

STRATA PLAN KAS3994

Deposited and Registered in the Land Title Office at Kamloops, B.C., this 12 day of January, 2012.

L. Blaschuk
Registrar **LB477586**
NY

Rem. A
PLAN 35777

SUMMIT DRIVE

Rem. A
PLAN 35435

STRATA PLAN OF LOT A, Sec 6, Tp 20, R 17, W6M KDYD, PLAN KAP92519.

CITY OF KAMLOOPS

BCGS 92 | .069



SCALE 1:250 All distances are in metres

THE INTENDED PLOT SIZE OF THIS PLAN IS 560mm IN WIDTH BY 432mm IN HEIGHT (C SIZE) WHEN PLOTTED AT A SCALE OF 1:250.

CIVIC ADDRESS :
#1370 SUMMIT DR.,
KAMLOOPS, B.C.

GRID BEARINGS ARE DERIVED FROM PLAN KAP92511 OF INTEGRATED SURVEY AREA NO. 23 KAMLOOPS NAD23(CSRS). THIS PLAN SHOWS HORIZONTAL GROUND-LEVEL DISTANCES EXCEPT WHERE OTHERWISE NOTED. TO COMPUTE GRID DISTANCES, MULTIPLY GROUND-LEVEL DISTANCES BY COMBINED FACTOR 0.9999498.

LEGEND

-STANDARD IRON POST FOUND
-LEAD PLUG FOUND
- Wt ...DENOTES WITNESS

NOTE : BUILDING DIMENSIONS ARE TO OUTSIDE OF EXTERIOR WALLS.

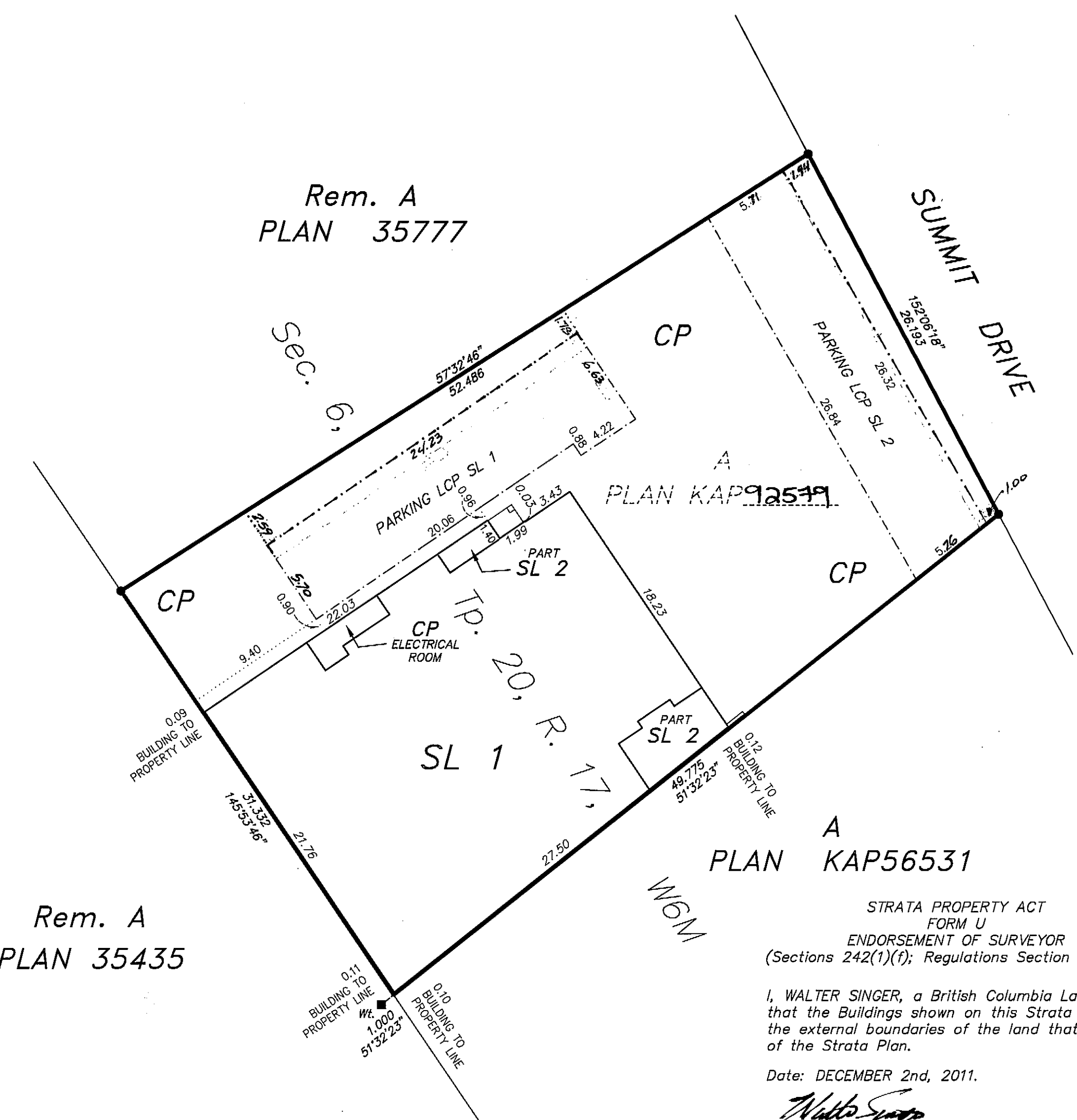
NOTE:
THIS PLAN SHOWS ONE OR MORE WITNESS POSTS WHICH ARE SET ALONG THE PRODUCTION OF THE PROPERTY BOUNDARY UNLESS OTHERWISE NOTED.

THIS PLAN LIES WITHIN THE THOMPSON-NICOLA REGIONAL DISTRICT.

I, W.H. SINGER, A BRITISH COLUMBIA LAND SURVEYOR, CERTIFY THAT I WAS PRESENT AT AND PERSONALLY SUPERINTENDED THE SURVEY REPRESENTED BY THIS PLAN, AND THAT THE SURVEY AND PLAN ARE CORRECT. THE FIELD SURVEY WAS COMPLETED ON THE 2nd DAY OF DECEMBER, 2011. THE PLAN WAS COMPLETED AND CHECKED, AND THE CHECKLIST FILED UNDER #131156, ON THE 14th DAY OF DECEMBER, 2011.

Walter Singer
W.H. SINGER BCLS

SUB00727



PLAN KAP56531

STRATA PROPERTY ACT
FORM U
ENDORSEMENT OF SURVEYOR
(Sections 242(1)(f); Regulations Section 14.5 (5))

I, WALTER SINGER, a British Columbia Land Surveyor, certify that the Buildings shown on this Strata Plan are within the external boundaries of the land that is the subject of the Strata Plan.

Date: DECEMBER 2nd, 2011.

Walter Singer
WALTER SINGER B.C.L.S.

STRATA PROPERTY ACT
FORM T
ENDORSEMENT BY APPROVING AUTHORITY
(SECTION 242, REGULATION SECTION 14.5 (4))

I CERTIFY THAT THE CONVERSION OF THE BUILDINGS INCLUDED IN THIS STRATA PLAN HAVE BEEN APPROVED UNDER SECTION 242 OF THE STRATA PROPERTY ACT.
DATED THIS 10th DAY OF January, 2012.

[Signature]
SIGNATURE OF AUTHORIZED SIGNATORY OF APPROVING AUTHORITY
CITY OF KAMLOOPS

WITNESS
[Signature]
NAME
[Signature]
PRINT
ELMER VERNON EPP
Barrister & Solicitor
300, 125 - 4th AVENUE
KAMLOOPS, BC V2C 3N3
OCCUPATION

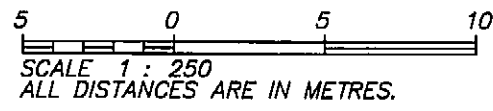
OWNER
W 830 HOLDINGS LTD.
INC. / NO. 395240
[Signature]
AUTHORIZED SIGNATORY
W.H. EPP
AUTHORIZED SIGNATORY

ALLNORTH LAND SURVEYORS
#301-7 ST. PAUL STREET WEST,
KAMLOOPS, BC, V2C 1E9
TEL: 250-374-5331 FAX: 250-374-5332
DRAWN BY: WS/EG
DRAWING NO: 11LS0556 STR 1
FILE NO: 11LS0556
FB: 305 P: 93-96

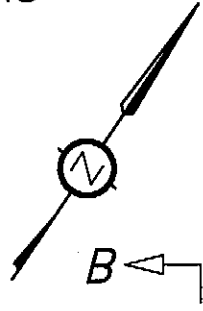
ORIGINAL

FLOOR PLANS AND SECTIONS
STRATA LOTS 1 & 2

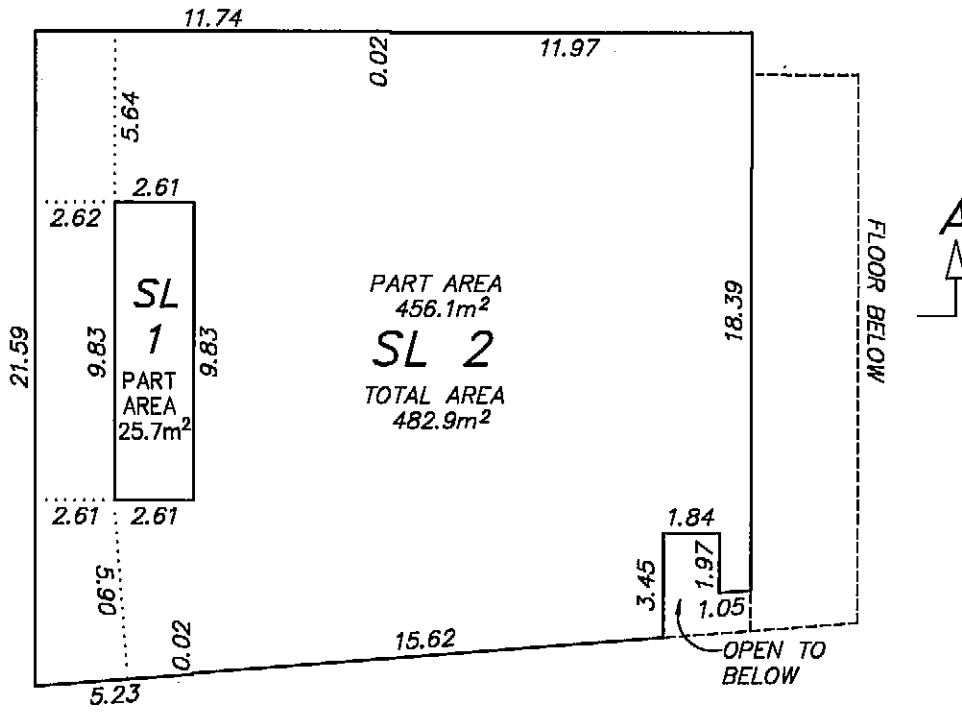
STRATA PLAN KAS3994



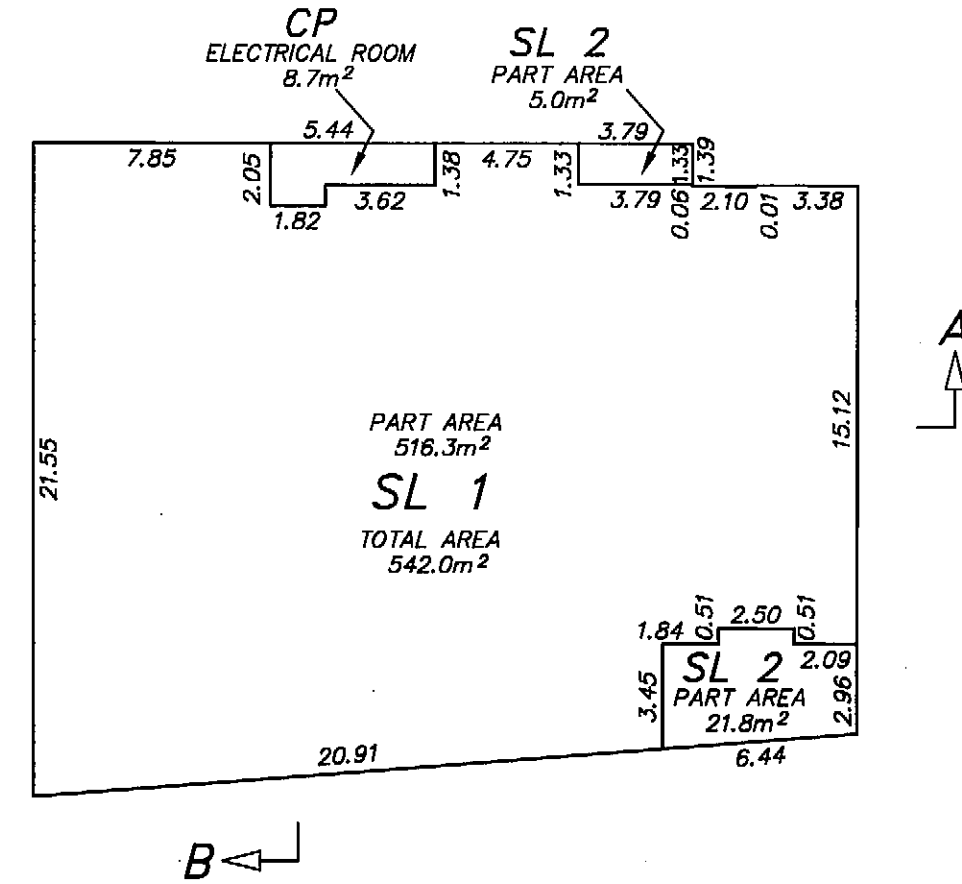
ALL DISTANCES ARE TO CENTRELINE OF WALLS
 SL STRATA LOT
 CP COMMON PROPERTY
 m² SQUARE METRES
 PT PART AREA



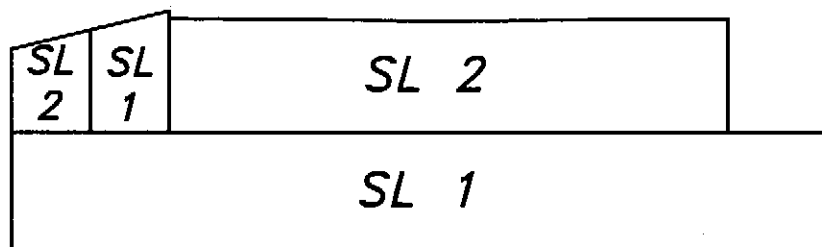
UPPER FLOOR



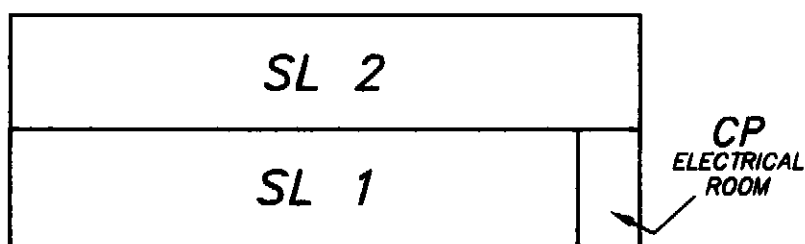
MAIN FLOOR



SECTION A-A



SECTION B-B



11LS0559 STR 1.dwg

SUB00727

DATE : DECEMBER 2nd, 2011, B.C.L.S.

ORIGINAL