDING DESIGN 0 231 3343 hspooner@telus.net ELeod Ave, Rossland, BC VOG 1YO ROGER & JENNIFER MC	DORE Y0
SCALE: 1	OOOOOOOOOOOOOOOOOOOOOOOOOOOOOOOOOOOOOO	DORE Y0
S C E 2010 Ma CLIENT: PROJECT	OOOOOOOOOOOOOOOOOOOOOOOOOOOOOOOOOOOOOO	ООRE /O
SCALE: 1 STATUS:	OOOOOOOOOOOOOOOOOOOOOOOOOOOOOOOOOOOOOO	

MAIN FLOOR PLAN 1/4" = 1'-0"





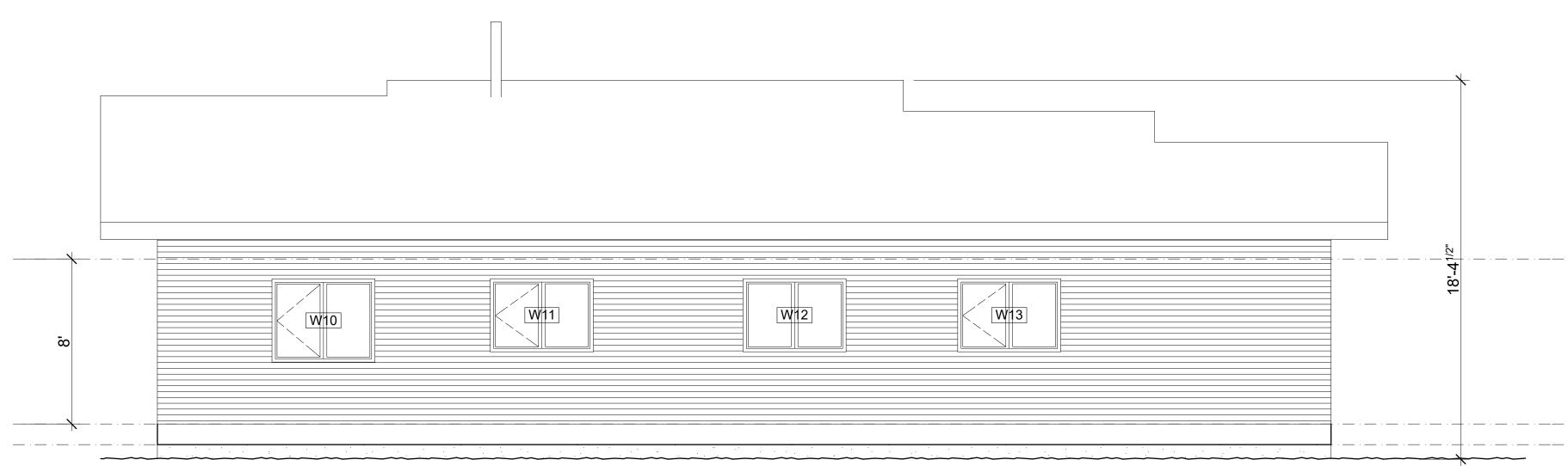


WEST ELEVATION 1/4" = 1'-0"

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	ISIONS		DATE
N0.	CHANGES TO FOUNDATION		21 AUG 2017
В	DELETE DECK STAIR, SLOPE GA GENERAL REVISION	ARAGE TO FRONT,	23 AUG 2017
C D	REVISION OF ALL WINDOWS WINDOW REVISION & GENERAL	REVISION	28 AUG 2017 27 SEPT 2017
NOT	FS		
MAT	ERIALS;		
ROO	F; LOW SLOPE ASPHALT	SHINGLE	
FASC	IA; METAL FASCIA		
	IT; STAINED T&G	_	
	IG; HARDIE PLANK SIDIN DOWS; METAL / VINYL	G	
	S; STAINED WOOD		
	,		
ISSU NO.			DATE
1	FOR BUILDING PER	MIT	25 JULY 2017
6	each		
E	BUILDING DESI	GN	
250	0 2 3 1 3 3	43	
beac	hspooner@telu	s.net	
2010 Ma	Leod Ave, Rossland, BC \	/UG 190 F	PROJECT NORTH
CLIENT:	ROGER & JENN	NIFER MOC	DRE
PROJECT	^{r:} NEW HOME		
	1840 PLANER	-	
	ROSSLAND B	C VOG 1YC)
DRAWING			
	ELEVATIO	NS	
SCALE: 1 STATUS:	/4"=1' (50% on 11 x 17)	DRAWN BY: CE	3
JOB NO:		DRAWING NO:	REV:
	1710	A.07	D.
PLOT DA	re:	2017-1	0-04





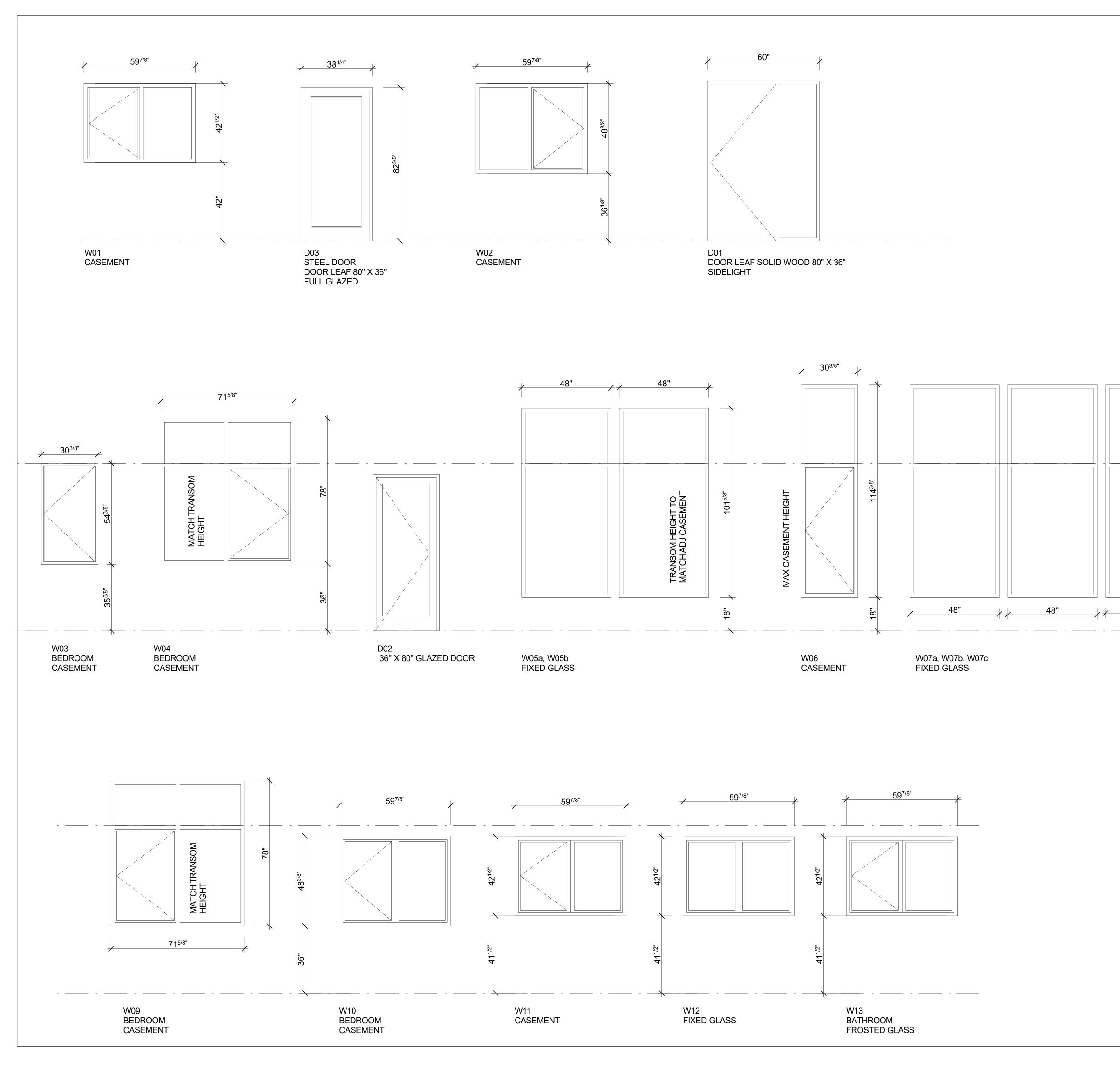




	ISIONS ITEM	DATE
A B	CHANGES TO FOUNDATION DELETE DECK STAIR, SLOPE GARAGE TO FRONT,	21 AUG 2017 23 AUG 2017
B C	GENERAL REVISION REVISION OF ALL WINDOWS	23 AUG 2017 28 AUG 2017
D	WINDOW REVISION & GENERAL REVISION	27 SEPT 2017
ROOI FASC SOFF SIDIN WINI	ERIALS; F; LOW SLOPE ASPHALT SHINGLE IA; METAL FASCIA IT; STAINED T&G IG; HARDIE PLANK SIDING & HARDIE F DOWS; METAL / VINYL S; STAINED WOOD	J 30ARD & BATT
ISSU NO. 1	JED ITEM FOR BUILDING PERMIT	DATE 25 JULY 20
SC	EQCODESIGN DOODESIGN 2 2 3 1 3 3 4 3	
2 5 (beach 2010 Ma	DOONEC BUILDING DESIGN D 231 3343 hspooner@telus.net Leod Ave, Rossland, BC VOG 1YO	PROJECT NOR
S E 2 5 0 beac	DOONOC AUILDING DESIGN D 231 3343 hspooner@telus.net	PROJECT NOR
2 5 (beach 2010 Ma	DOONOC BUILDING DESIGN D 231 3343 hspooner@telus.net Leod Ave, Rossland, BC VOG 190 ROGER & JENNIFER MO	PROJECT NOR
S C B 2 5 C beac 2010 Ma CLIENT:	DOONOC UILDING DESIGN D 2 3 1 3 3 4 3 hspooner@telus.net Leod Ave, Rossland, BC VOG 1YO ROGER & JENNIFER MO	PROJECT NOR
S G B 2 5 G beac 2010 Ma CLIENT: PROJECT	DOONOC UILDING DESIGN D 2 3 1 3 3 4 3 hspooner@telus.net Leod Ave, Rossland, BC VOG 1YO ROGER & JENNIFER MO	PROJECT NOR
S C Beac 2010 Mc CLIENT: PROJECT	DOOOG UILDING DESIGN 0 231 3343 hspooner@telus.net Leod Ave, Rossland, BC VOG 1YO ROGER & JENNIFER MO ROGER & JENNIFER MO	PROJECT NOR ^T ORE
SCALE: 1	OOOOOC UILDING DESIGN 0 231 3343 pooner@telus.net Leod Ave, Rossland, BC VOG 1Y0 ROGER & JENNIFER MO ROGER & JENNIFER MO * NEW HOME 1840 PLANER CRES ROSSLAND BC VOG 1Y ************************************	

SOUTH ELEVATION 1/4" = 1'-0"

NORTH ELEVATION 1/4" = 1'-0"



		RO E WIN PLYG SERI BLAG CHES TRIP	ITEM CHANGES TO FOUNDATION DELETE DECK STAIR, SLOPE GENERAL REVISION REVISION OF ALL WINDOWS WINDOW REVISION & GENER DOWS & DOORS VIEW DOWS & DOORS VIEW DOWS ARE; SEM TRIPLE GLAZED SIG ES WITH HEM-FIR CASI CK METAL EXTERIOR STNUT BRONZE HARDV PLE GLAZE WINDOWS SS TECHNOLOGY; TG2 V	RAL REVISION ED FROM OUTSID GNATURE NG. VARE	
114 ^{3/8}	W08 CASEMENT			θſ	DATE 25 JULY 2017
		2010 Ma CLIENT: PROJEC	1840 PLANE ROSSLAND	NIFER MOC)
		STATUS: JOB NO:		DRAWN BY: C	B REV: