



TOWNHOUSE & APARTMENT TO BE ERECTED AT LOT 357 IRONSHORE, ST. JAMES

KASH DRAFTING SERVICE

Architectural Drawing, Architectural Printing Services, 3D Modeling & Design Consultation

Montego Bay P.O # 1, St. James

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876.861.8143/ 876.345.4263

GENERAL PLUMBING NOTES:

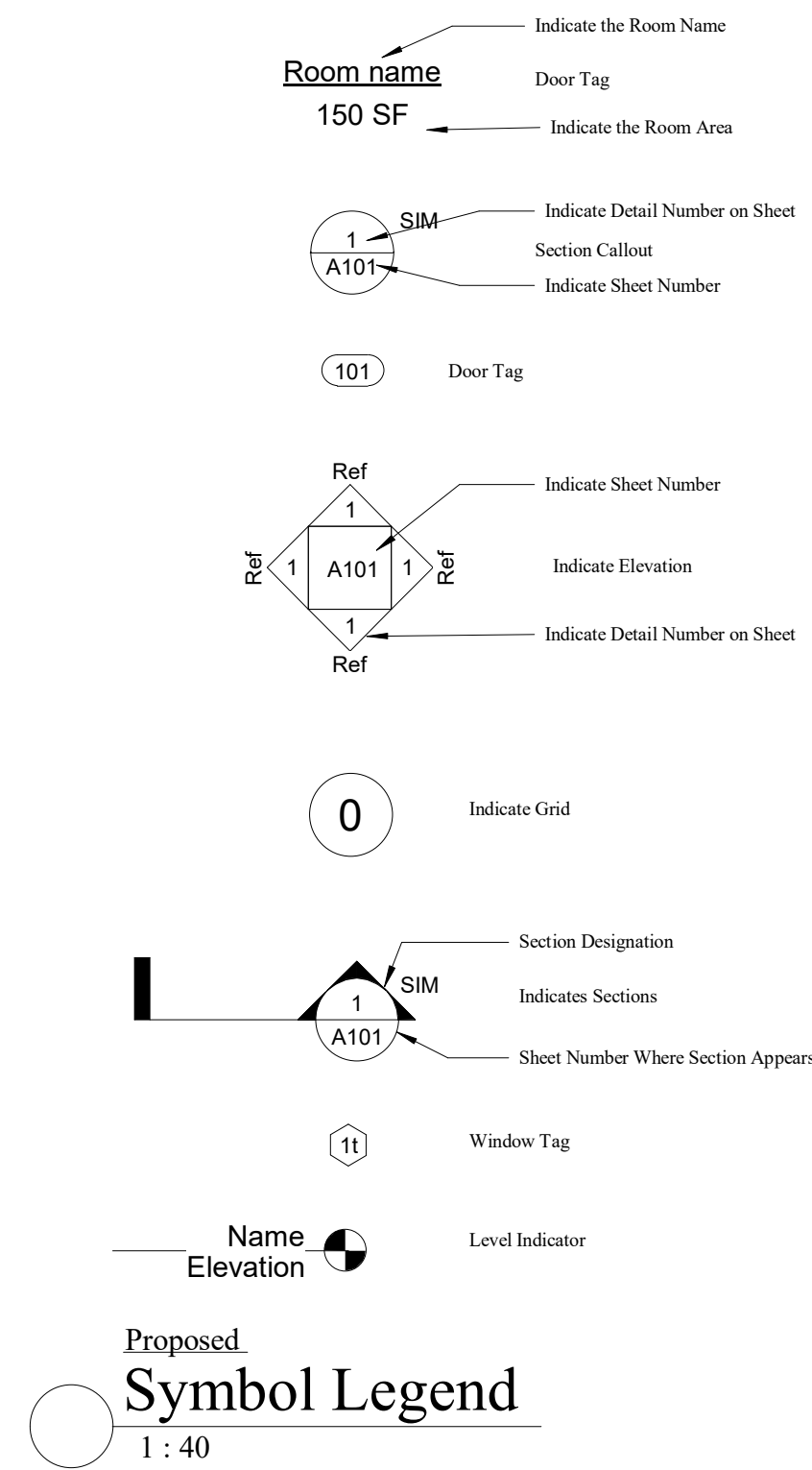
1. Plumbing layout does not provide exact locations of pipe systems, equipment and fixtures. Before installing any piping or equipment, the contractor shall layout his work at the site using shop drawings of actual equipment to be finished. The contractor shall provide required falls and allow to avoid obstructions.
2. All cold water pipes shall be PVC schedule 40 or better.
3. Supply lines may be laid in the middle of concrete slabs or walls. Cover required must be maintained (see structural drawings).
4. Waste and soil lines below slab shall be provided with adequate hangers no less than 1219mm (48") centers.
5. Each plumbing fixture connected to a waste or soil lined shall be provided with an independently connected vented water-seal trap placed as close to the fixture outlet as possible.

ROOF DRAINAGE

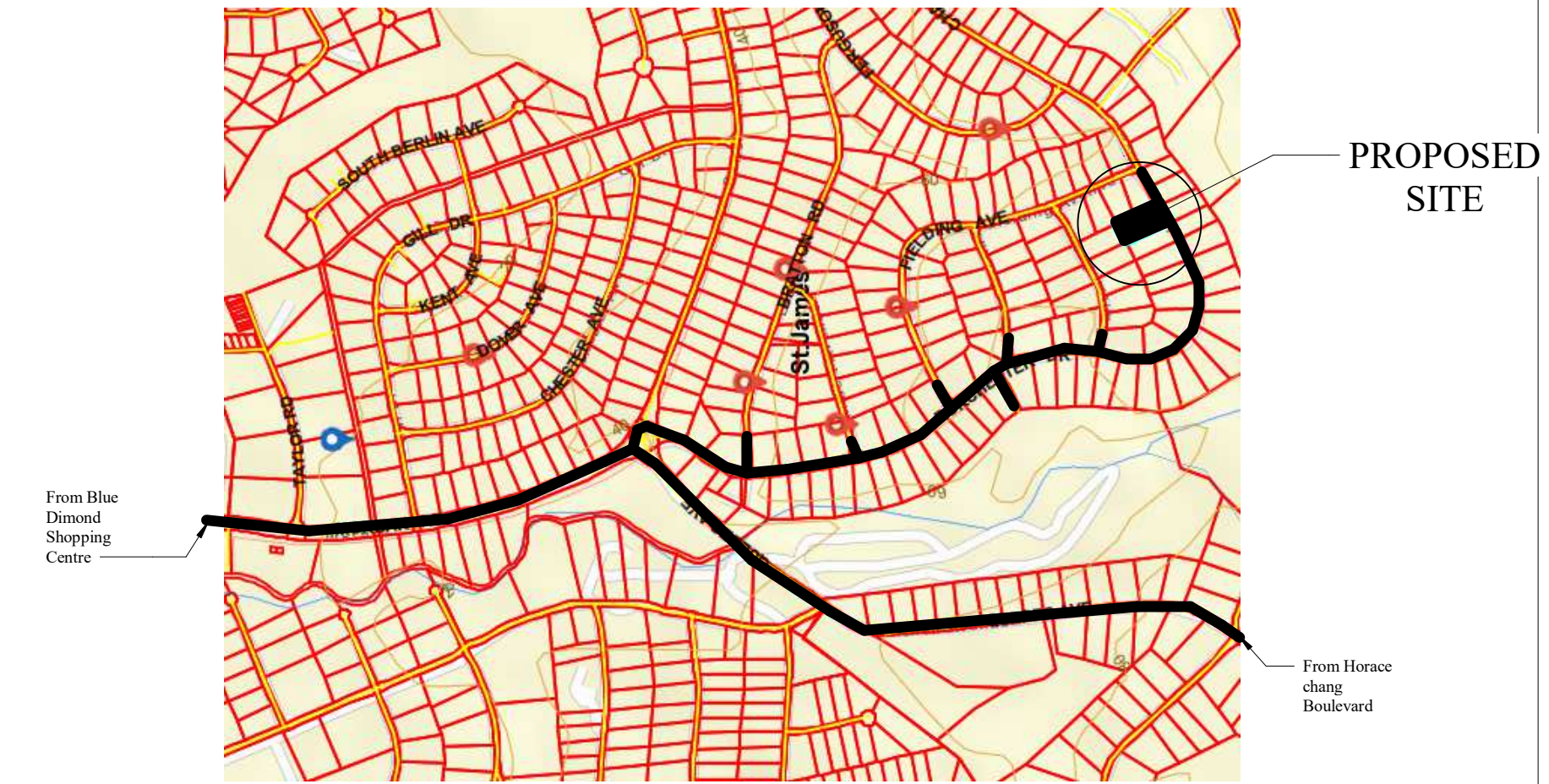
1. See roof drain details for fall requirements in screed.
2. Minimum roof screed thickness 25mm (1").
3. Provide steel float finish to roof screed.
4. Roof slope may be provided in slab if preferred by contractor.

TRAPS

1. No "P-Trap" shall be larger than the fixture drain to which it is connected.
2. Each fixture trap shall have a water seal of not less than 50mm (2") and not more than 100mm (4") unless otherwise specified.
3. Horizontal piping of 75mm (3") Dia. and less, shall be installed with a uniform fall of 3mm per 300mm (1/8" per foot), and 6mm per 305mm (1/4" per foot) when above 75mm (3") diameter. Each fixture trap, except those integral with fixtures, shall have an accessible trap screw of ample size & which shall be protected by the water seal.
4. A clean out and manhole shall be installed at each change in direction of drain greater than 60°.
5. A clean out shall be provided at or near the base of each vertical waste or soil stack.
6. When installed below gravel, cleanouts shall be extended to or above the finished grade level.
7. Cleanouts shall be of the same nominal size as the pipes.



LOCATION MAP: [N.D.T.S]



DRAWING SHEETS:

Sheet List			
Sheet Number	Sheet Name	Checked By	Drawn By
A0	COVER	K.D.S	Kaydrian Kerr
A0	DATA	K.D.S	Kaydrian Kerr
A1	Site Plan	K.D.S	Kaydrian Kerr
A2	Site Car Entry	K.D.S	Kaydrian Kerr
A3	Gym & Townhouse Basement Plan	K.D.S	Kaydrian Kerr
A4	Townhouse Ground Floor Plan	K.D.S	Kaydrian Kerr
A5	Townhouse Private Amenity First Floor	K.D.S	Kaydrian Kerr
A6	Apt. Ground, First Floor, Pool with Gazebo & Guard House Plans	K.D.S	Kaydrian Kerr
A7	Elevations	K.D.S	Kaydrian Kerr
A8	Elevations	K.D.S	Kaydrian Kerr
A9	Elevations	K.D.S	Kaydrian Kerr
A10	Sections & Stairs Plan	K.D.S	Kaydrian Kerr
A11	Sections	K.D.S	Kaydrian Kerr
A12	Sections	K.D.S	Kaydrian Kerr
A13	Sections	K.D.S	Kaydrian Kerr
A14	Section	K.D.S	Kaydrian Kerr
E1	Fire Site Plan	K.D.S	Kaydrian Kerr
E2	Townhouse Basement Fire Plan	K.D.S	Kaydrian Kerr
E3	Townhouse Ground Floor Fire Plan	K.D.S	Kaydrian Kerr
E4	Townhouse Roof Fire Plan	K.D.S	Kaydrian Kerr
E5	Fire Hose, Fire Hydrant Details	K.D.S	Kaydrian Kerr
E6	On-Site Fire Hydrant N.D.T.S	K.D.S	Kaydrian Kerr
E7	Apartments Fire Plan with JOMY Ladder Details	K.D.S	Kaydrian Kerr
E8	Jomy Ladder Manual Deploy With Windows & Doors Tags	K.D.S	Kaydrian Kerr
E9	Townhouse Windows & Doors Tags	K.D.S	Kaydrian Kerr
E10	Exit/Entrance Door	K.D.S	Kaydrian Kerr
E11	Exit/Balcony Door	K.D.S	Kaydrian Kerr
M1	Townhouse Basement Electrical Plan	K.D.S	Kaydrian Kerr
M2	Townhouse Ground & Roof Floor Electrical Plan	K.D.S	Kaydrian Kerr
M3	Apartment Ground, First Pool & Gazebo Floor Electrical Plan	K.D.S	Kaydrian Kerr
M4	Townhouse Basement Drainage Plan	K.D.S	Kaydrian Kerr
M5	Townhouse Ground Floor Drainage Plan	K.D.S	Kaydrian Kerr
M6	Townhouse Roof Drainage Plan	K.D.S	Kaydrian Kerr
M7	Apartments Drainage & Water Connection Plans	K.D.S	Kaydrian Kerr
M8	Townhouse Basement Water Connection Plan	K.D.S	Kaydrian Kerr
M9	Townhouse Ground Floor Water Connection Plan	K.D.S	Kaydrian Kerr
M10	Townhouse First Floor Water Connection Plan	K.D.S	Kaydrian Kerr
M11	Apartment First Floor Water Connection Plan	K.D.S	Kaydrian Kerr
M12	Guard House Drywall Details 1	K.D.S	Kaydrian Kerr
M13	Drywall Suspension Detail	K.D.S	Kaydrian Kerr
M14	Plumbing Fixtures Layout & Elevations	K.D.S	Kaydrian Kerr
M15	Plumbing Fixtures Layout	K.D.S	Kaydrian Kerr
M16	Plumbing Fixtures Elevations	K.D.S	Kaydrian Kerr
M17	Roof & Details	K.D.S	Kaydrian Kerr

GENERAL NOTES:

1. All drawings and written material appearing herein constitute the and unpublished work of KASH'S DRAFTING SERVICE and may not be used or disclosed without expressed written consent of the architect
2. All dimensions should be checked by the contractor before and during construction. DO NOT scale drawings, only given dimensions must be used, if any discrepancies are noted report it to the architect immediately.
3. Drawing must not be scale, the drawing is to be read in conjunction with structural, mechanical, and electrical and/or any other consultants documentation as may be applicable to the project.
4. Sewage & waste should be sent to Septic Tank, Reed Bed or Absorption Pit stated on the plan, unless stated other wise.
5. Pipes that cross roadways shall be encased in 1:3:6 Concrete Mixture with a min. of 152mm (6") Cover.

SPECIFICATIONS:

1. ALL CONCRETE IS TO ATTAIN A MINIMUM 28 DAYS STRENGTH OF 20 MPA (3000 PSI).
2. ALL CONNECTIONS ARE TO BE MADE INACCORDANCE WITH DETAILS.
3. REFER ALL DISCREPANCIES TO ARCHITECT.
4. STEEL BARS ARE MILD STEEL - 250 MPA COVER TO REINFORCEMENT AS FOLLOWS: 38mm COLUMN, 50mm FOOTINGS (MIN).
5. ALL HOOKS AND BENDS ARE TO BE ADHERED TO. DO NOT SCALE DRAWINGS.

DESIGN DATA:

AREA'S:

Townhouse Basement & Gym Floor Area: 762m ²
Townhouse Ground Floor Area: 603m ²
Apartment Ground Floor Area: 106m ²
Apartment First Floor Area: 103m ²
Pool Area: 25m ²
Gazebo Area: 19m ²
Guard House Area: 3m ²
Total Area: 1621

DESIGN DATA:

PROPERTY:

Volume: 1074 Folio: 430 Lot: 357

Land Area: 0.5 Acre

Habitable Rooms Required: 25 Max.

Habitable Rooms Provided: 25 Max.

7, Two Bedrooms Townhouses:

2, Two Bedrooms Apartments

Total Bedrooms: 18

Total Living Area: 7

AMENITY SPACE:

Amenity Space Required: 270m²

Townhouse Private Amenity First Floor: 81.109m² x 7 = 164m²

Gym & Entertainment Area: 98.04m²

Pool Area: 25m²

Gazebo Area: 19m²

Total Amenity Area: 306.04m²

Parkings Required: 11 Max. Parking Provided: 13

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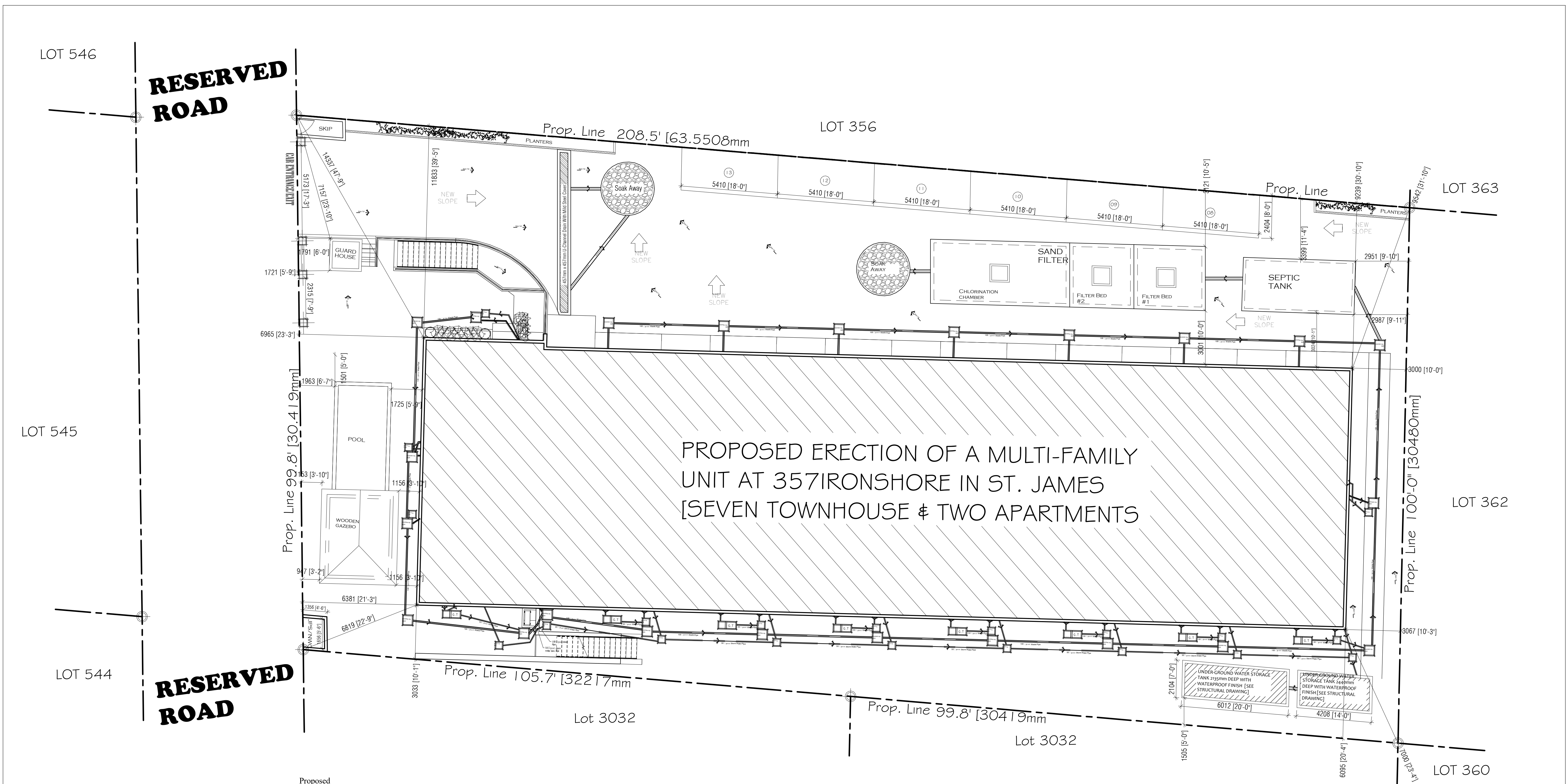
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Int./Contractor:	
Approved:	
No. Date By Comm. Revision	

Project Title:
Proposed Erection of a Townhouse & Apartment @ Lot 357 Ironshore

Sheet Title:
DATA

Client:
McKoy Development

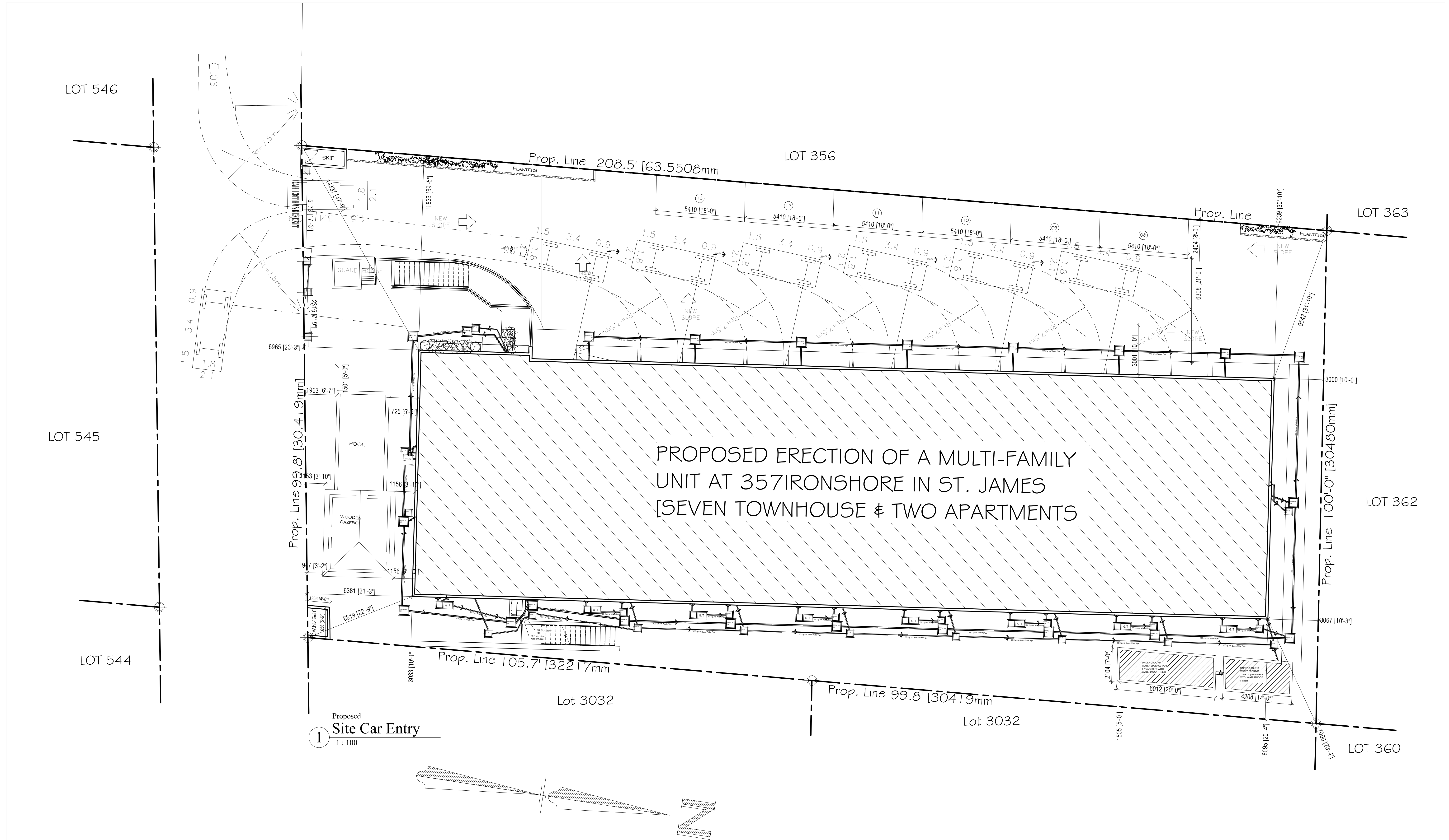
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Date: November 24, 2022	
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Proposed Site Plan
1 : 100

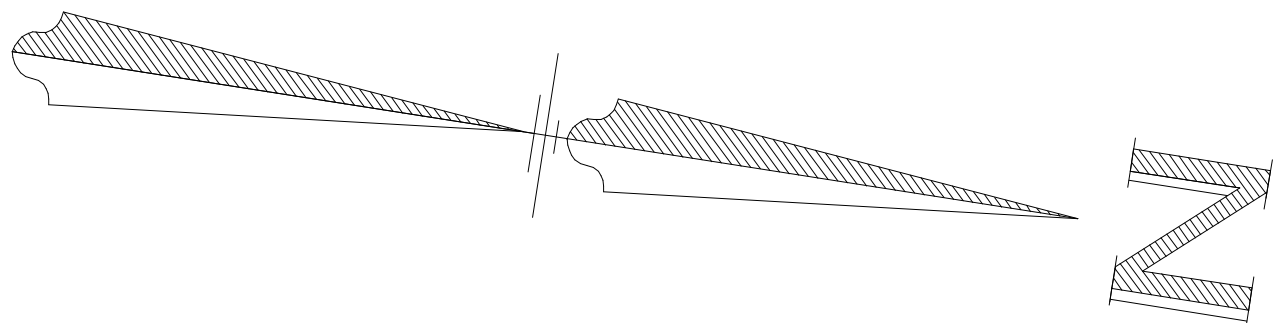
PROPOSED ERECTION OF A MULTI-FAMILY UNIT AT 357 IRONSHORE IN ST. JAMES [SEVEN TOWNHOUSE & TWO APARTMENTS]


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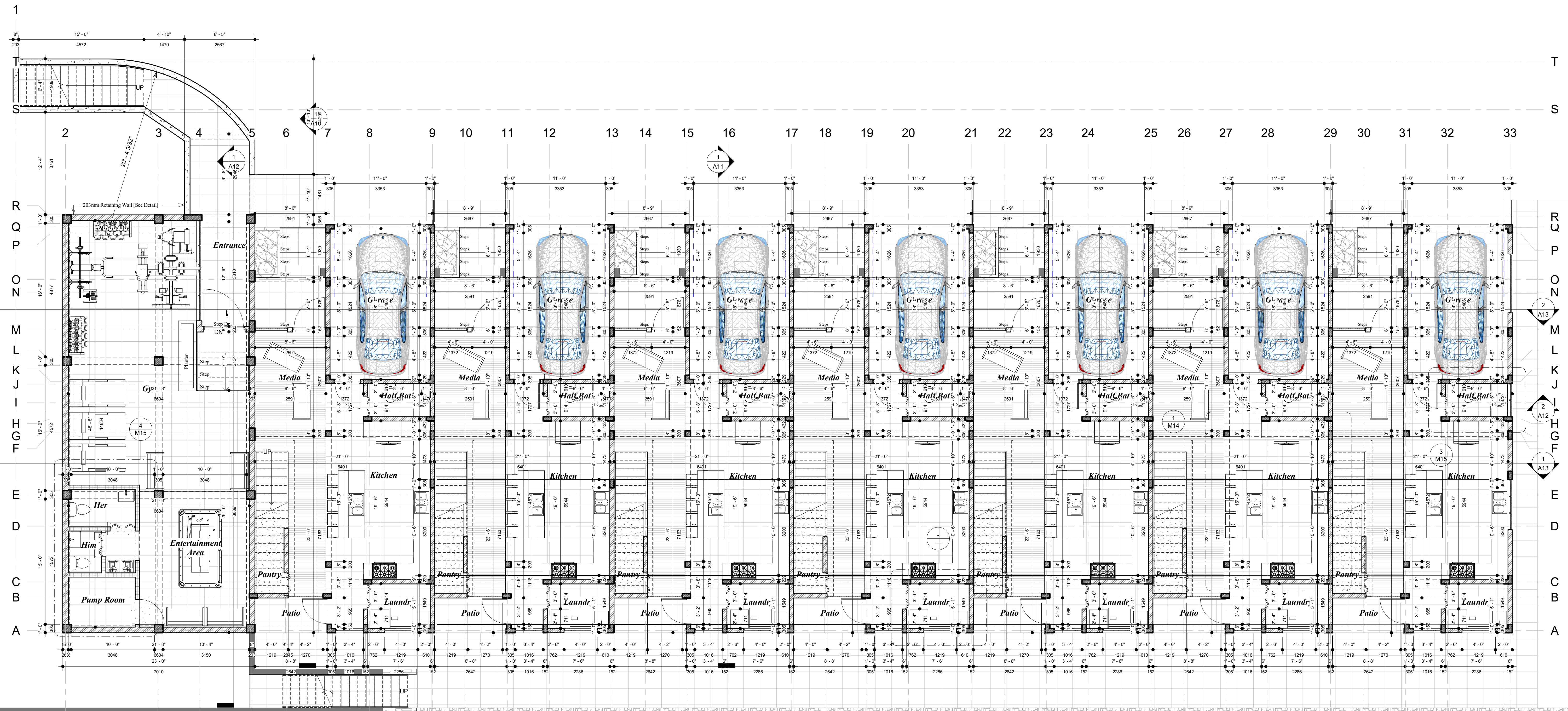


PROPOSED ERECTION OF A MULTI-FAMILY UNIT AT 357 IRONSHORE IN ST. JAMES [SEVEN TOWNHOUSE & TWO APARTMENTS]

Proposed Site Car Entry
1 : 100



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Proposed
1 Basement Plan
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Struct. Eng.:	Elect. Eng.:	Mech. Eng.:
Plumbing Eng.:	Sanitary Eng.:	Other:
Approved:		

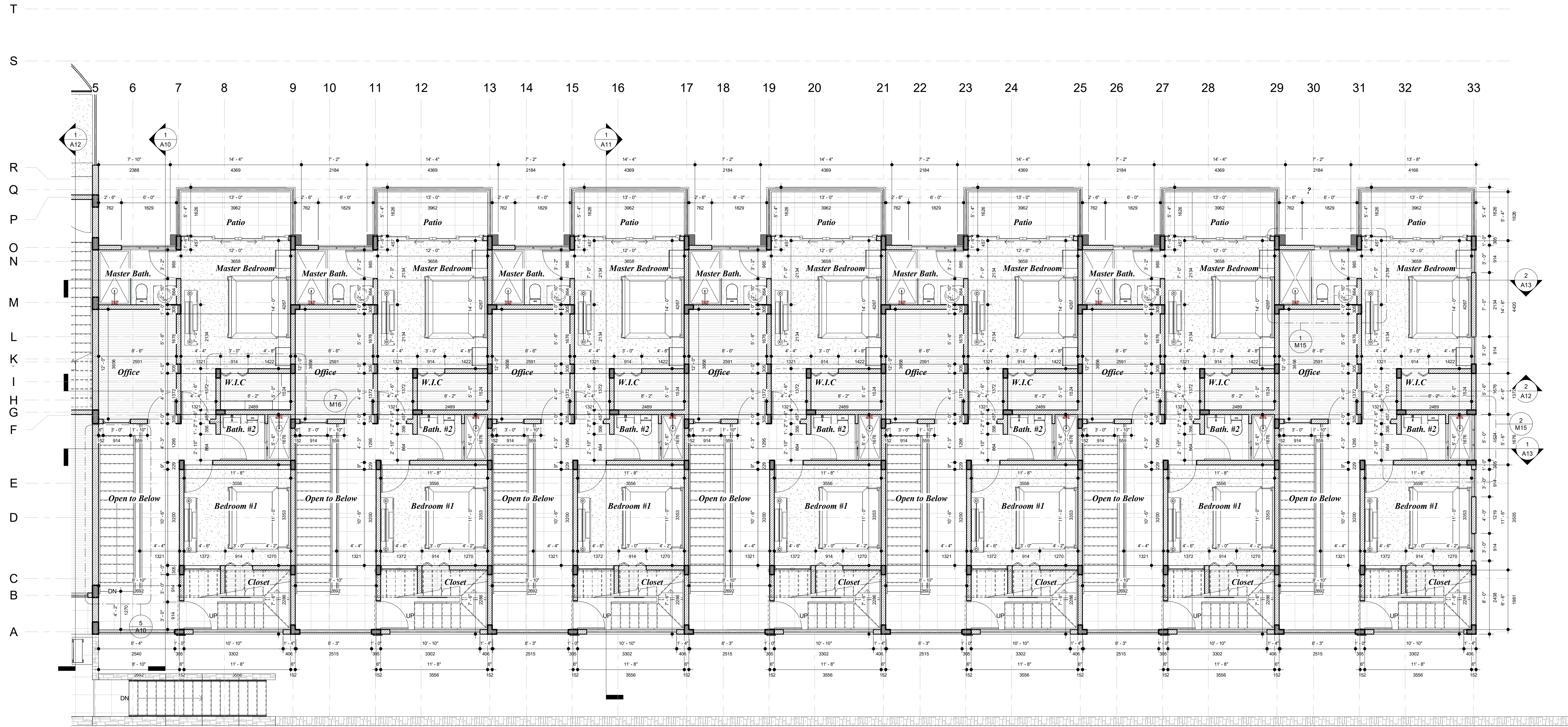
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**Proposed Erection of a
 Townhouse & Apartment @
 Lot 357 Ironshore**

Sheet Title:
**Gym & Townhouse Basement
 Plan**

Client:
McKoy Development

Drawn:
Kaydrian Kerr
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Sheet No.:
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Proposed
1 Ground Floor Plan
 1 : 60



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Site Eng.:			
Arch. Eng.:			
C.O.B.:			
Mu. Contractor:			
Approved:			

**Proposed Erection of a
 Townhouse & Apartment @
 Lot 357 Ironshore**

**Townhouse Ground Floor
 Plan**


**Client:
 McKoy Development**

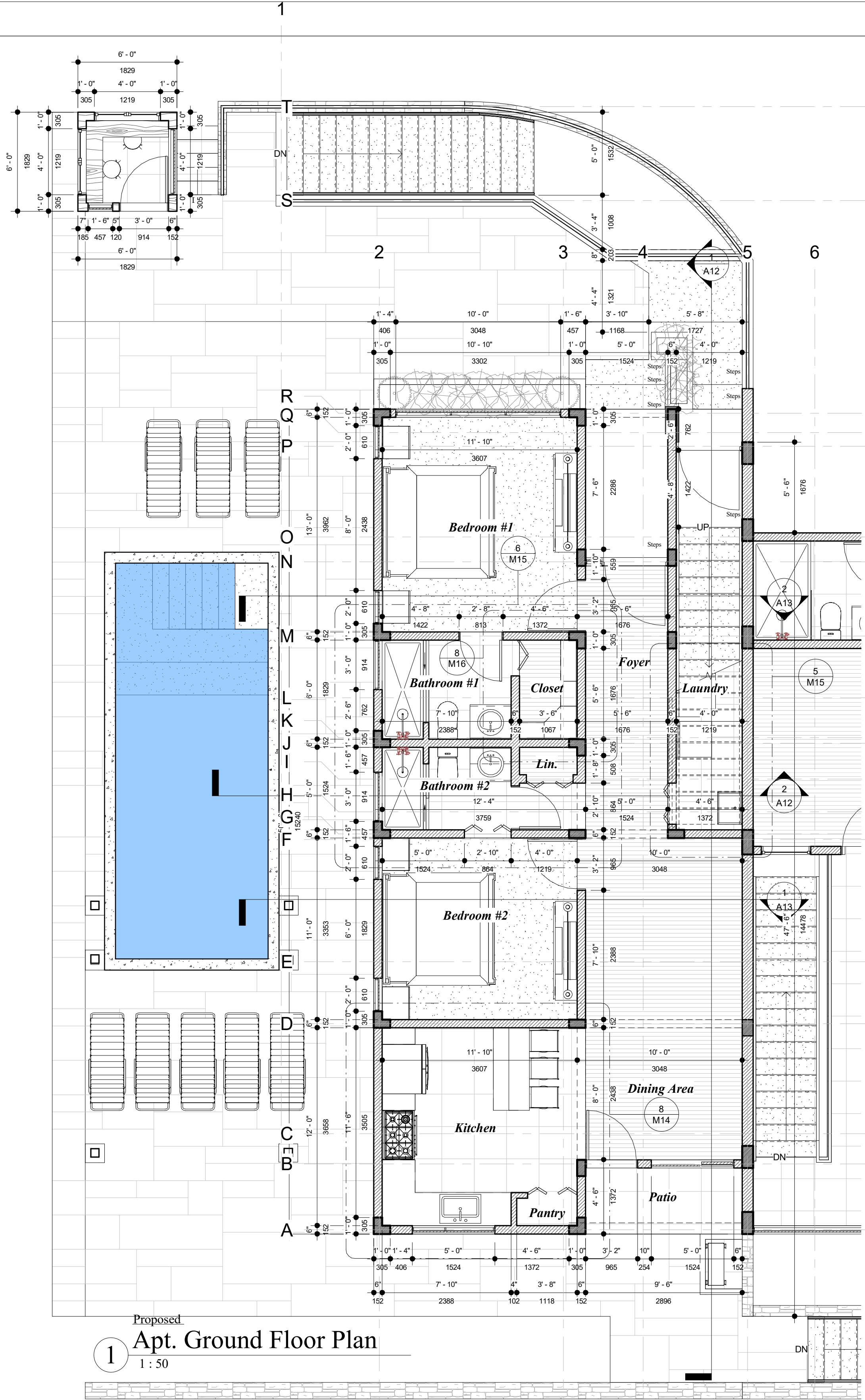
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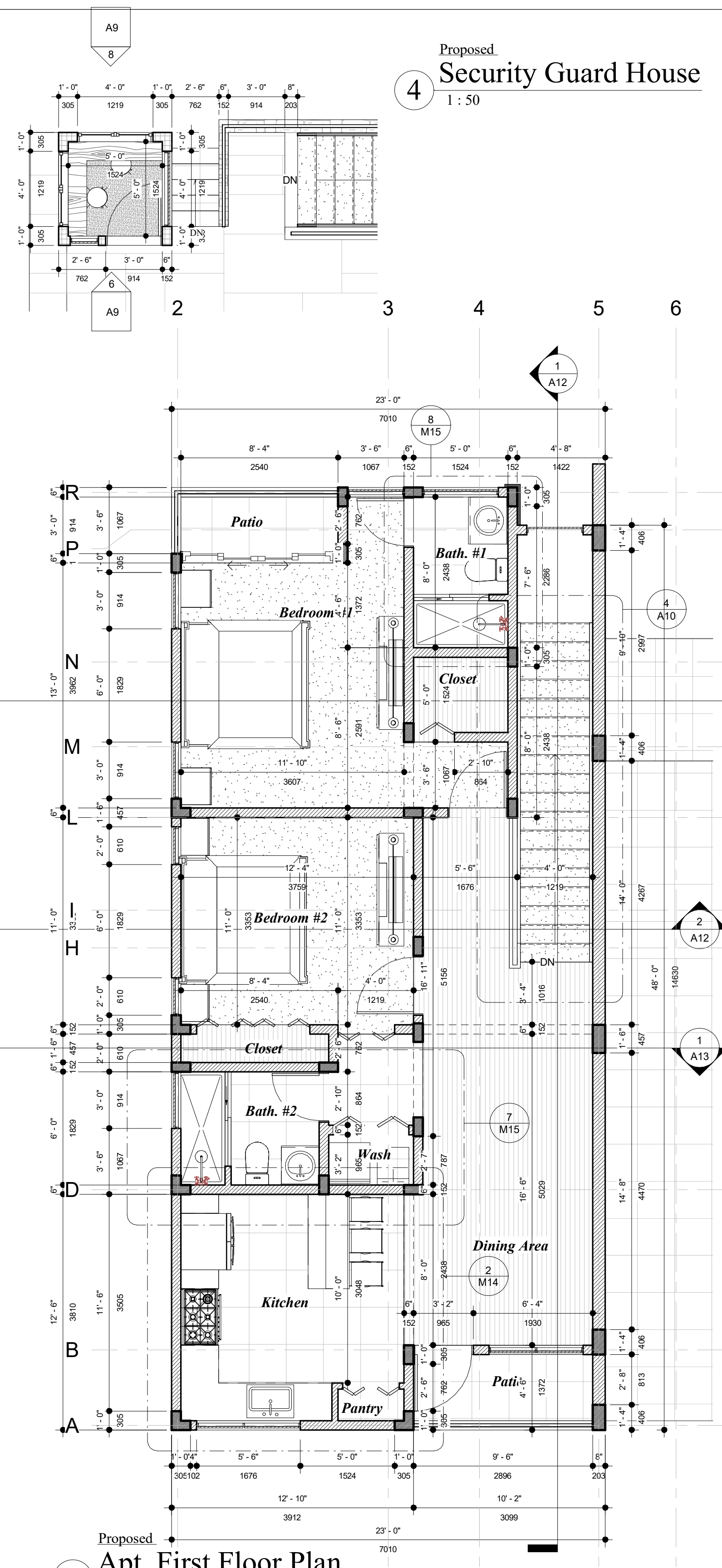


Proposed
1 First Floor Plan
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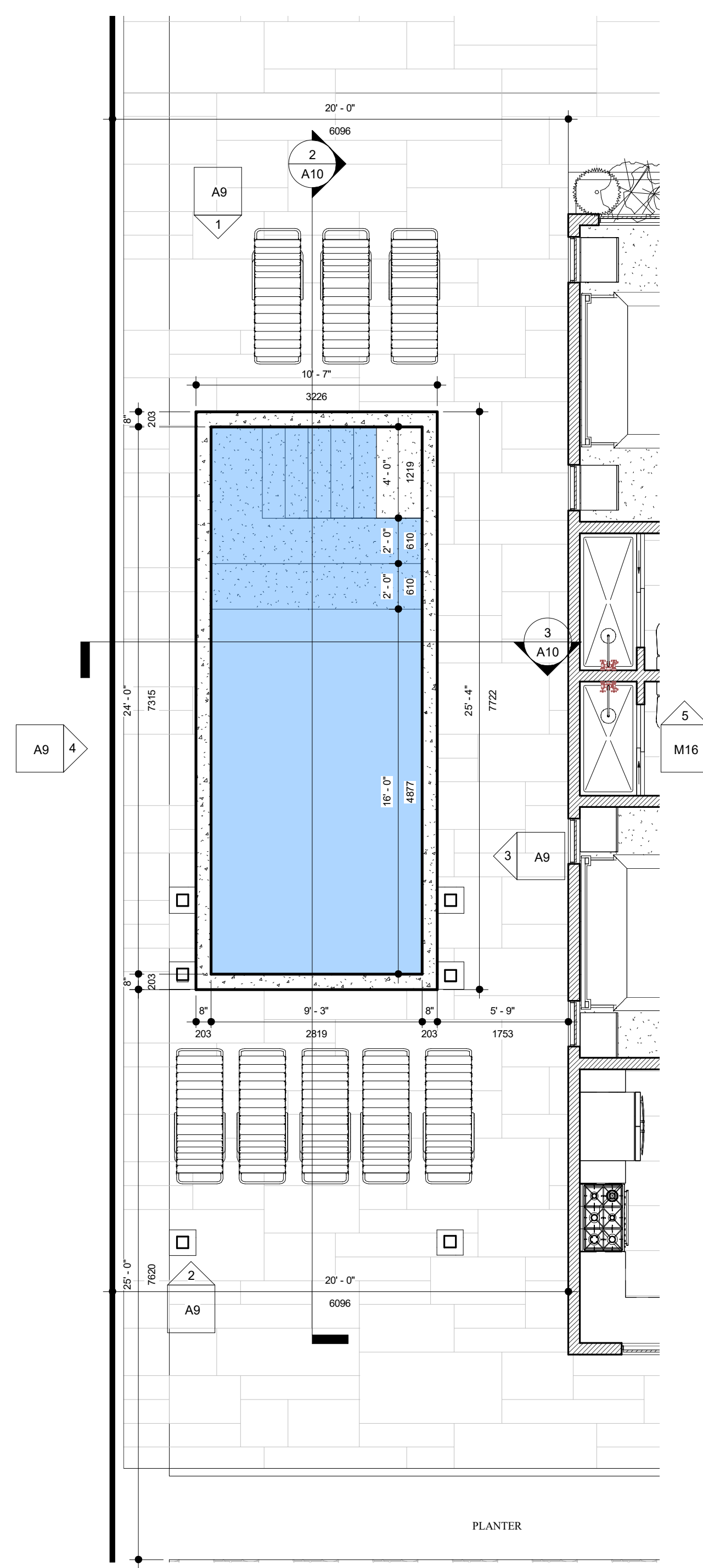
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										November 24, 2022				



Proposed
1 Apt. Ground Floor Plan
 1 : 50



Proposed
2 Apt. First Floor Plan
 1 : 50



Proposed
3 Pool & Gazebo
 1 : 50

Proposed
4 Security Guard House
 1 : 50



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ENGINEER STAMP:

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Project Title:
Proposed Erection of a Townhouse & Apartment @ Lot 357 Ironshore

Sheet Title:
Apt. Ground, First Floor, Pool with Gazebo & Guard House Plans

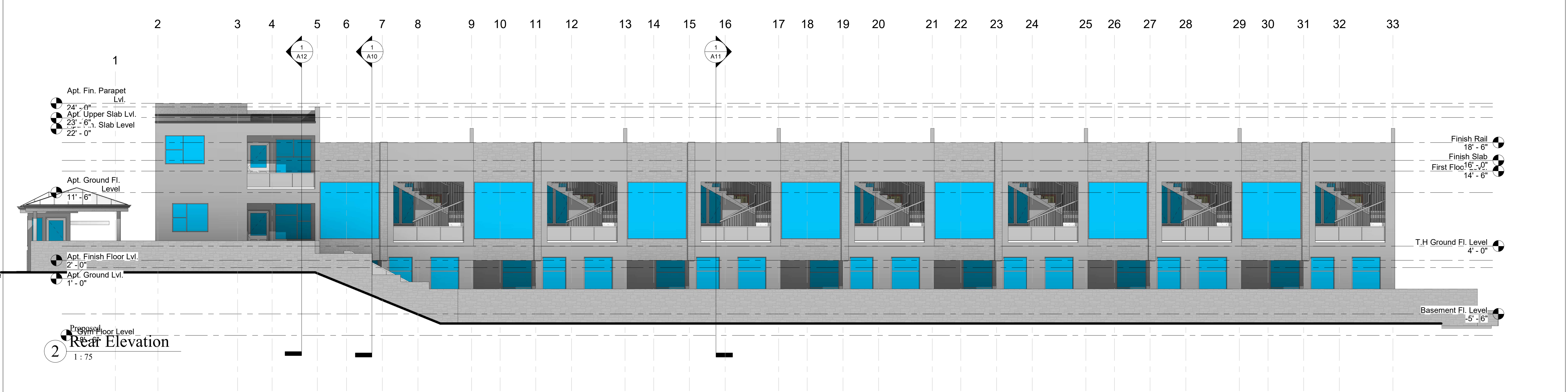
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McKoy Development

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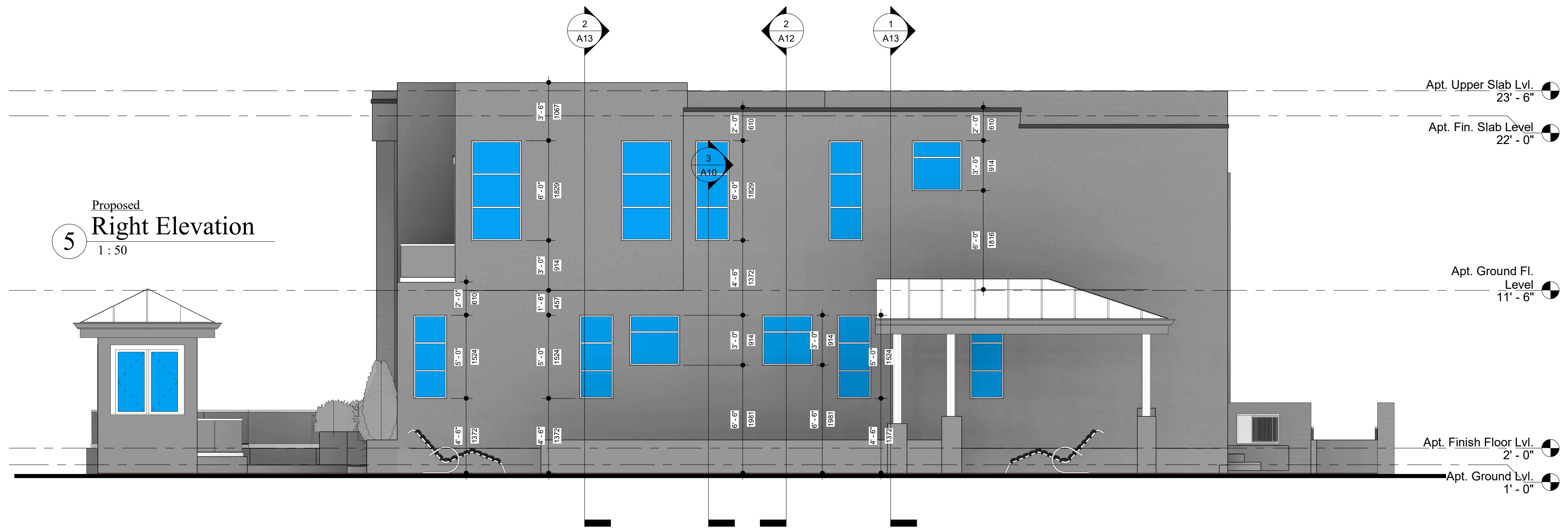


Proposed
1 Front Elevation
 1 : 75



Proposed
2 Rear Elevation
 1 : 75

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							Proposed Erection of a Townhouse & Apartment @ Lot 357 Ironshore	Elevations	McKoy Development	Kaydrian Kerr	K.D.S	November 24, 2022	1 : 75	00000	A7



Proposed
5
Right Elevation
 1 : 50

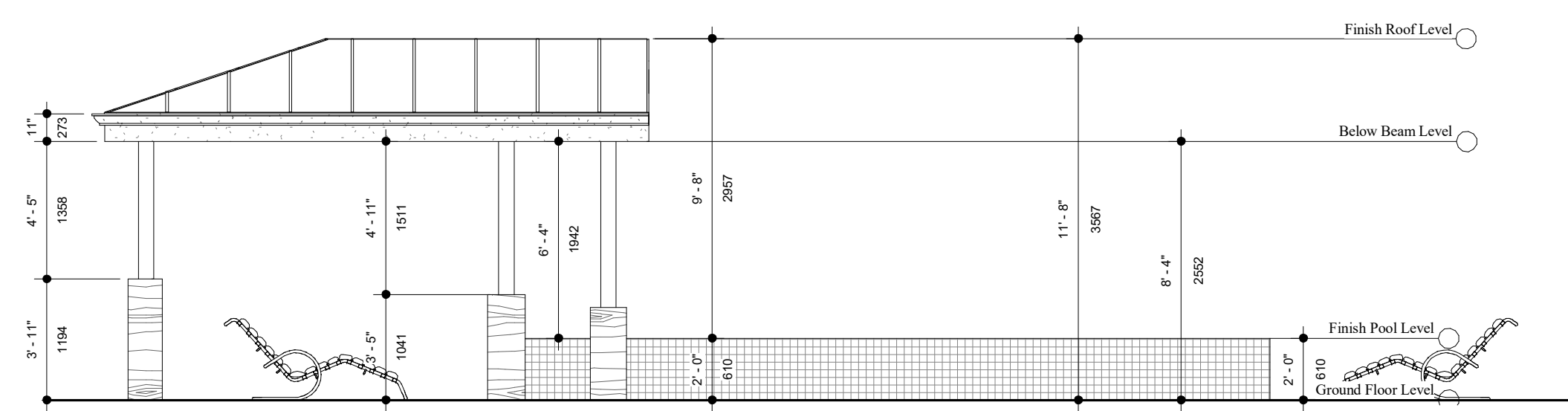
Apt. Upper Slab Lvl.
23' - 6"

Apt. Fin. Slab Level
22' - 0"

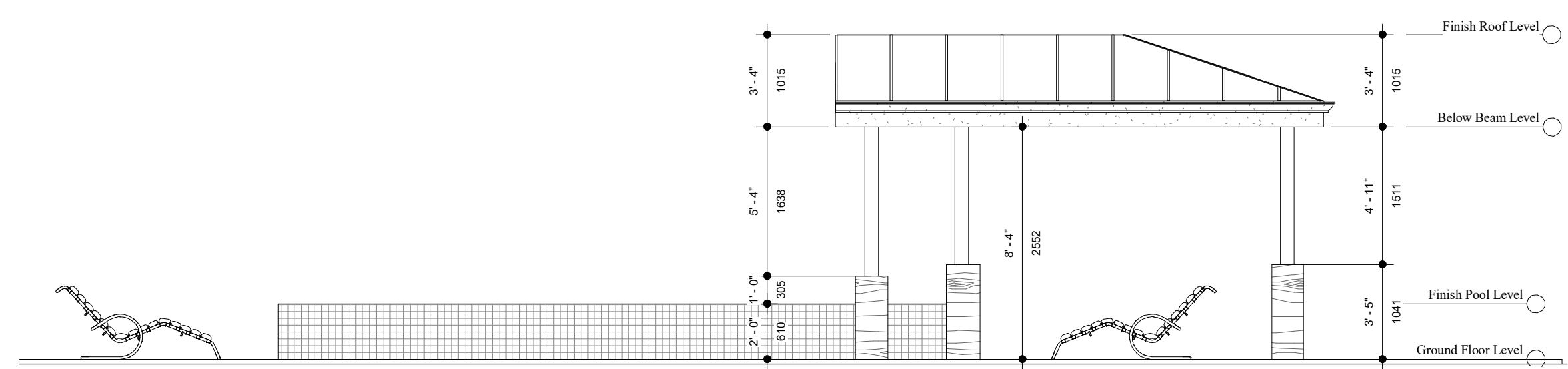
Apt. Ground Fl.
Level
11' - 6"

Apt. Finish Floor Lvl.
2' - 0"

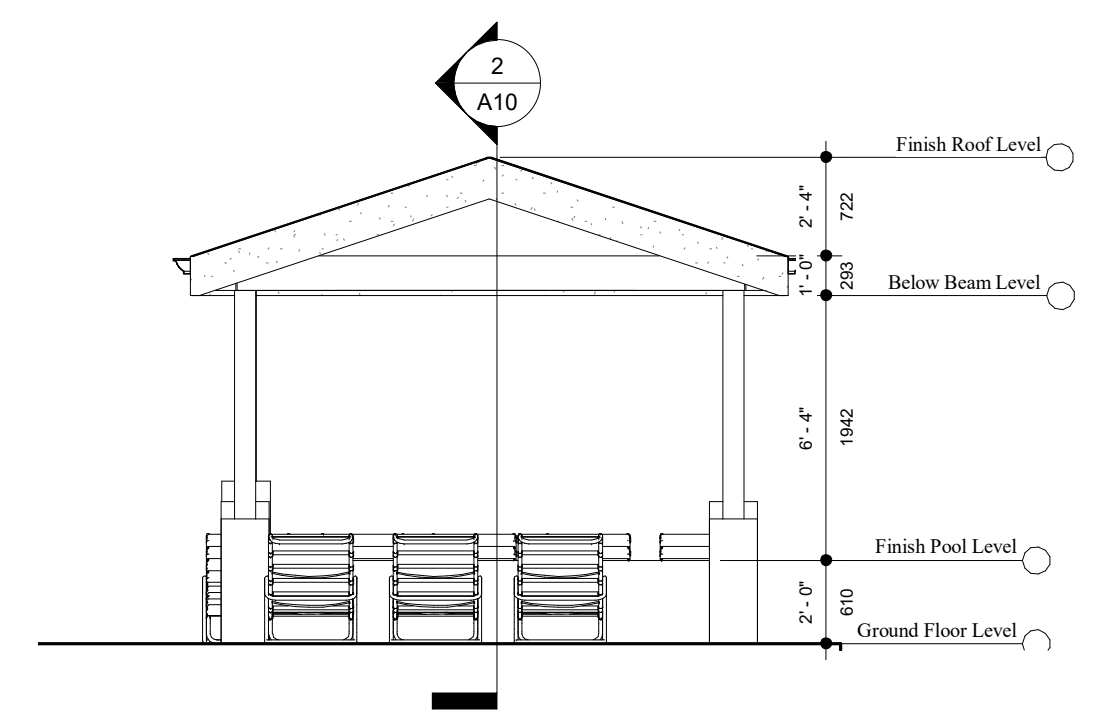
Apt. Ground Lvl.
1' - 0"



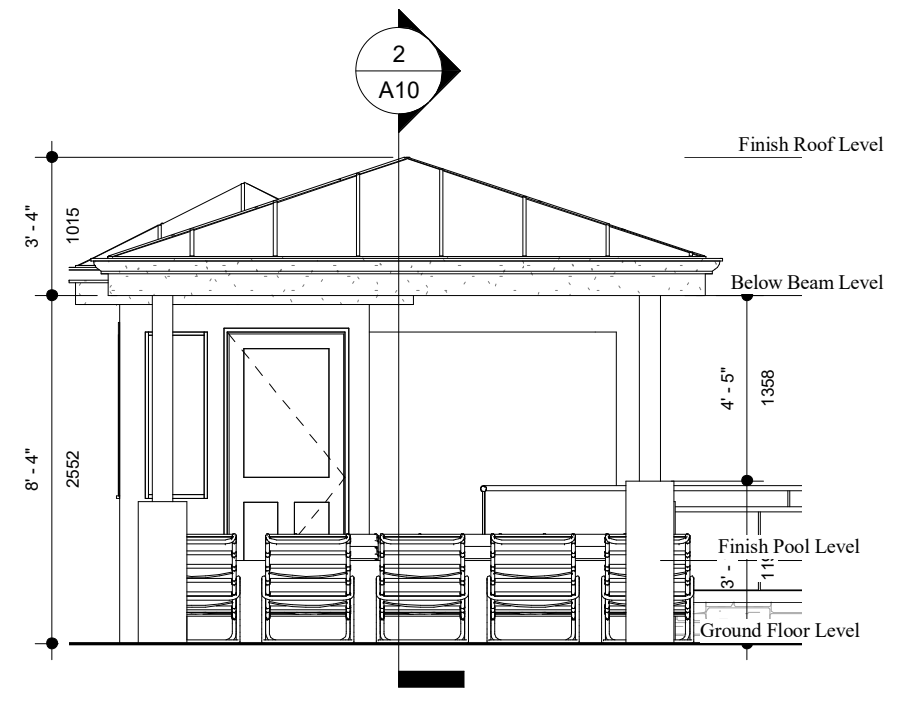
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3
P&G Left Elevation
 1 : 50



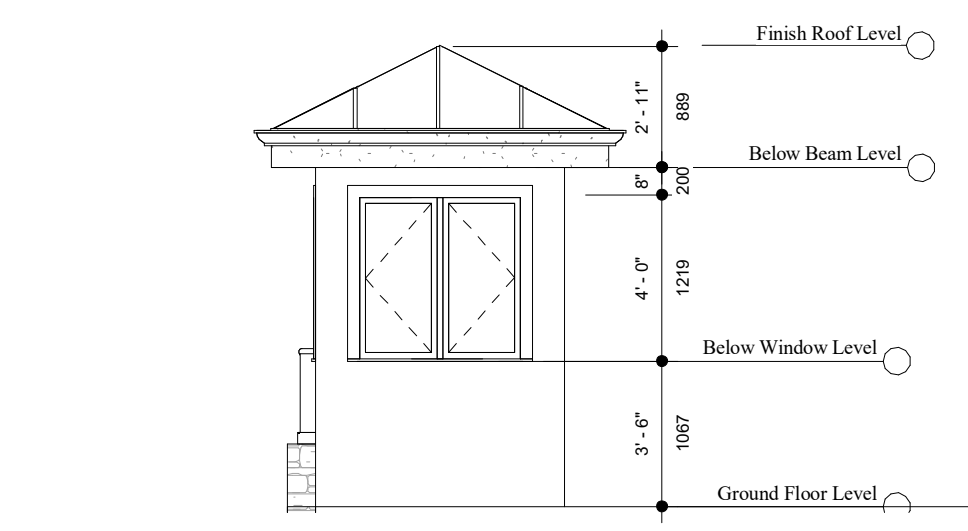
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P&G Right Elevation
 1 : 50



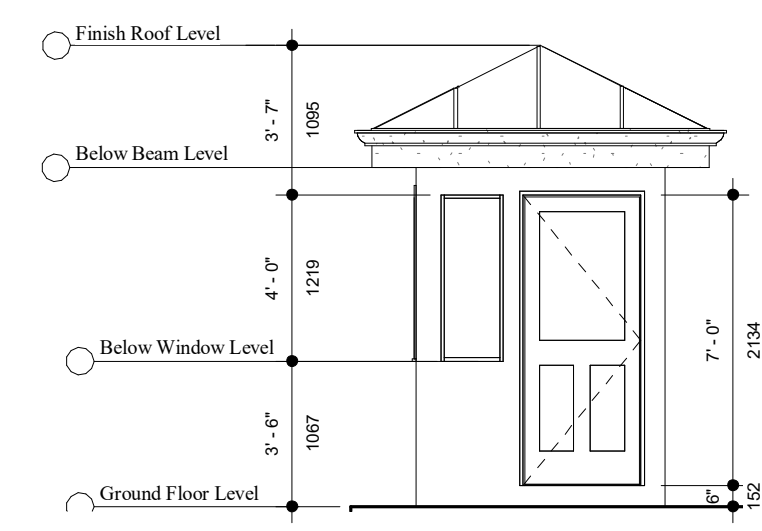
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1
P&G Front Elevation



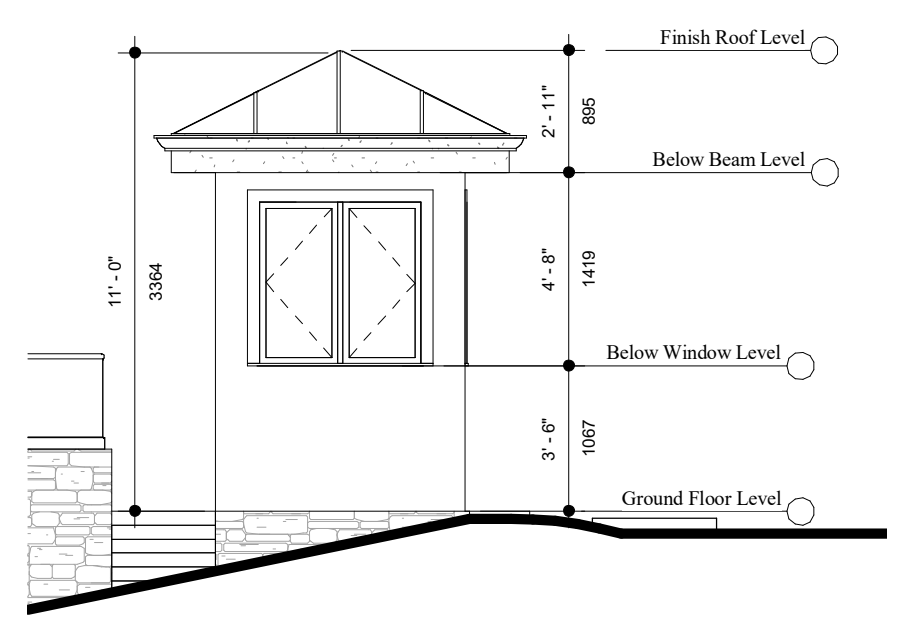
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P&G Rear Elevation



Proposed
7
S.P Left Elevation
 1 : 50



Proposed
6
S.P Front Elevation
 1 : 50



Proposed
8
S.P Rear Elevation
 1 : 50



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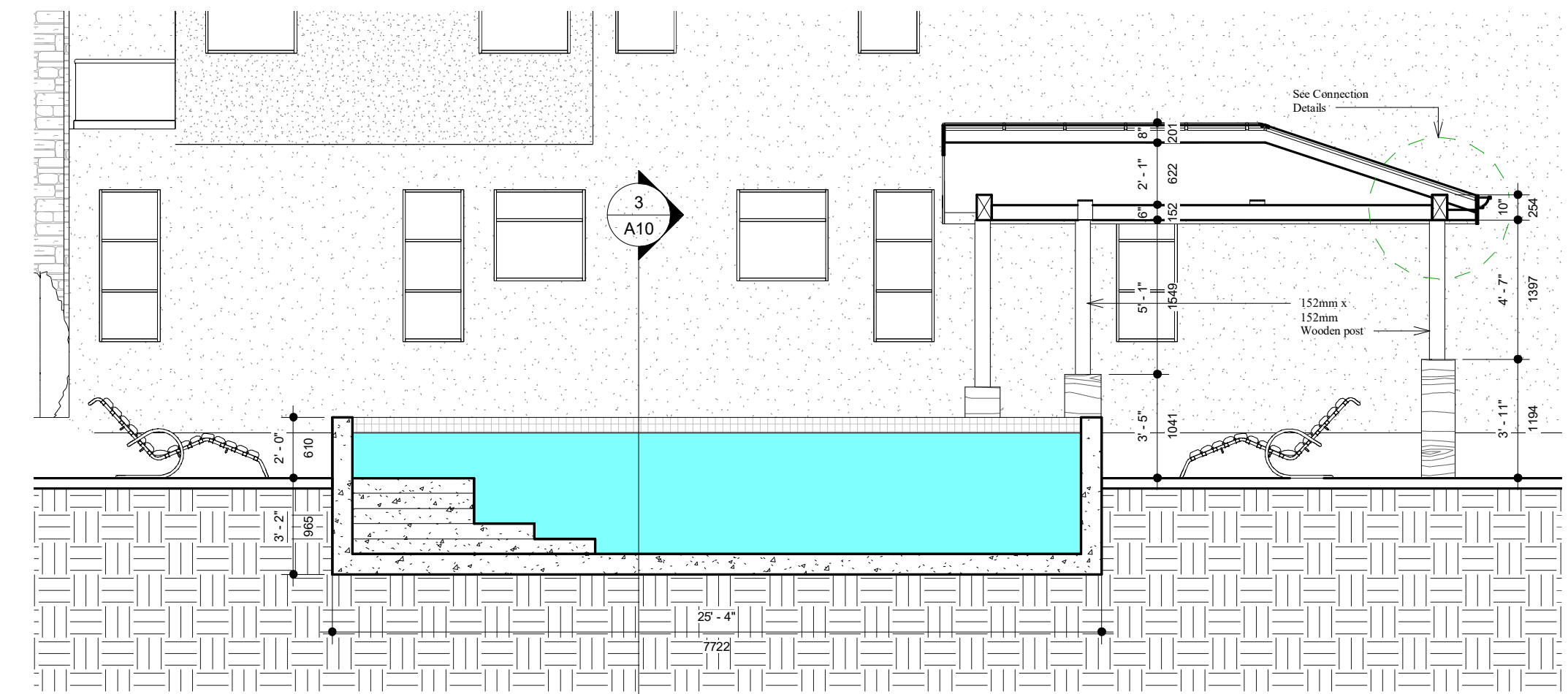
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**Proposed Erection of a
 Townhouse & Apartment @
 Lot 357 Ironshore**

Sheet Title:
Elevations

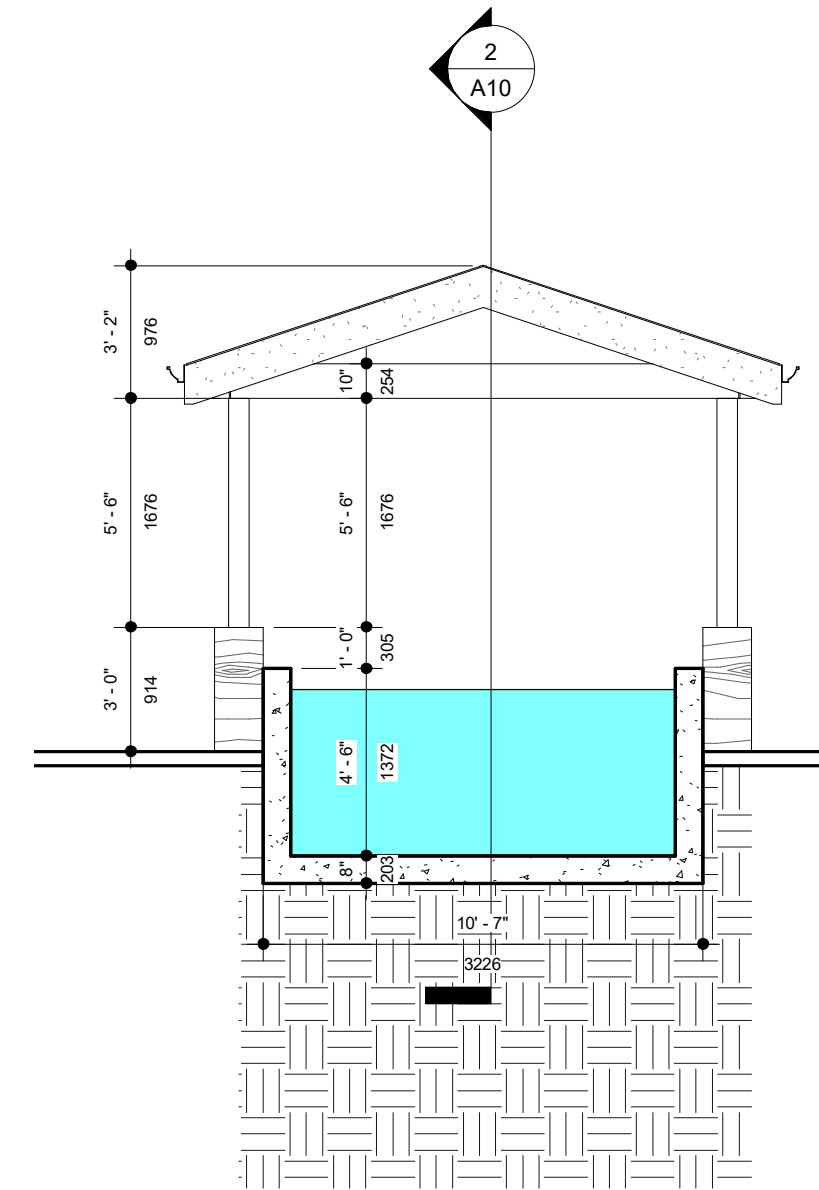
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McKoy Development

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Kaydrian Kerr
Check:
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Date:
November 24, 2022
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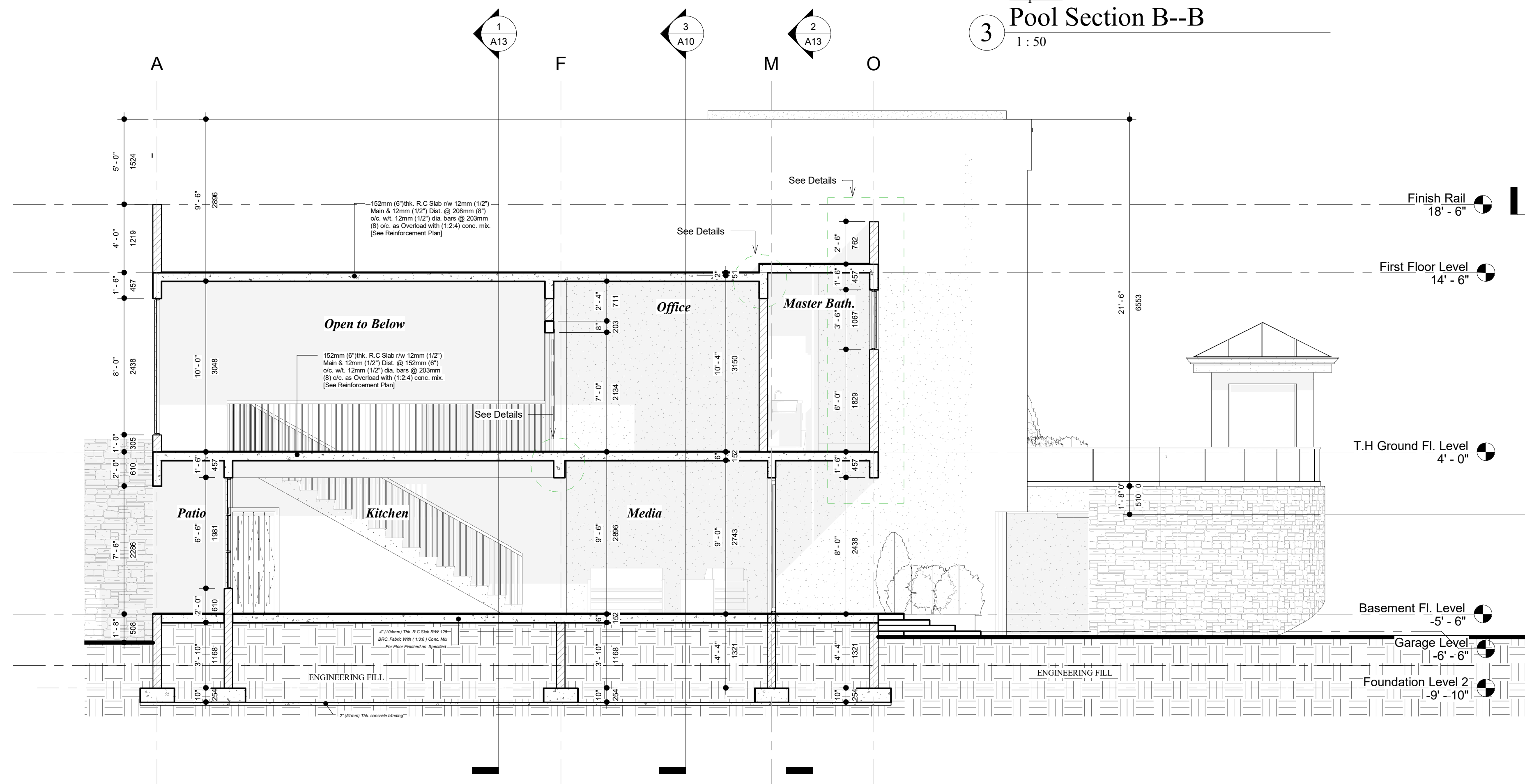
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Proposed
2 Pool Section A--A
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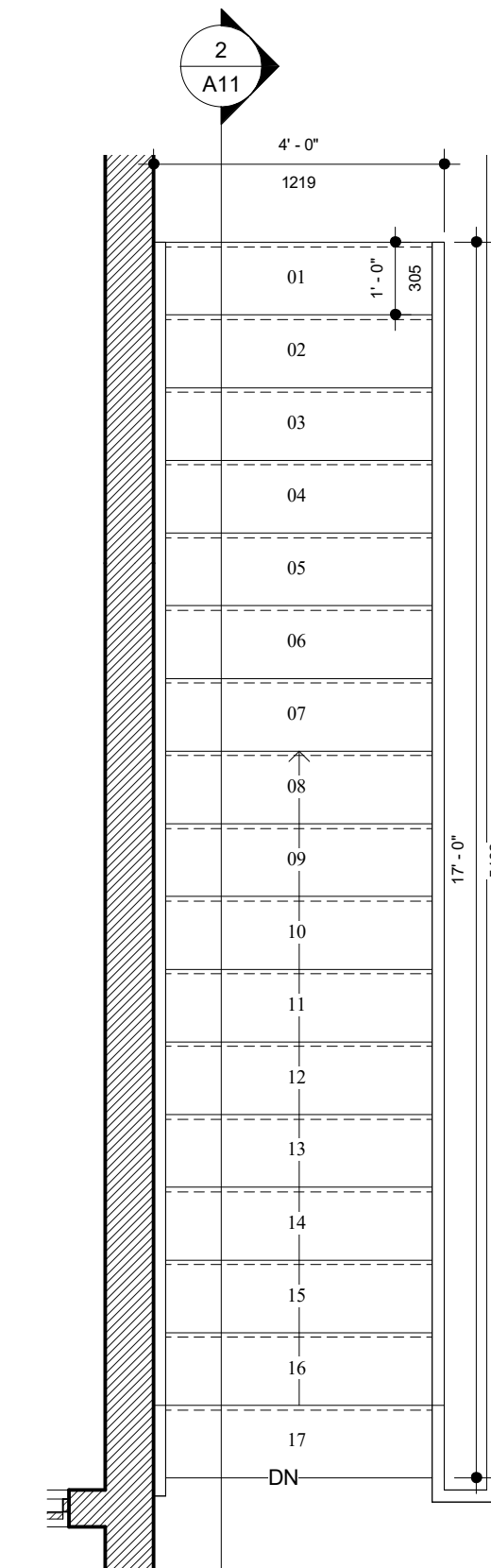
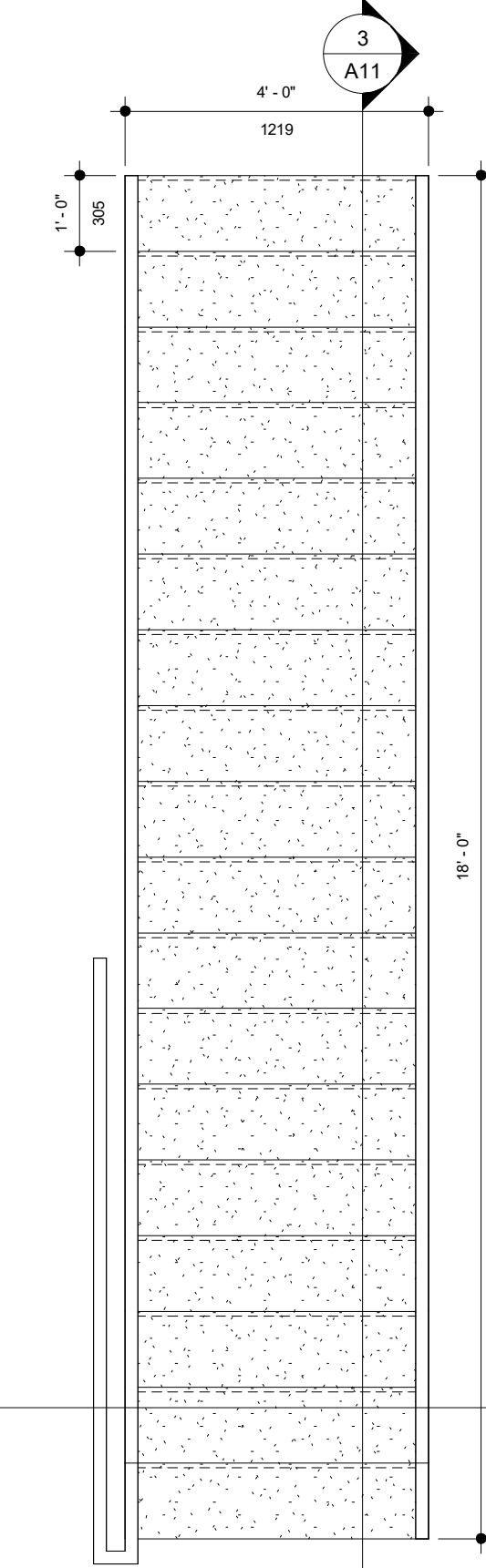


Proposed
3 Pool Section B--B
 1 : 50



Proposed
1 Section U--U
 1 : 50

Proposed
4 Plan of Stairs Apartment
 1 : 25



Proposed
5 Plan of Stairs Town House
 1 : 27



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Mt. Contractor:	Approved:	

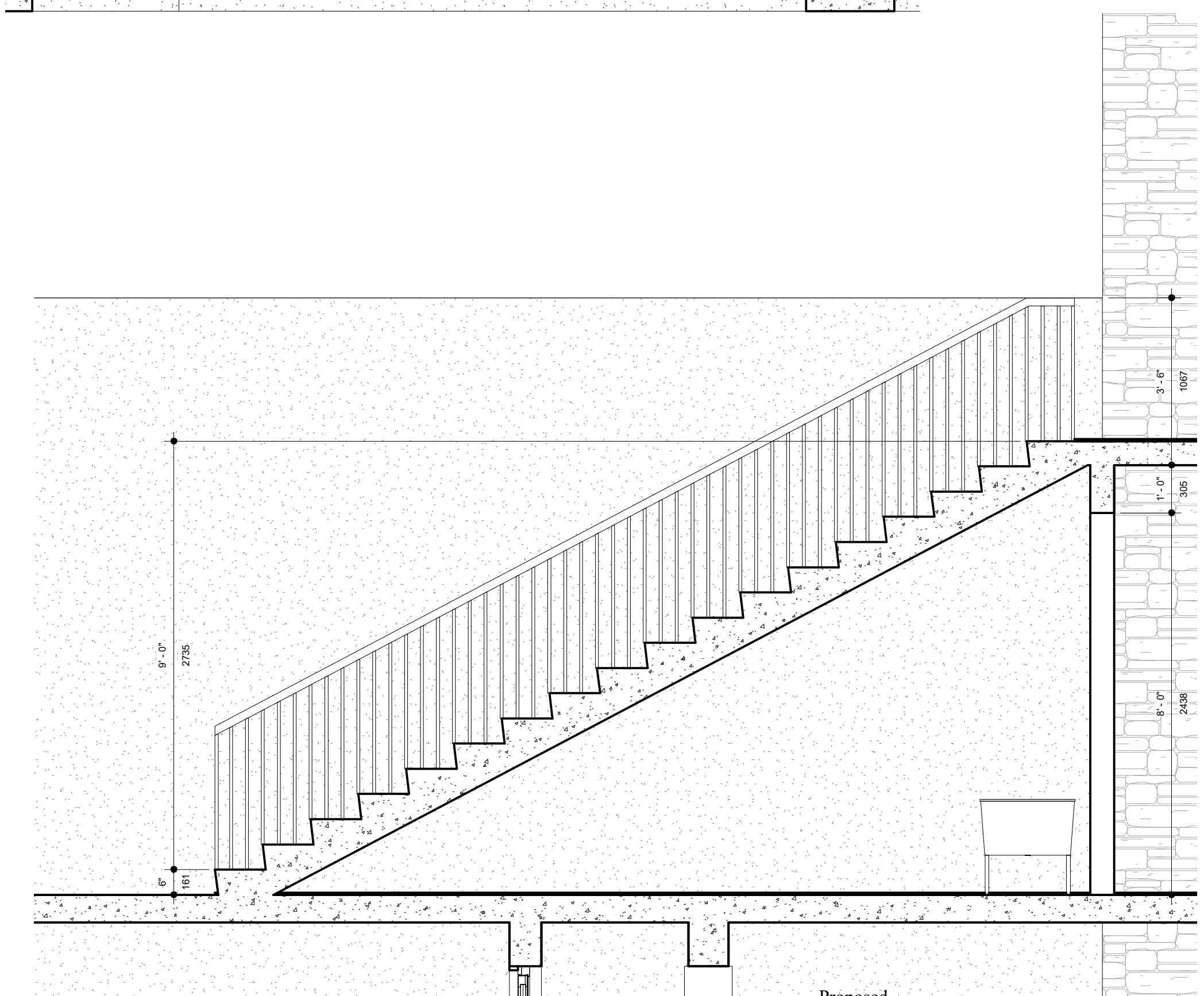
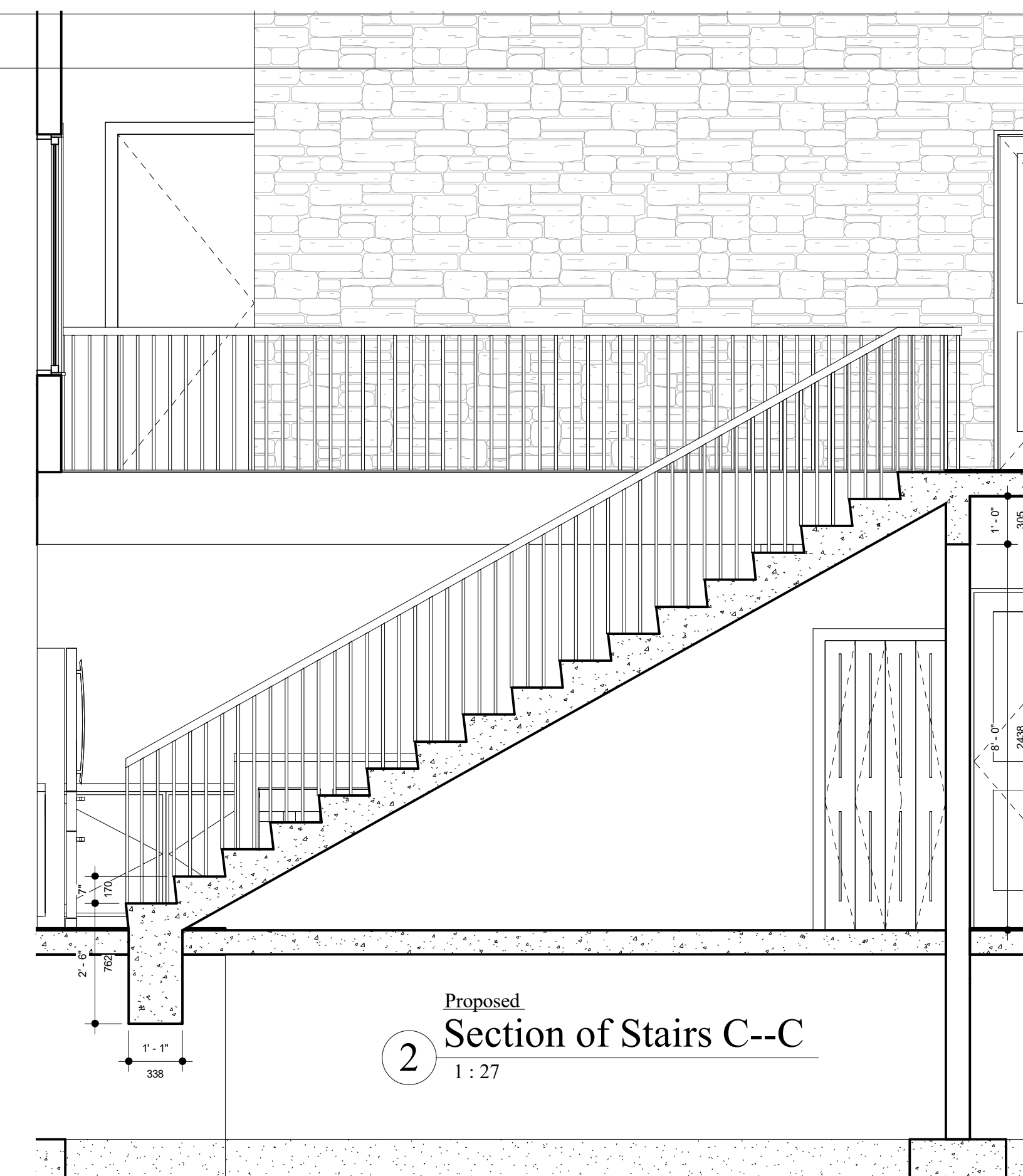
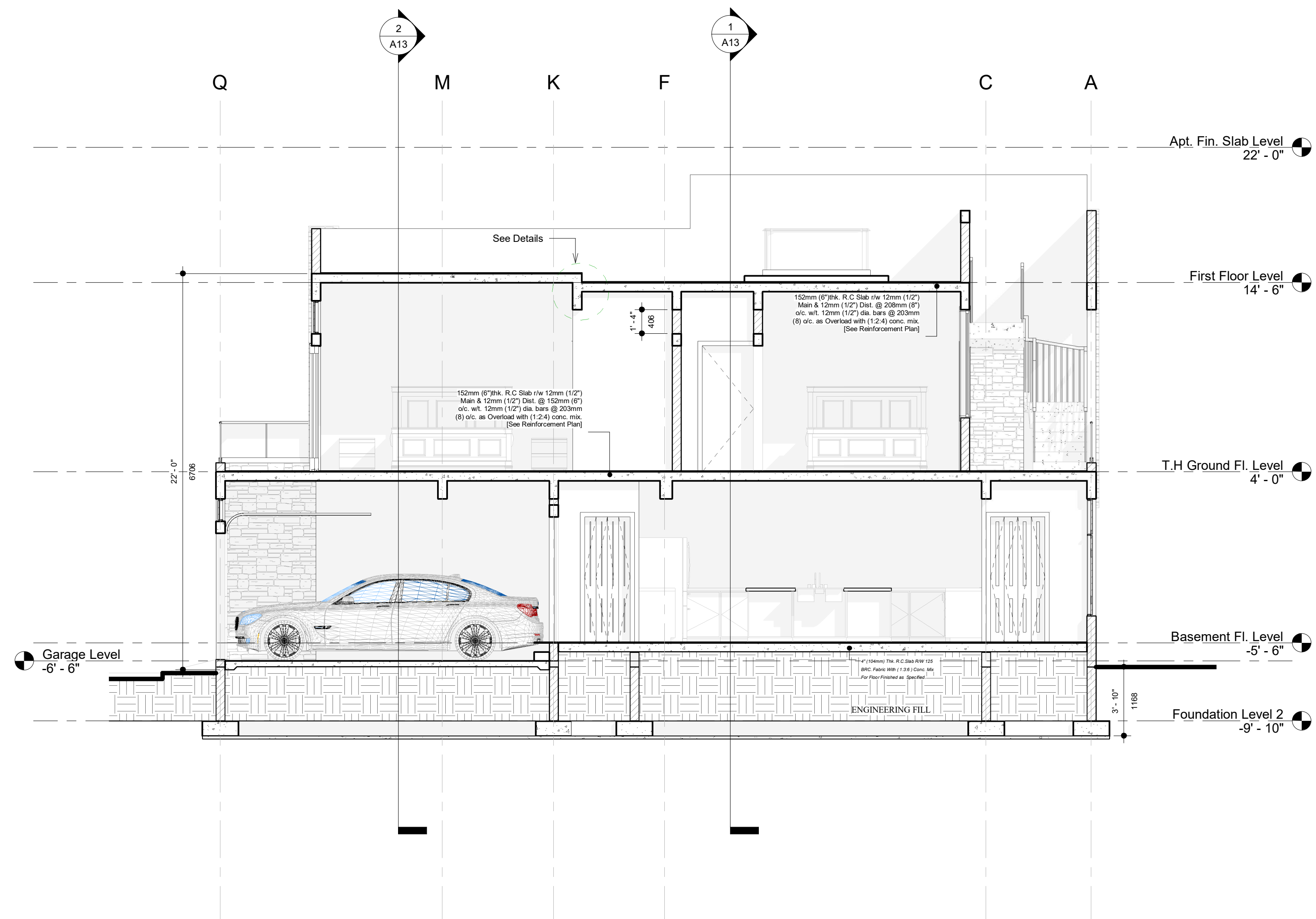
Project Title:
**Proposed Erection of a
 Townhouse & Apartment @
 Lot 357 Ironshore**

Sheet Title:
Sections & Stairs Plan

Client:
McKoy Development

Drawn:
Kaydrian Kerr
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K.D.S
 Date:
November 24, 2022
 Scale:
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 Job No.:
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Sheet No.:
A10



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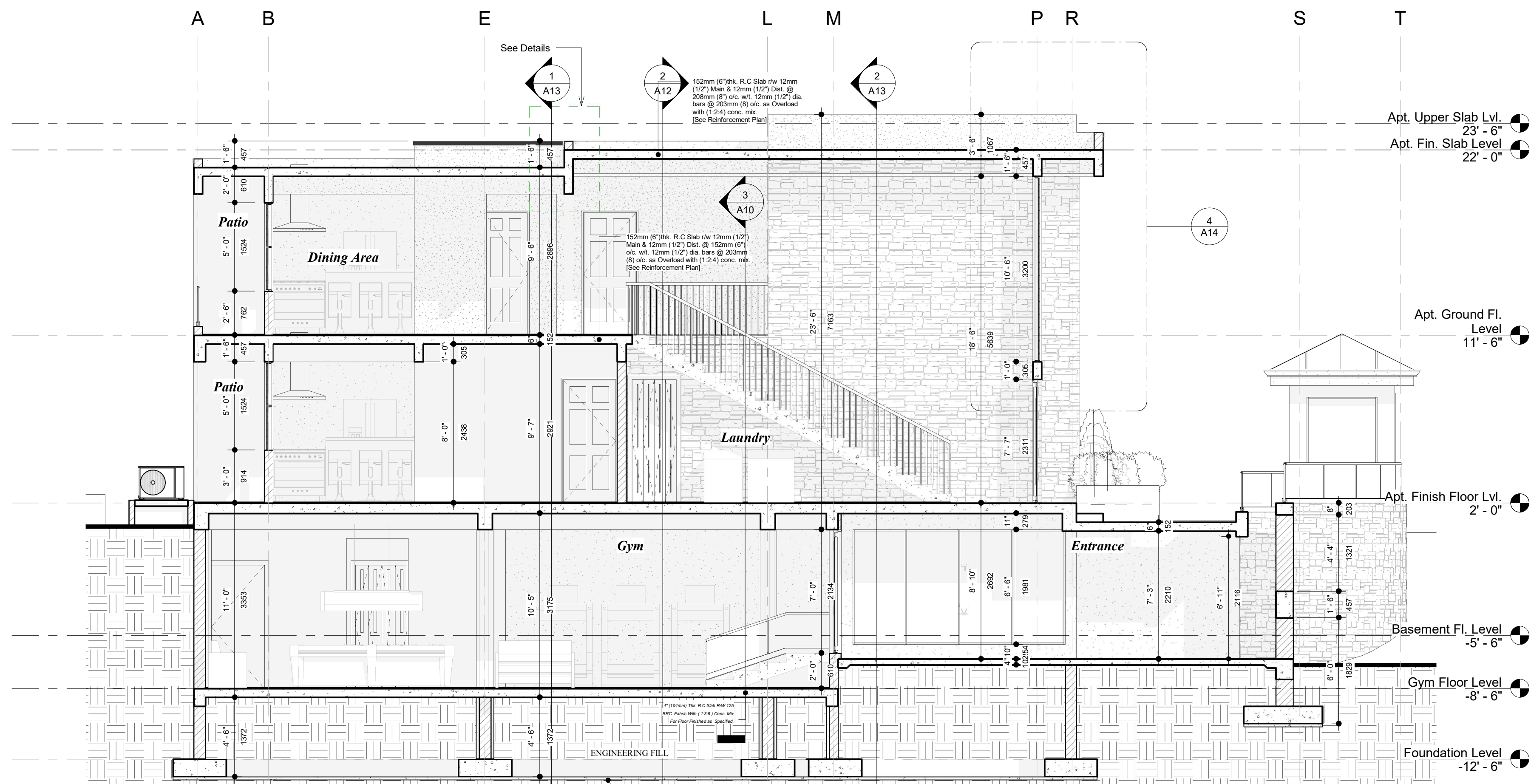
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Sheet Title: **Sections**

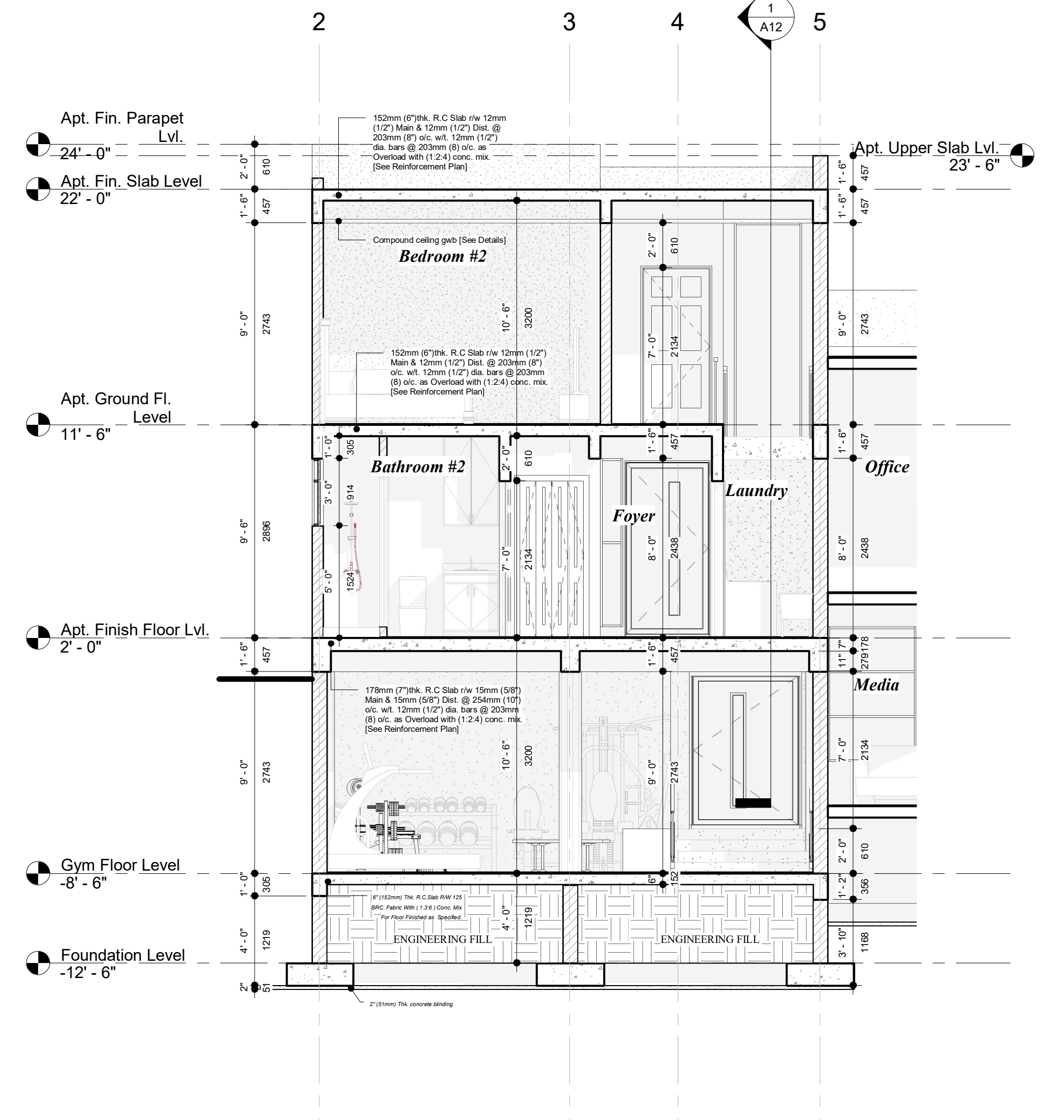
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Drawn: **Kaydrian Kerr**
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Sheet No.: **A11**

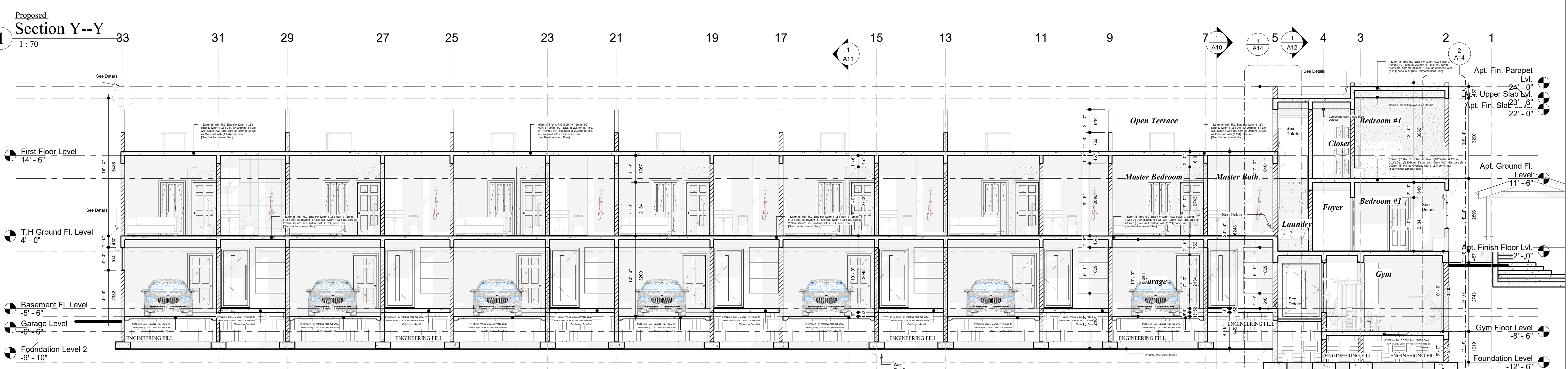
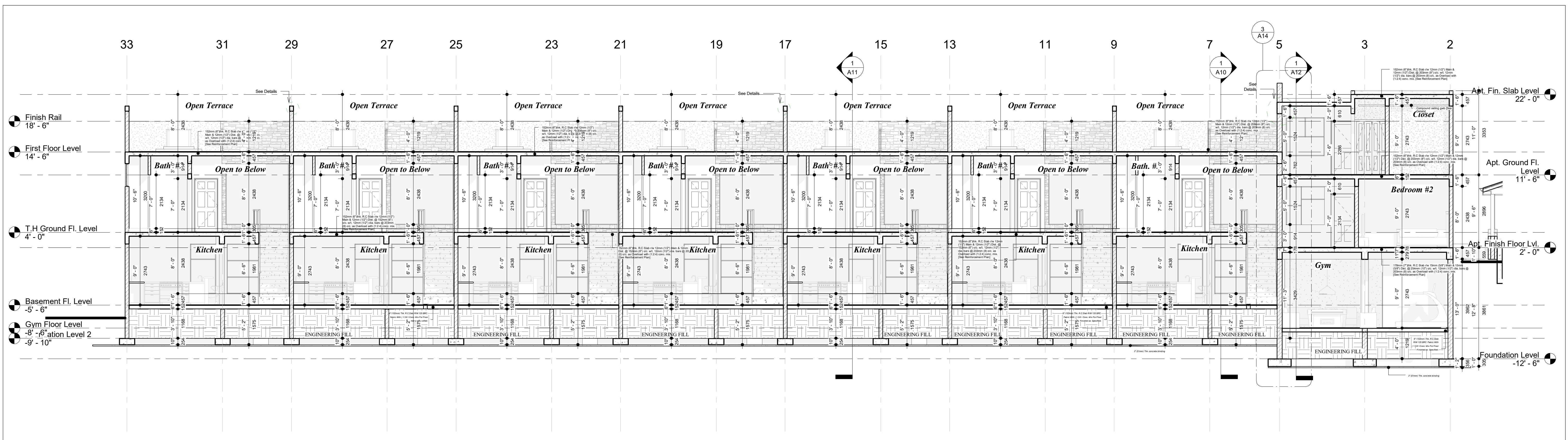


Proposed Section W--W
1
 1 : 50




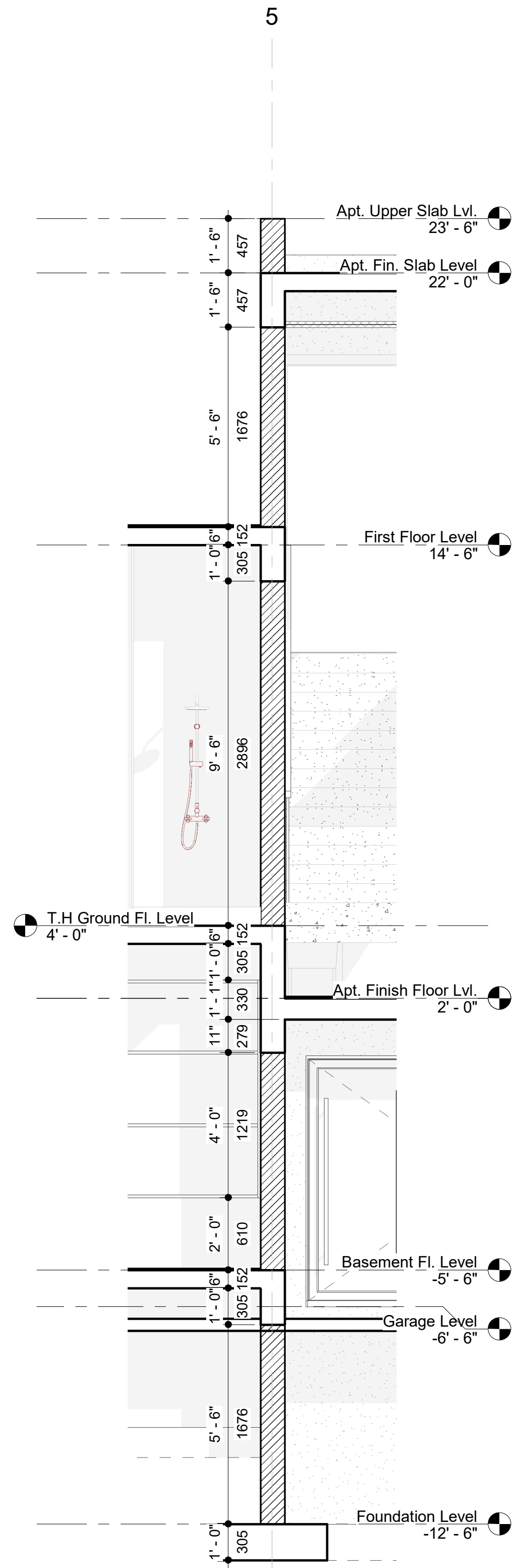
Proposed Section X--X
2
 1 : 50

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						No./Date/By/Consent:	Proposed Erection of a Townhouse & Apartment @ Lot 357 Ironshore	Sections	McKoy Development	Kaydrian Kerr	K.D.S	A12
										November 24, 2022	Scale: 1 : 50	

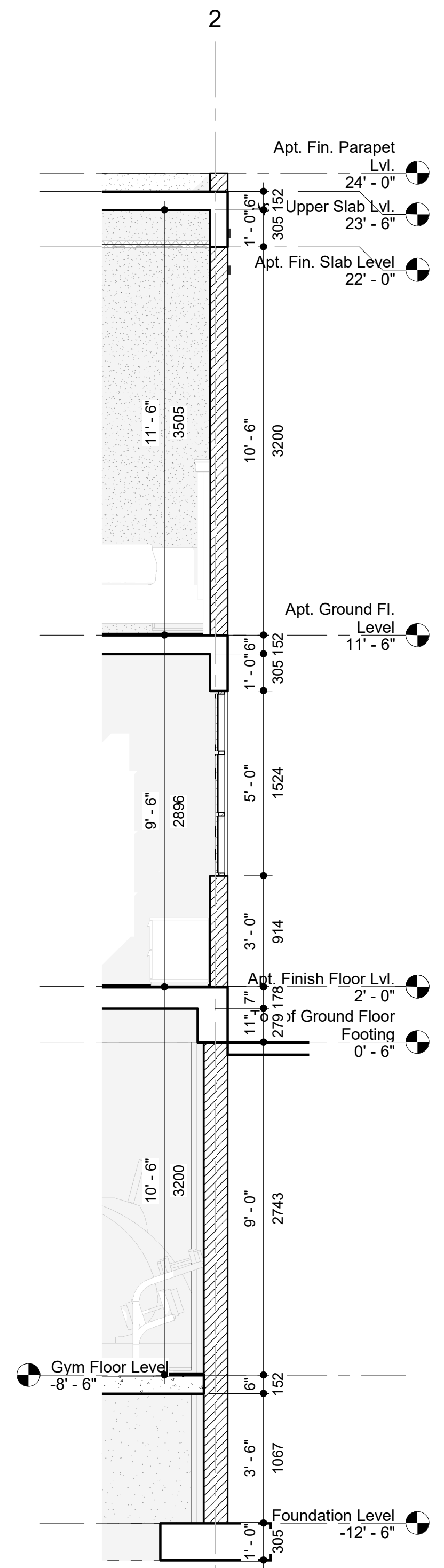


Proposed
Section Z--Z
1 : 70

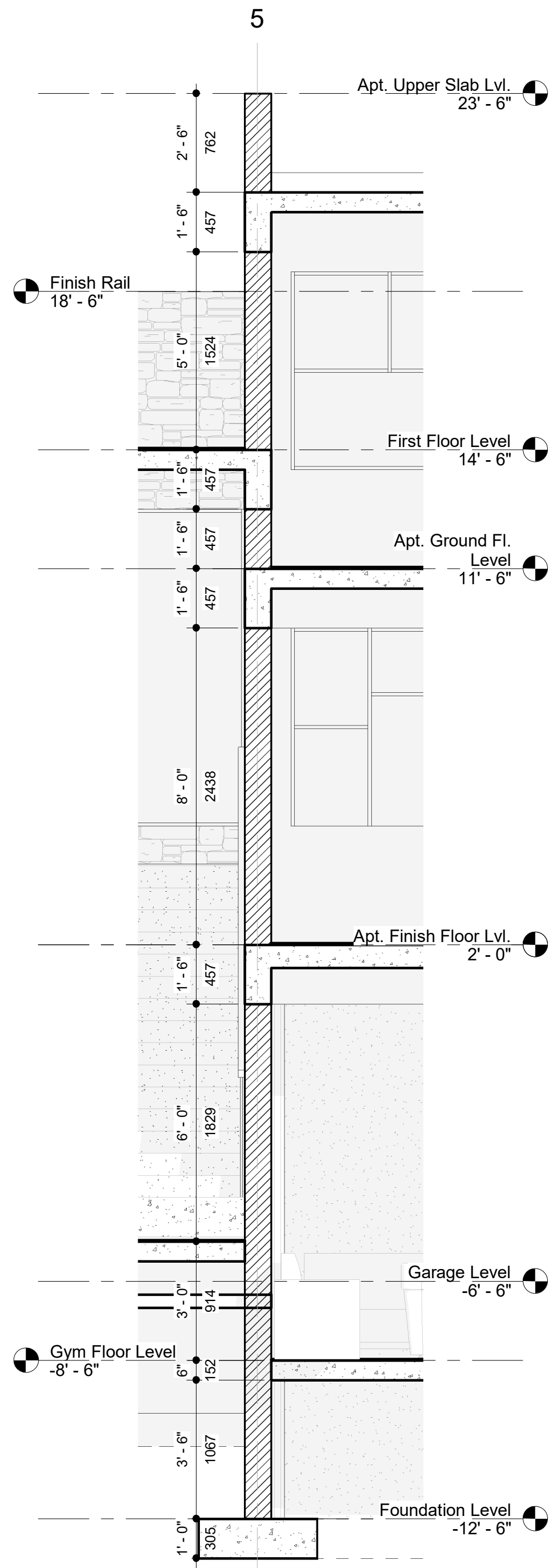
 <p>KASH'S DRAFTING SERVICES Montego Bay P.O. # 1, St. James kashdraftingservice@gmail.com 876.861.8143 / 876.345.4263</p>	FIRE APPROVED STAMP:	ENGINEER STAMP:	M.C. APPROVED STAMP:	Job No.:	Drawing No.:	Revision:	Project Title:	Sheet Title:	Client:	Drawn:	Sheet No.:
							Proposed Erection of a Townhouse & Apartment @ Lot 357 Ironshore	Sections	McKoy Development	Kaydrian Kerr K.D.S November 24, 2022 Scale: 1 : 70 Job No.: 00000	A13



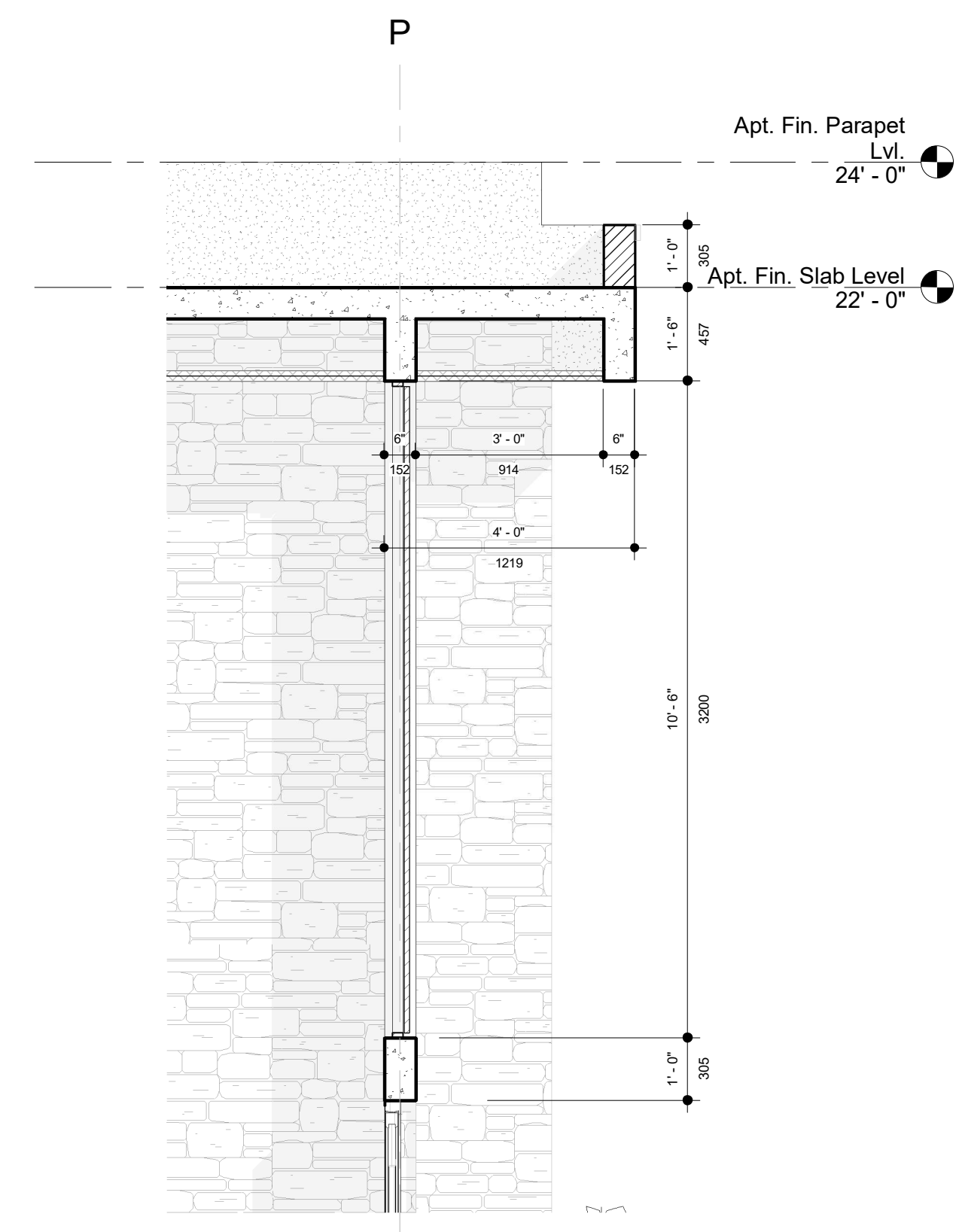
Proposed
1 Section Z--Z - Callout 1
 1 : 30



Proposed
2 Section Z--Z - Callout 2
 1 : 30



Proposed
3 Section Y--Y - Callout 1
 1 : 30



Proposed
4 Section W--W - Callout 1
 1 : 25



FIRE APPROVED STAMP:	ENGINEER STAMP:	M.C. APPROVED STAMP:
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Job No.:	Drawing No.:	Revision:	Project Title:

Sheet Title:	Client:
Section	McKoy Development

Drawn:	Check:
Kaydrian Kerr	K.D.S
Date:	Scale:
November 24, 2022	As indicated
Job No.:	
00000	

Sheet No.:
A14

LOT 546

RESERVED ROAD

LOT 356

LOT 363

LOT 545

PROPOSED ERECTION OF A MULTI-FAMILY UNIT AT 357 IRONSHORE IN ST. JAMES
[SEVEN TOWNHOUSE & TWO APARTMENTS]

LOT 362

LOT 544

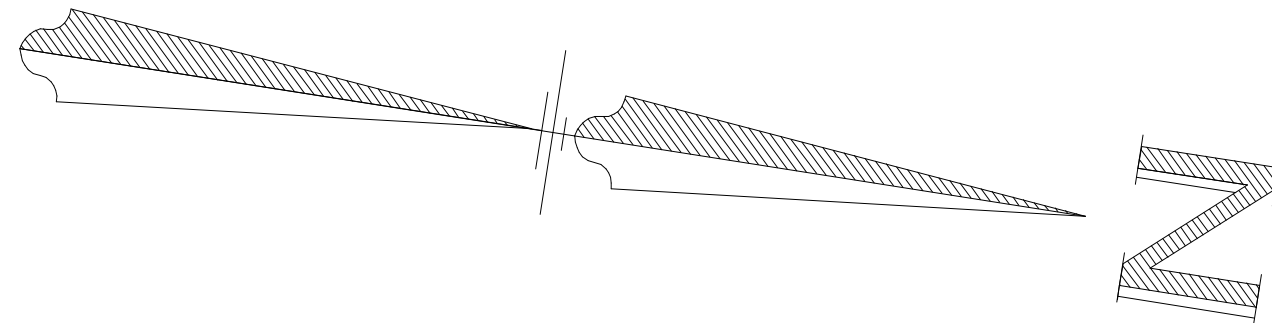
RESERVED ROAD

Lot 3032

Lot 3032

LOT 360

Proposed
1 Fire Site Plan
1 : 100



FIRE APPROVED STAMP:

ENGINEER STAMP:

M.C APPROVED STAMP:

Job No.:	Drawing No.:	Revision:	No.	Date:	By:	Consent:
Revision:	Issued Date:	Client:				
OS:	Srv. Eng.:	Mech. Eng.:				
Elec. Eng.:	C.O.F.:	Mt. Contractor:				
Approved:						

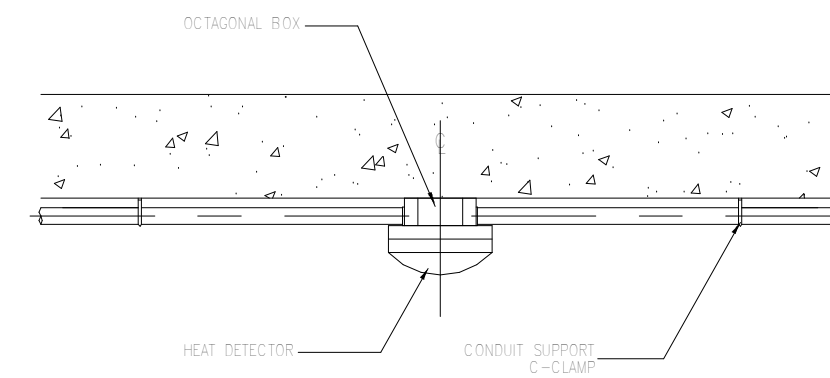
Project Title:
**Proposed Erection of a
Townhouse & Apartment @
Lot 357 Ironshore**

Sheet Title:
Fire Site Plan

Client:
McKoy Development

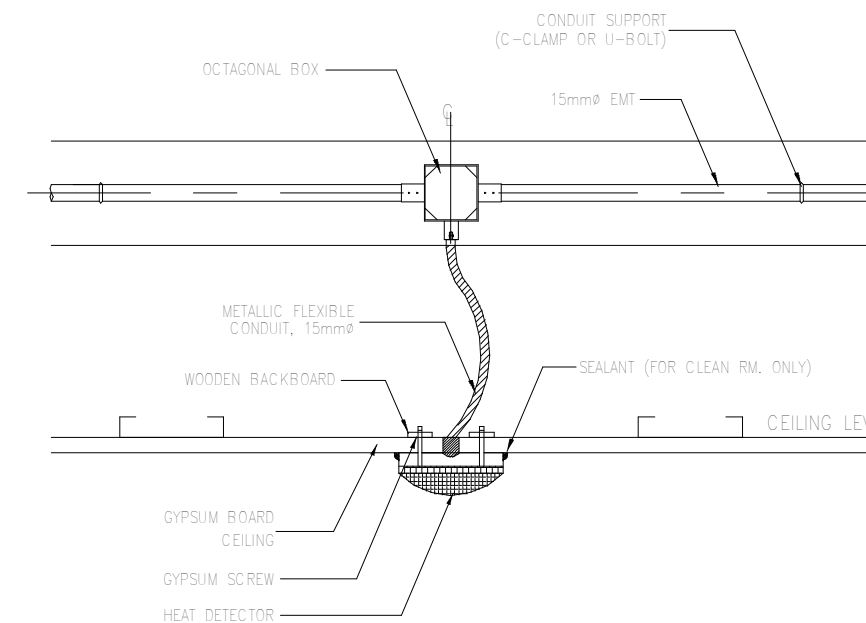
Drawn:
Kaydrian Kerr
Check:
K.D.S
Date:
November 24, 2022
Scale:
1 : 100
Job No.:
00000

Sheet No.:
E1

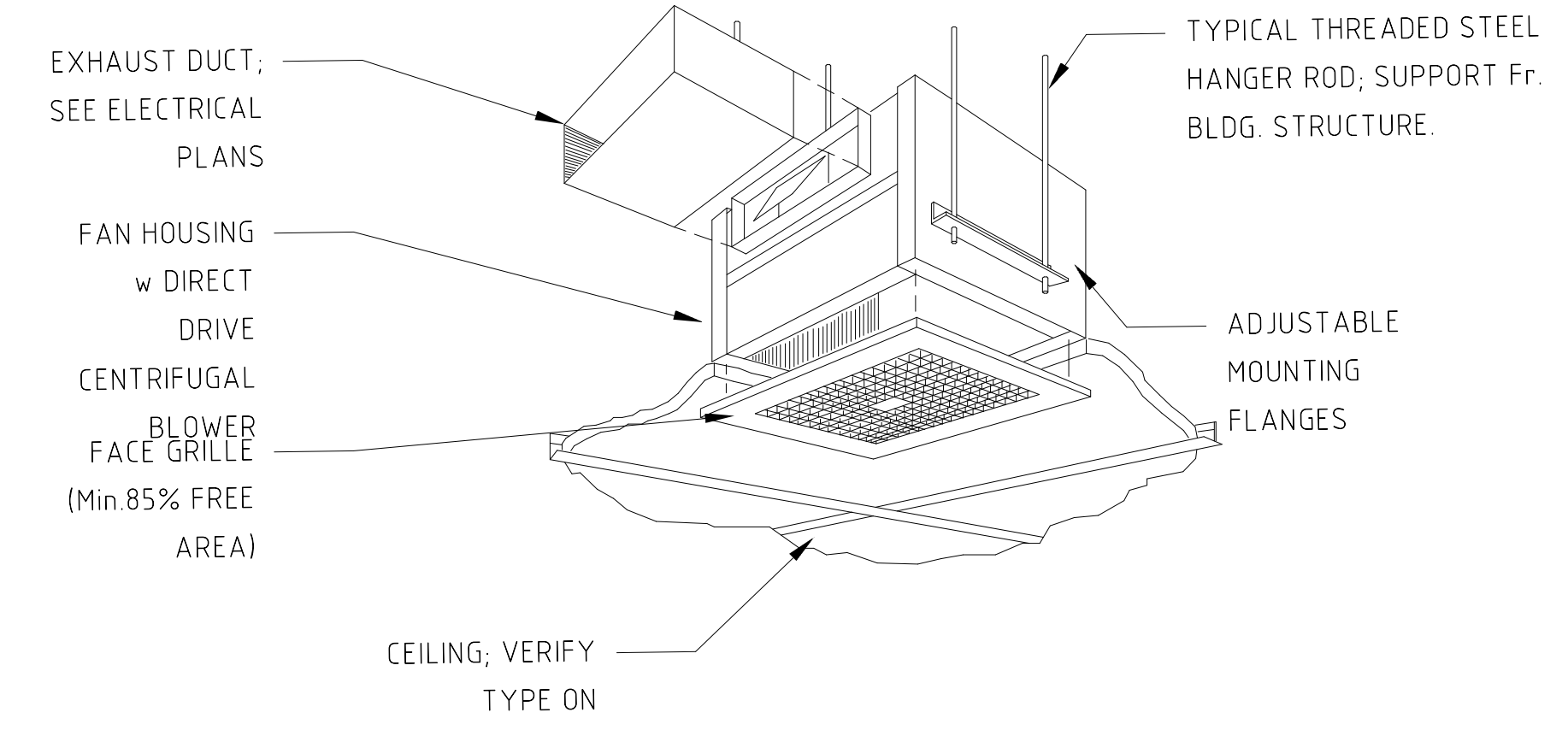


TYPICAL INSTALLATION DETAIL
OF HEAT/SMOKE DETECTOR (DIRECT ON SLAB)

Proposed
3 Heat & Smoke Detector
1 : 10

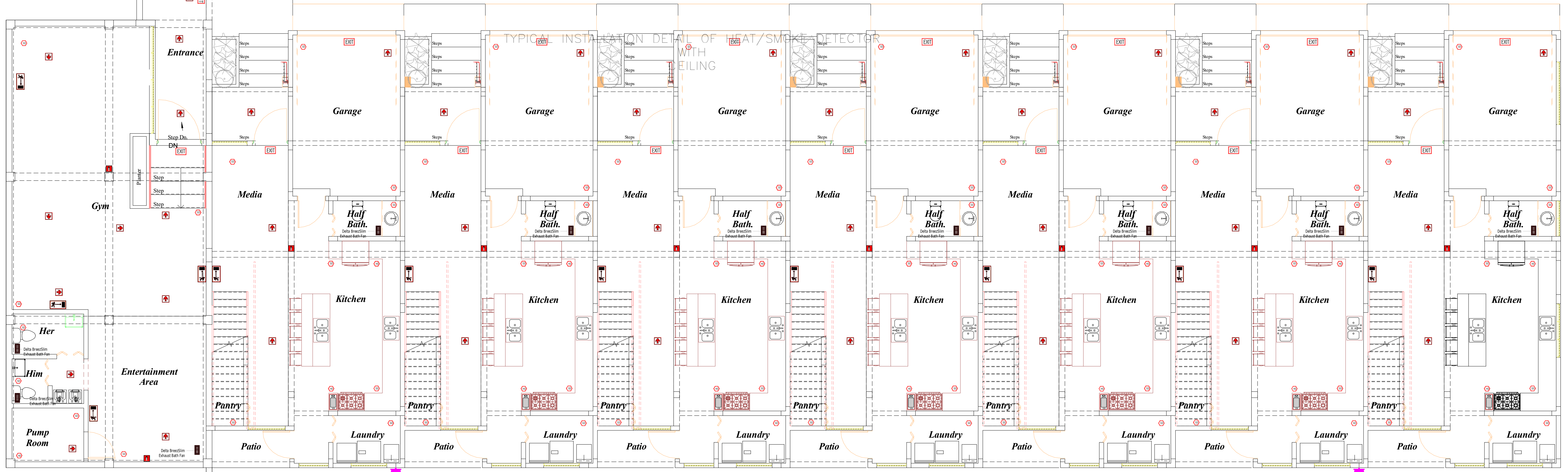
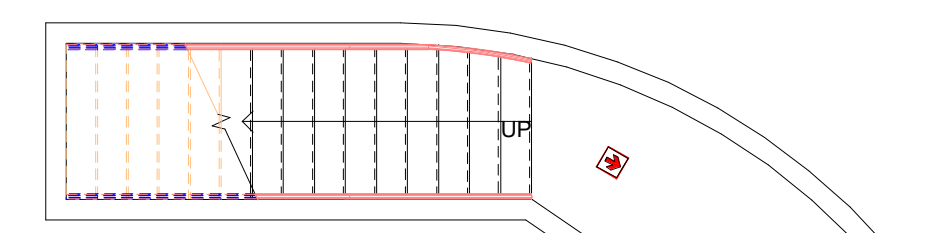


TYPICAL INSTALLATION DETAIL OF HEAT/SMOKE DETECTOR
WITH CEILING



Proposed
2 Exhaust Fan Detail
1 : 15

FIRE LEGEND	
Symbols	Description
	Danger Electricity
	Wireless With Battery Backup Smoke Detector
	Wireless With Battery Backup Heat Detector
	4.54 Kg Dry Chemical Fire Extinguisher
	2.27 Kg CO ₂ Fire Extinguisher
	Fire Alarm Pull Station
	Fire Hose Reel
	Emergency Lights
	Emergency Door Access
	Emergency Stairs Access
	Emergency Ladder Access
	Emergency Exit (Left)
	Emergency Exit (Right)
	Emergency Exit Direction Arrow
	Fire Alarm Control Panel
	Smoke Horn With Light
	30lb LPG Gas Cylinder
	100lb LPG Gas Cylinder
	Fire Hydrant With ISO Valve 4"
	JCMF Emergency Ladder
	Gas Line
	Exhaust Fan



Proposed
1 Townhouse Basement Fire Plan
1 : 67



FIRE APPROVED STAMP:	ENGINEER STAMP:	M.C. APPROVED STAMP:
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Job No.:	Drawing No.:	Revision:
Revision:	Issued Date:	Client:
Class:	O.S.:	Rev. Eng.:
Mod. Eng.:	Exec. Eng.:	C.O.B.:
Mt. Contractor:	Approved:	

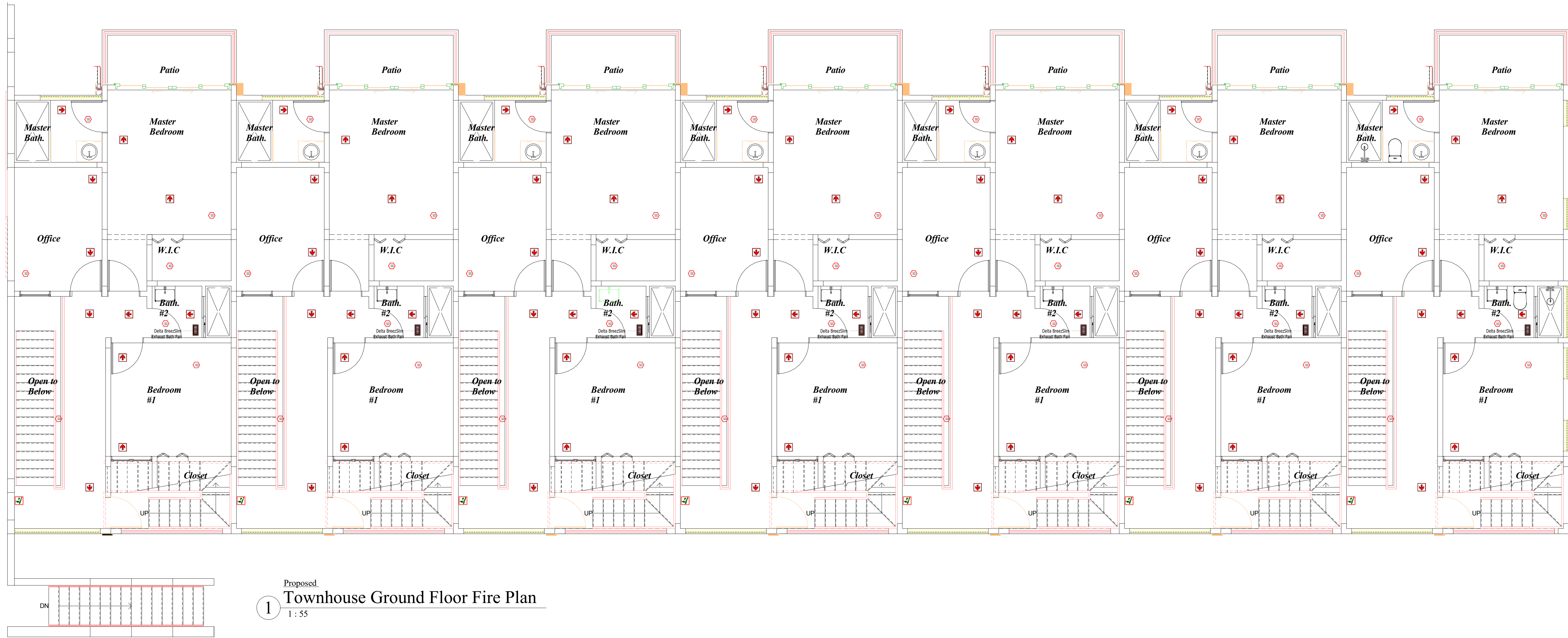
Project Title:
**Proposed Erection of a
Townhouse & Apartment @
Lot 357 Ironshore**

Sheet Title:
**Townhouse Basement Fire
Plan**

Client:
McKoy Development

Drawn:
Kaydrian Kerr
Checked:
K.D.S
Date:
November 24, 2022
Scale:
As indicated
Job No.:
00000

Sheet No.:
E2



FIRE APPROVED STAMP:	ENGINEER STAMP:	M.C. APPROVED STAMP:

Job No.:	Drawing No.:	Revision:
<small>Revision:</small> <small>Issued Date:</small> <small>Client:</small> <small>O.S.:</small> <small>Srv. Eng.:</small> <small>Mech. Eng.:</small> <small>Elec. Eng.:</small> <small>C.O.B.:</small> <small>Mt. Contractor:</small> <small>Approved:</small>	<small>No.:</small> <small>Date:</small> <small>By:</small> <small>Consent:</small>	

Project Title:
**Proposed Erection of a
 Townhouse & Apartment @
 Lot 357 Ironshore**

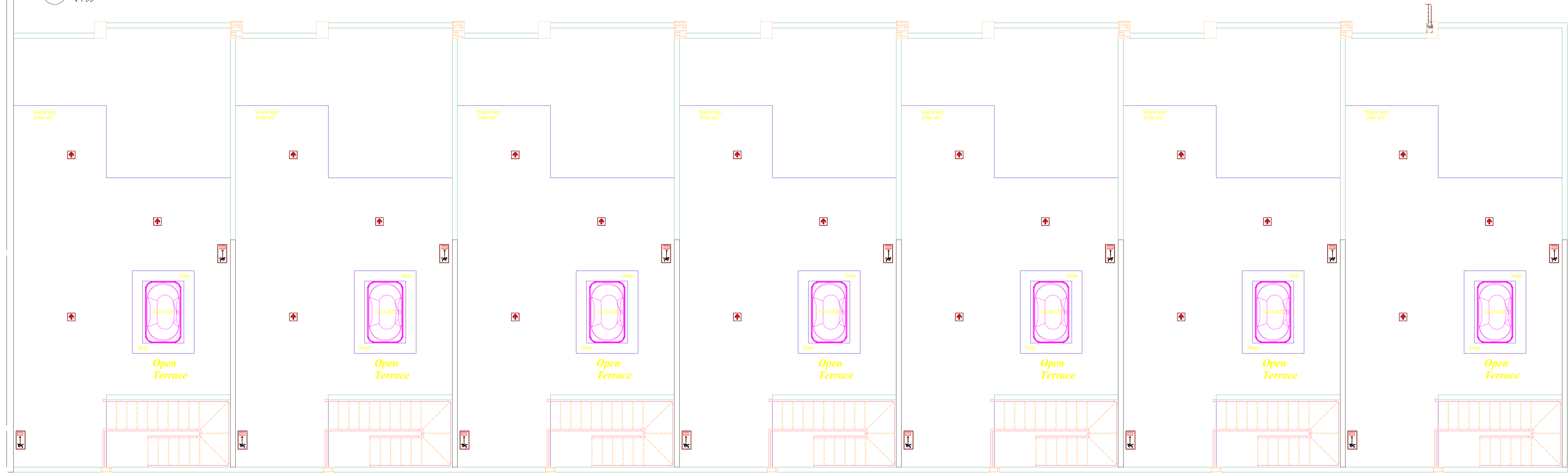
Sheet Title:
**Townhouse Ground Floor
 Fire Plan**

Client:
McKoy Development

Drawn:
Kaydrian Kerr
 Check:
K.D.S
 Date:
November 24, 2022
 Scale:
1 : 55
 Job No.: **00000**

Sheet No.:
E3

Proposed
1 Townhouse Roof Fire Plan
 1 : 55



FIRE APPROVED STAMP:

ENGINEER STAMP:

M.C APPROVED STAMP:

Job No.:	Drawing No.:	Revision:
		No Date By Content:
Revision:		
Issued Date:		
Client:		
O.S.:		
Srv. Eng.:		
Mech. Eng.:		
Elec. Eng.:		
C.O.B.:		
Mt. Contractor:		
Approved:		

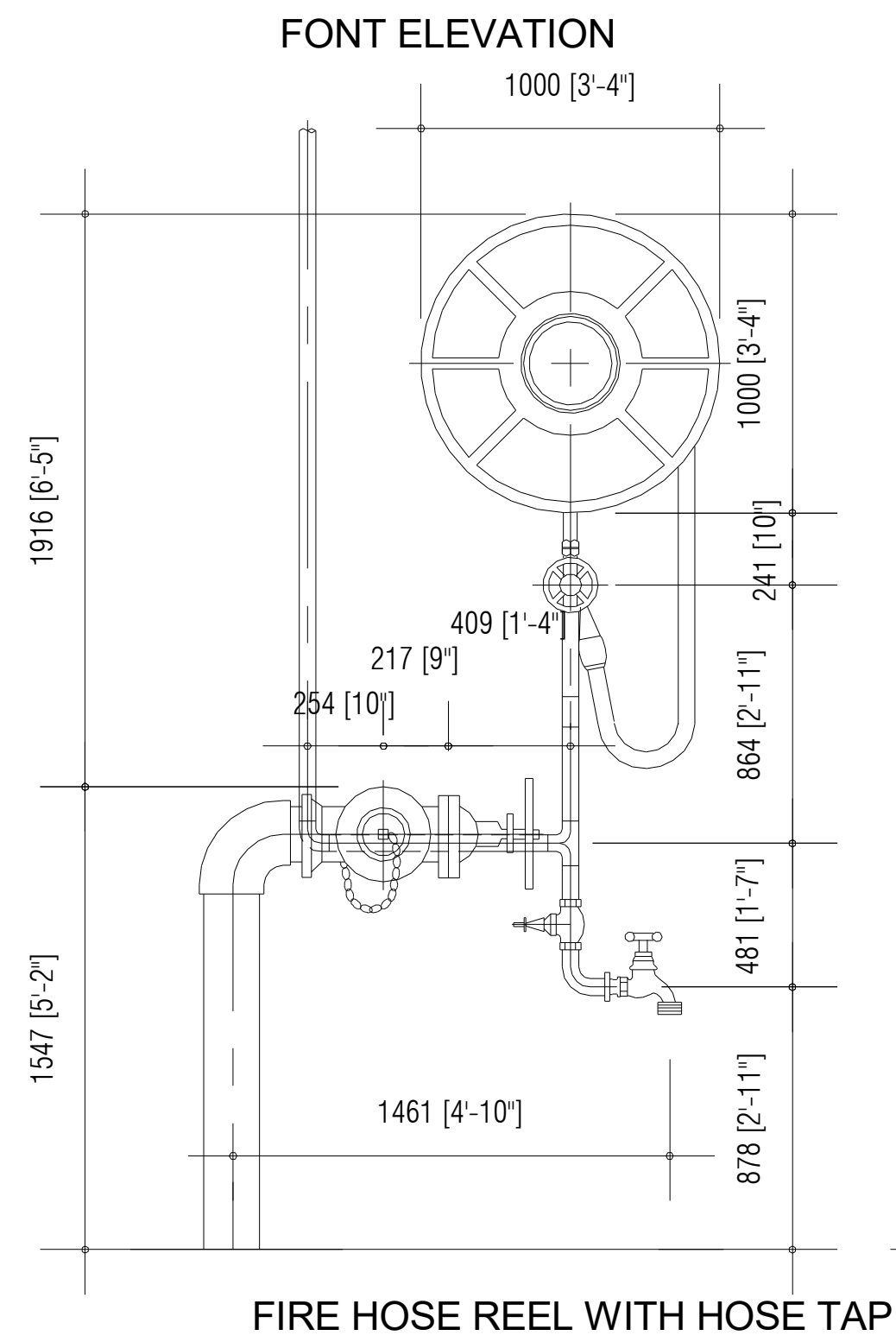
Project Title:
 Proposed Erection of a
 Townhouse & Apartment @
 Lot 357 Ironshore

Sheet Title:
 Townhouse Roof Fire Plan

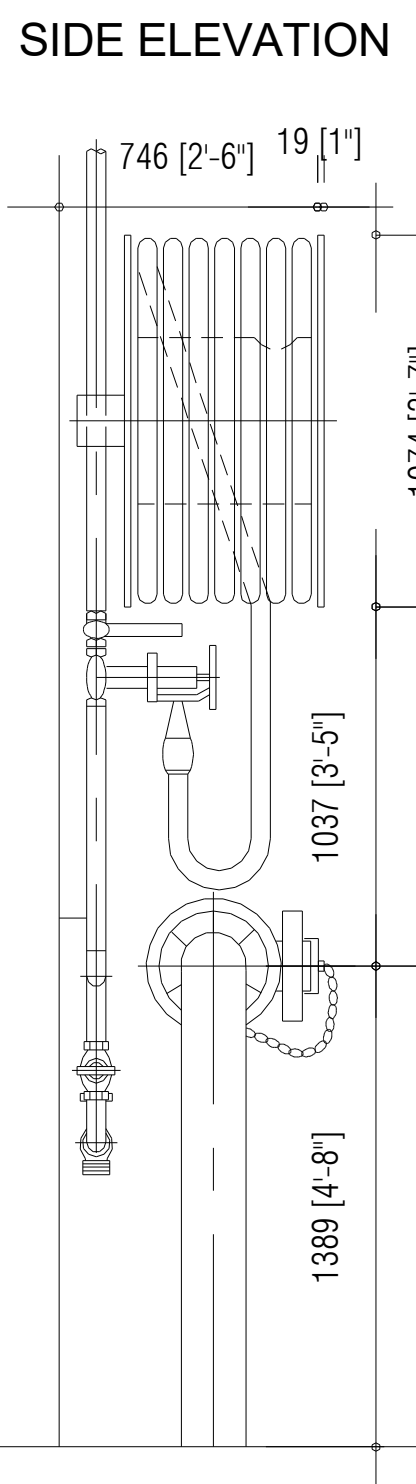
Client:
 McKoy Development

Drawn:
 Kaydrian Kerr
Check:
 K.D.S
Date:
 November 24, 2022
Scale:
 1 : 55
Job No.:
 00000

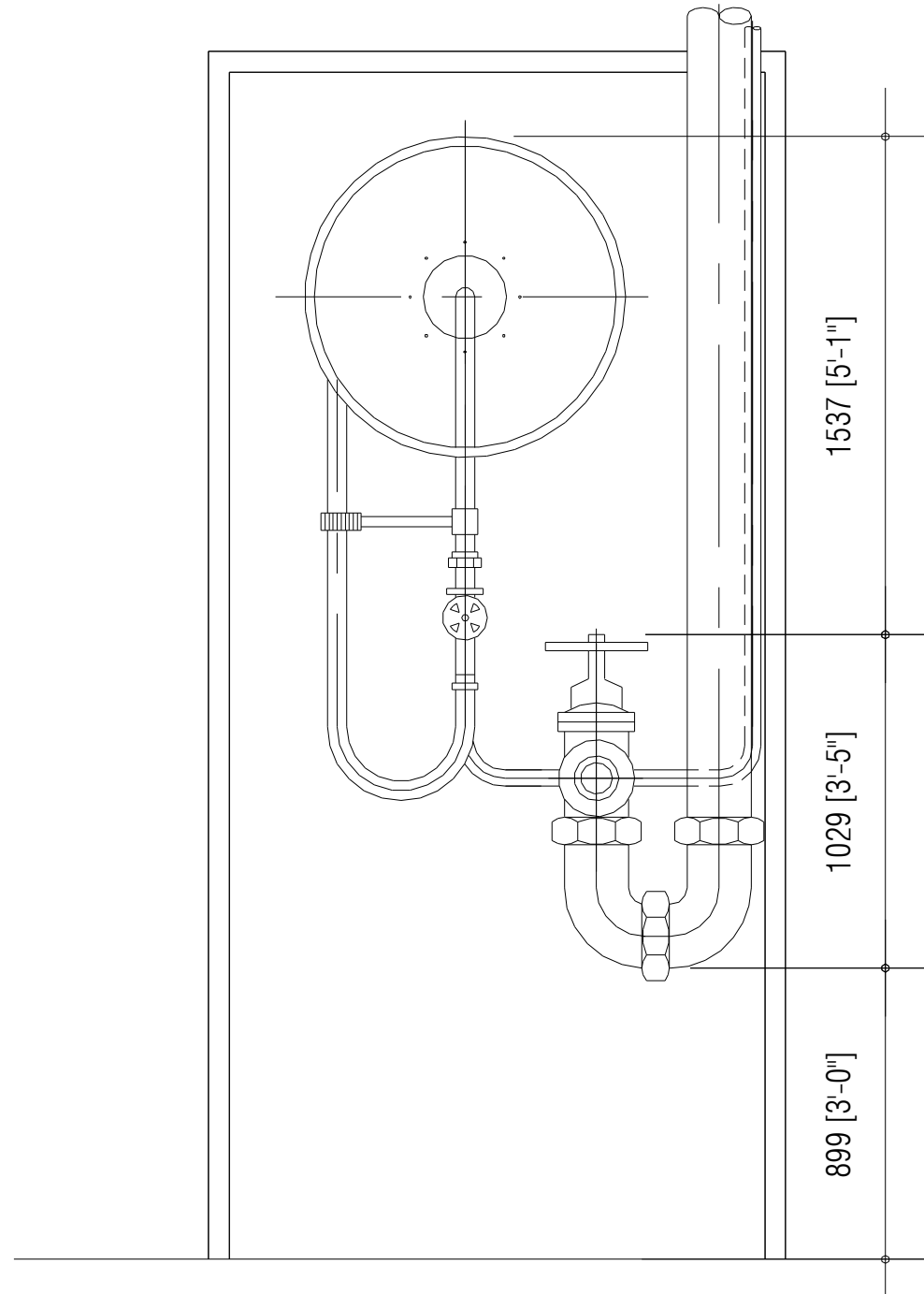
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E4



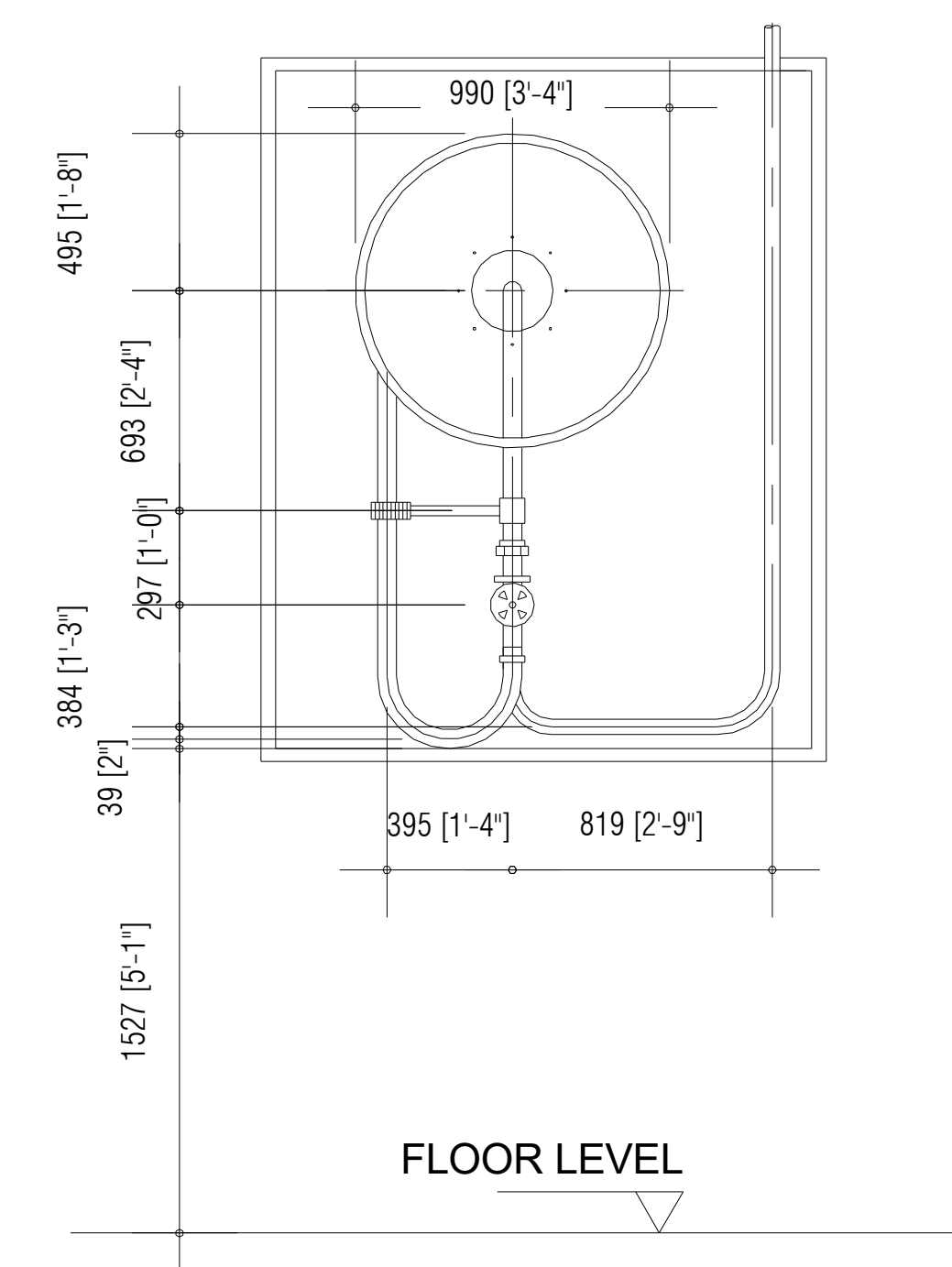
FIRE HOSE REEL WITH HOSE TAP



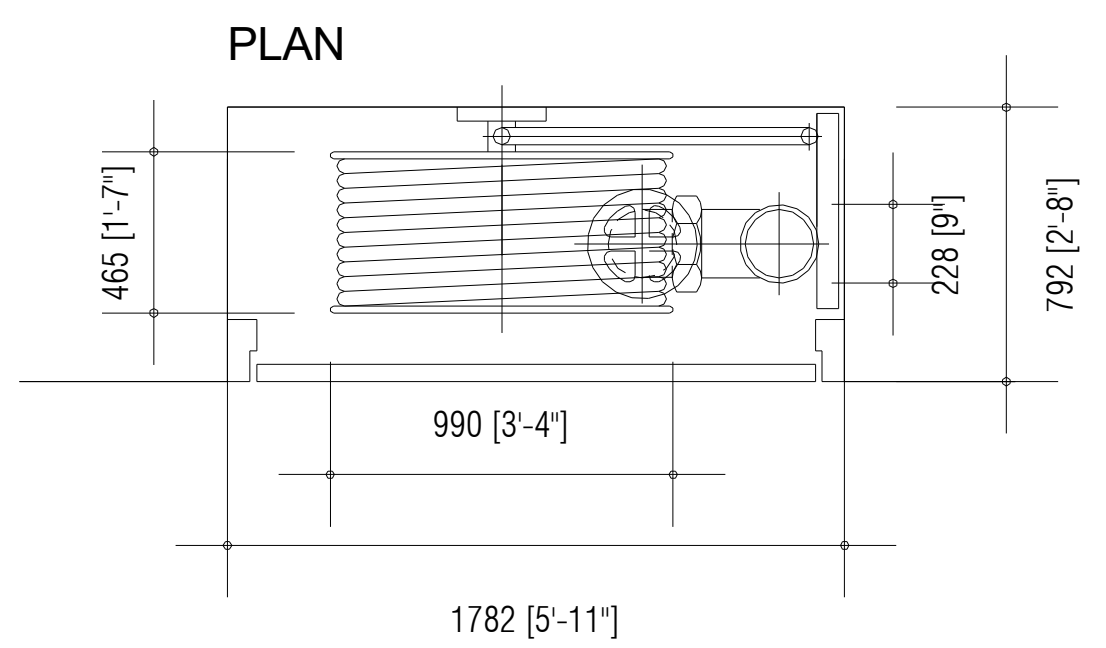
SIDE ELEVATION



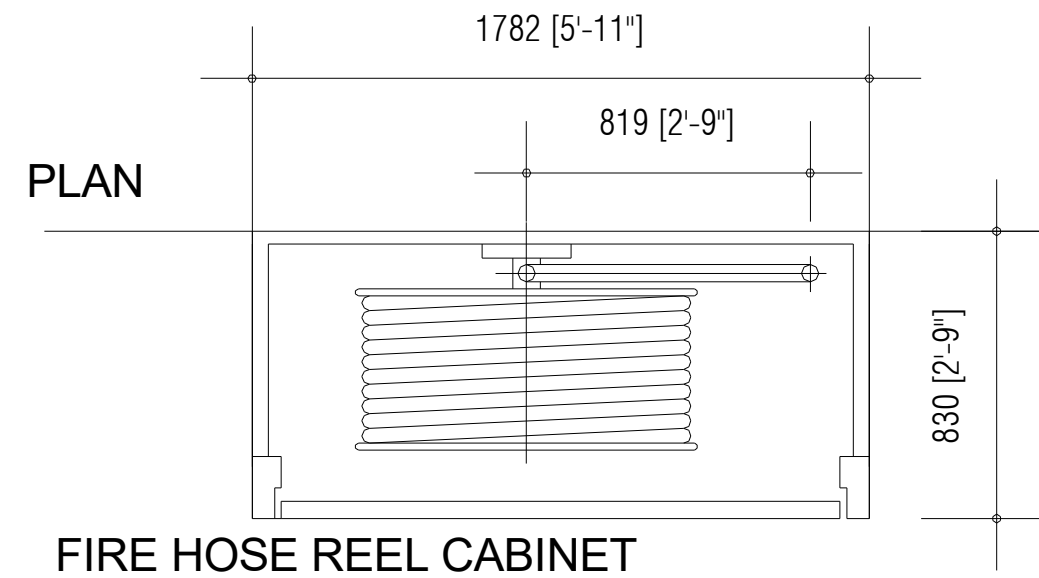
ELEVATION



FLOOR LEVEL

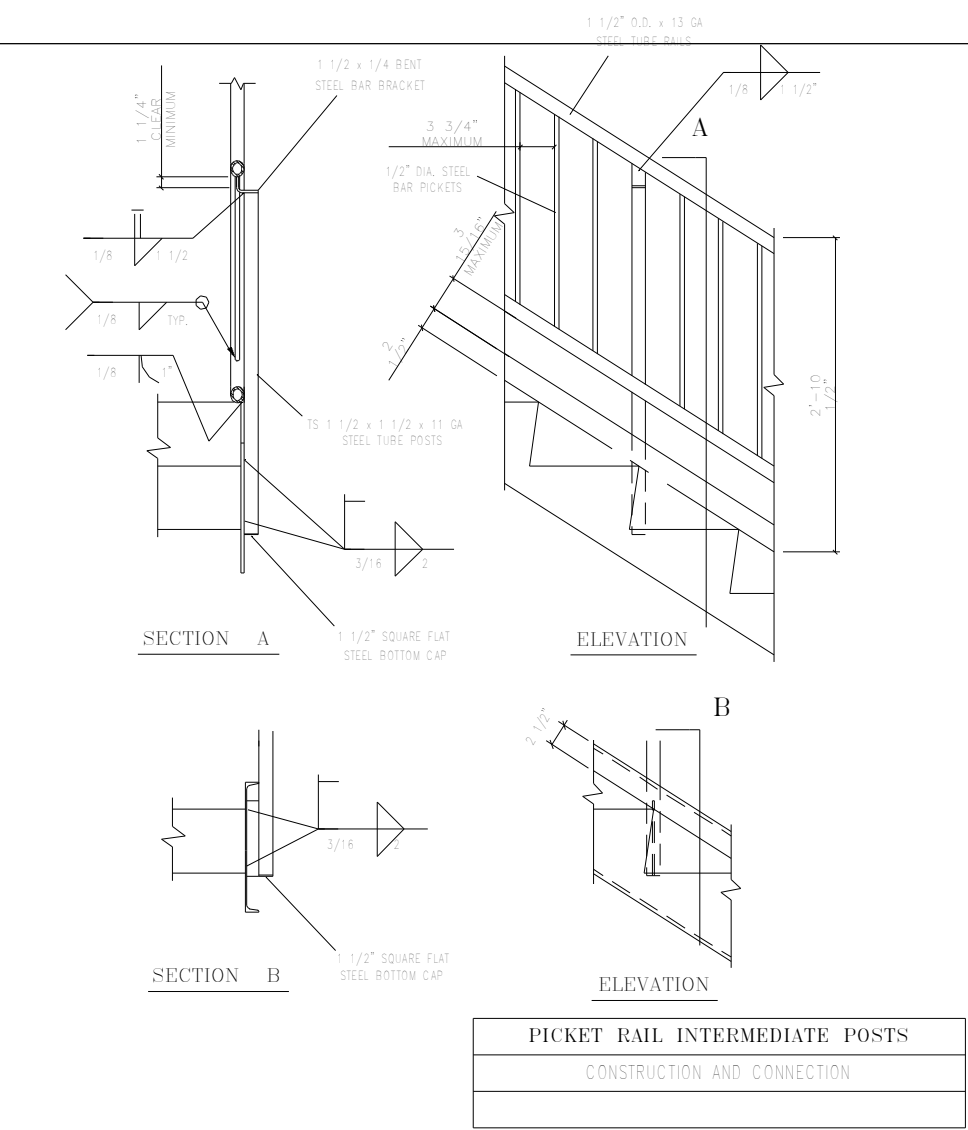


PLAN

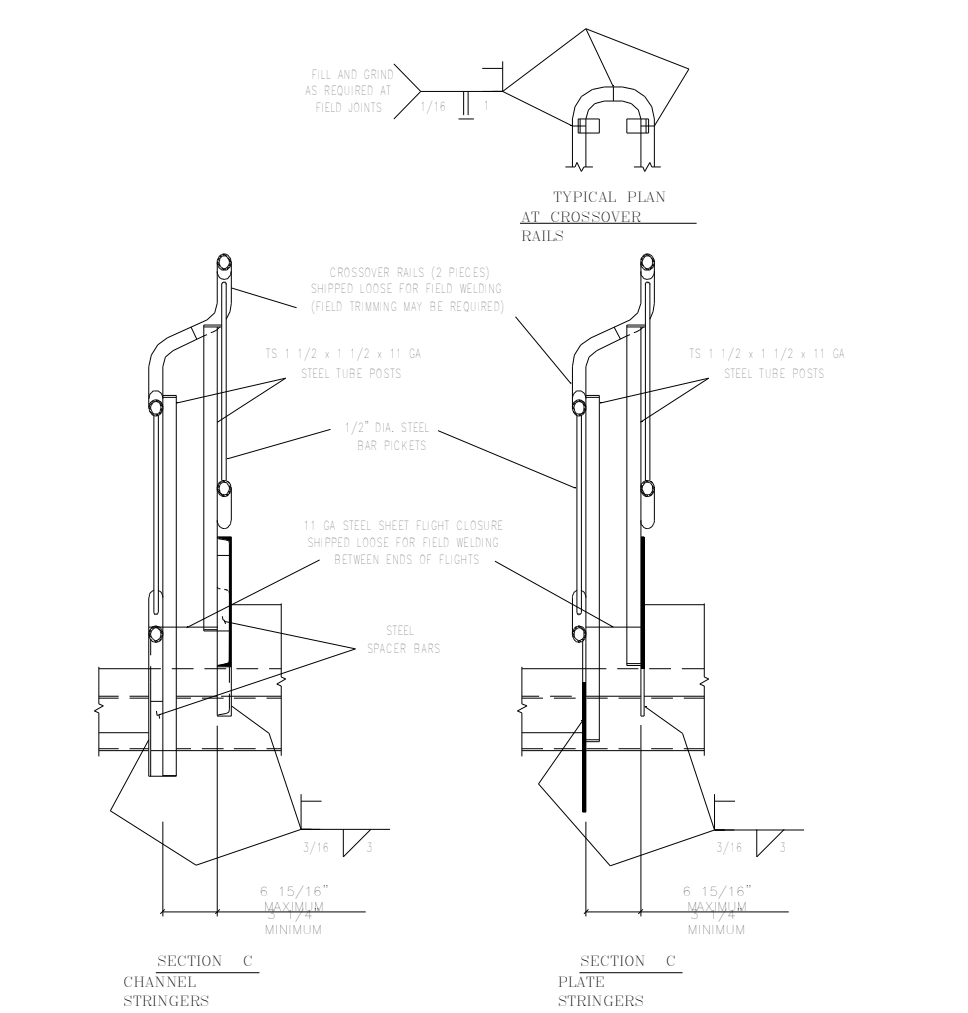


PLAN

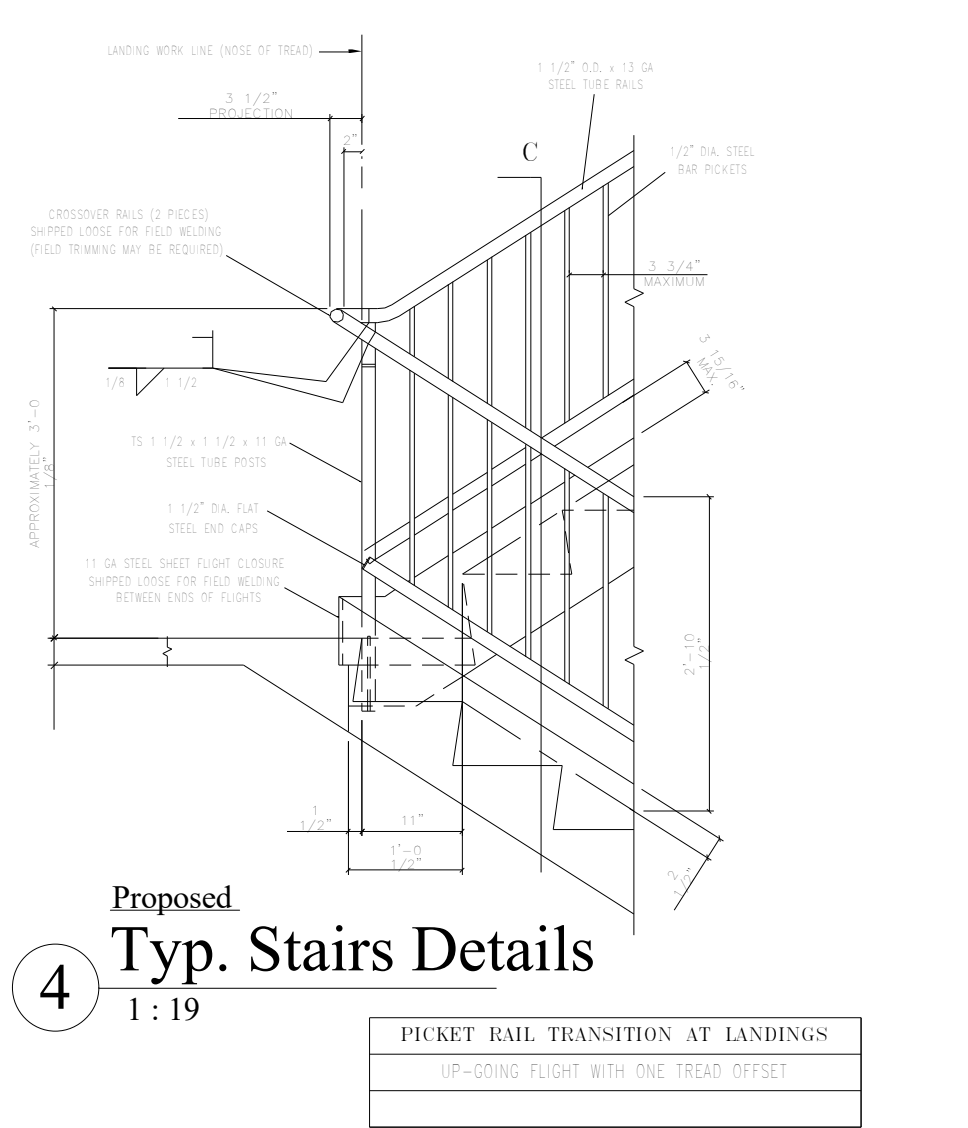
FIRE HOSE REEL CABINET



PICKET RAIL INTERMEDIATE POSTS
CONSTRUCTION AND CONNECTION



PICKET RAIL TRANSITION AT LANDINGS
SECTION THRU RAILS BETWEEN STAIR FLIGHTS



PICKET RAIL TRANSITION AT LANDINGS
UP-GOING FLIGHT WITH TREAD OFFSET

Proposed
1 Fire Hose With Hose Tap
1 : 20

Proposed
4 Typ. Stairs Details
1 : 19



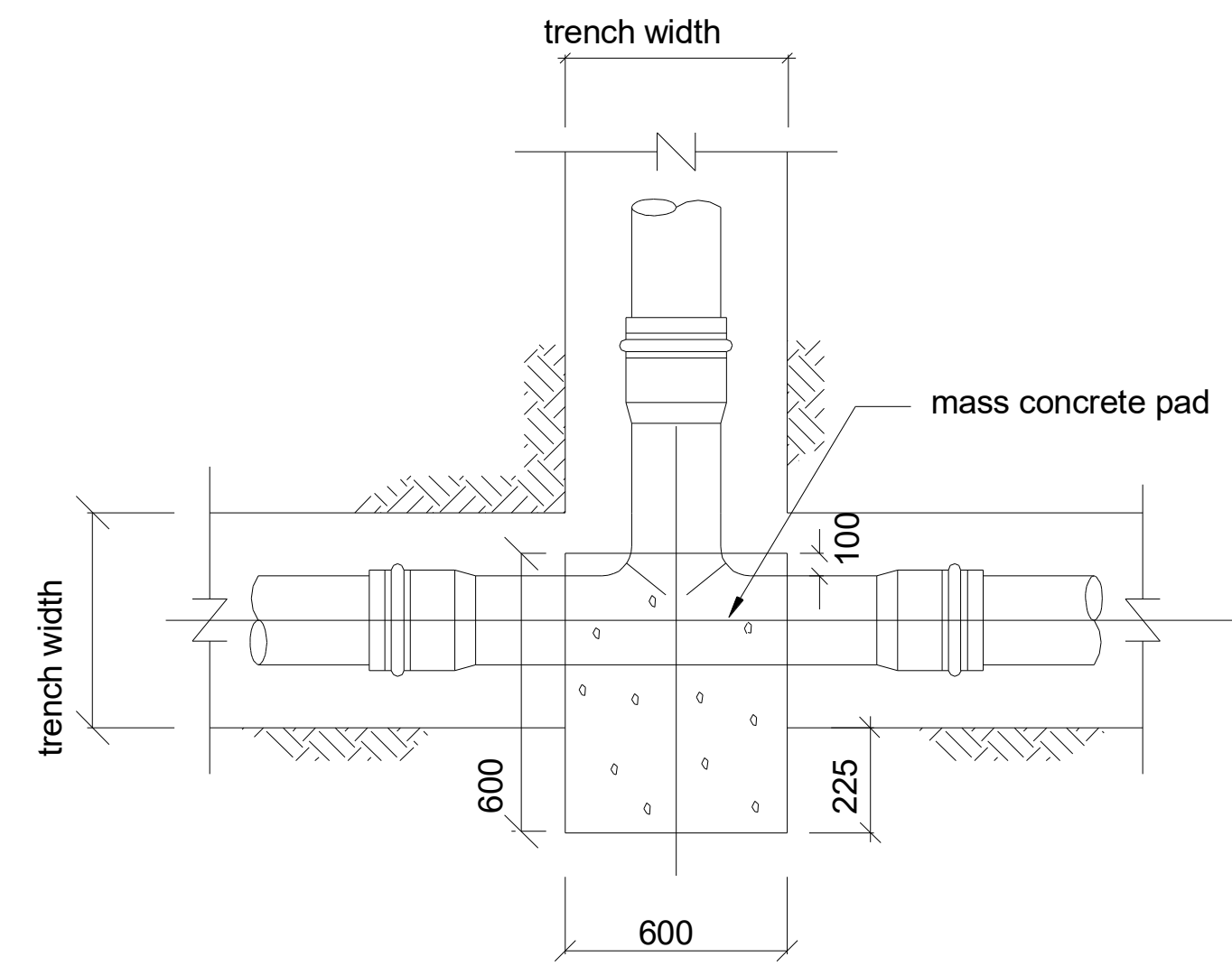
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ENGINEER STAMP:
M.C. APPROVED STAMP:

Job No.:	Drawing No.:	Revision:	Project Title:	Sheet Title:	Client:	Drawn:	Check:	Scale:	Job No.:
			Proposed Erection of a Townhouse & Apartment @ Lot 357 Ironshore	Fire Hose, Fire Hydrant Details	McKoy Development	Kaydrin Kerr	K.D.S.	As indicated	00000

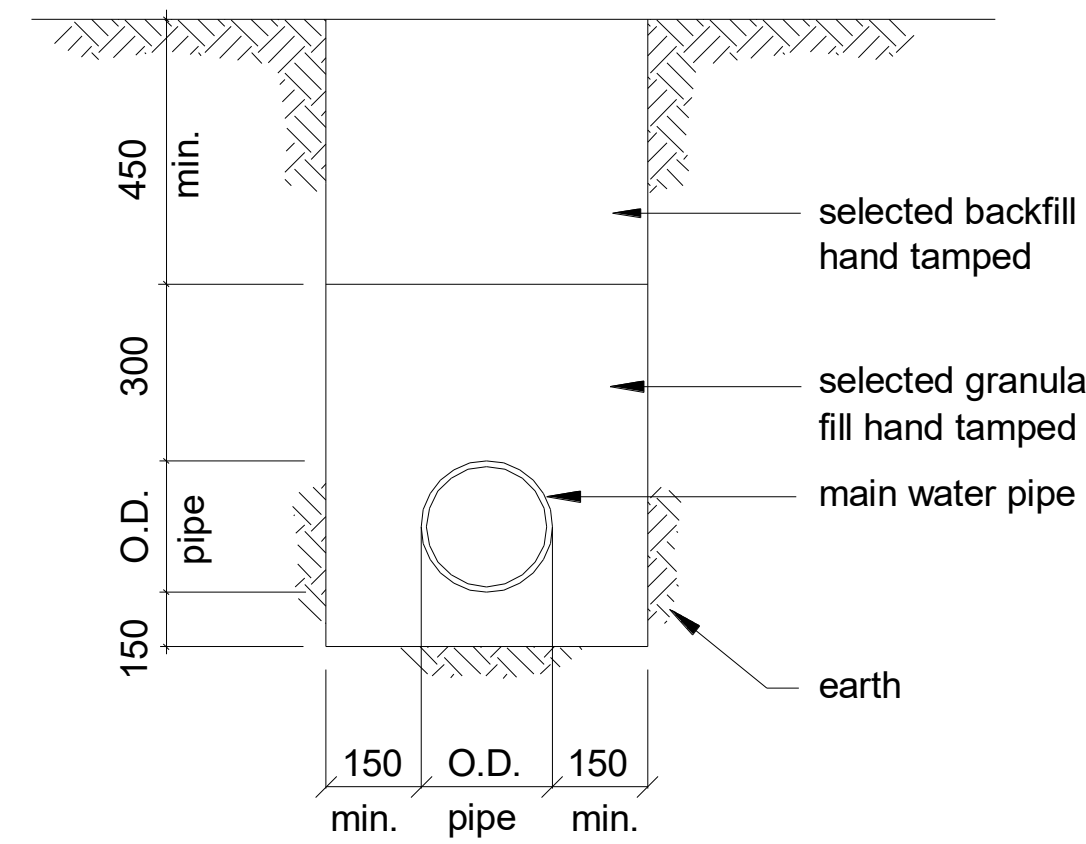
Proposed Erection of a Townhouse & Apartment @ Lot 357 Ironshore

Project Title: Fire Hose, Fire Hydrant Details
Client: McKoy Development
Drawn: Kaydrin Kerr
Check: K.D.S.
Date: November 24, 2022
Scale: As indicated
Job No.: 00000

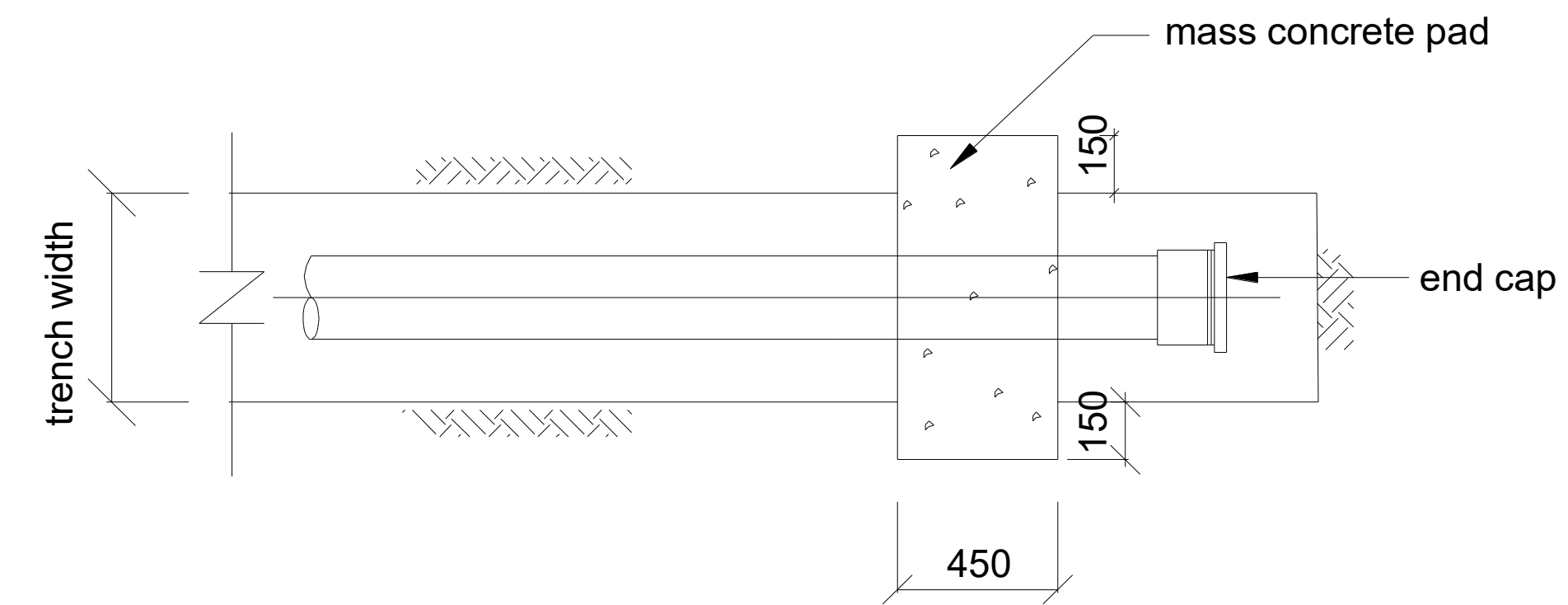
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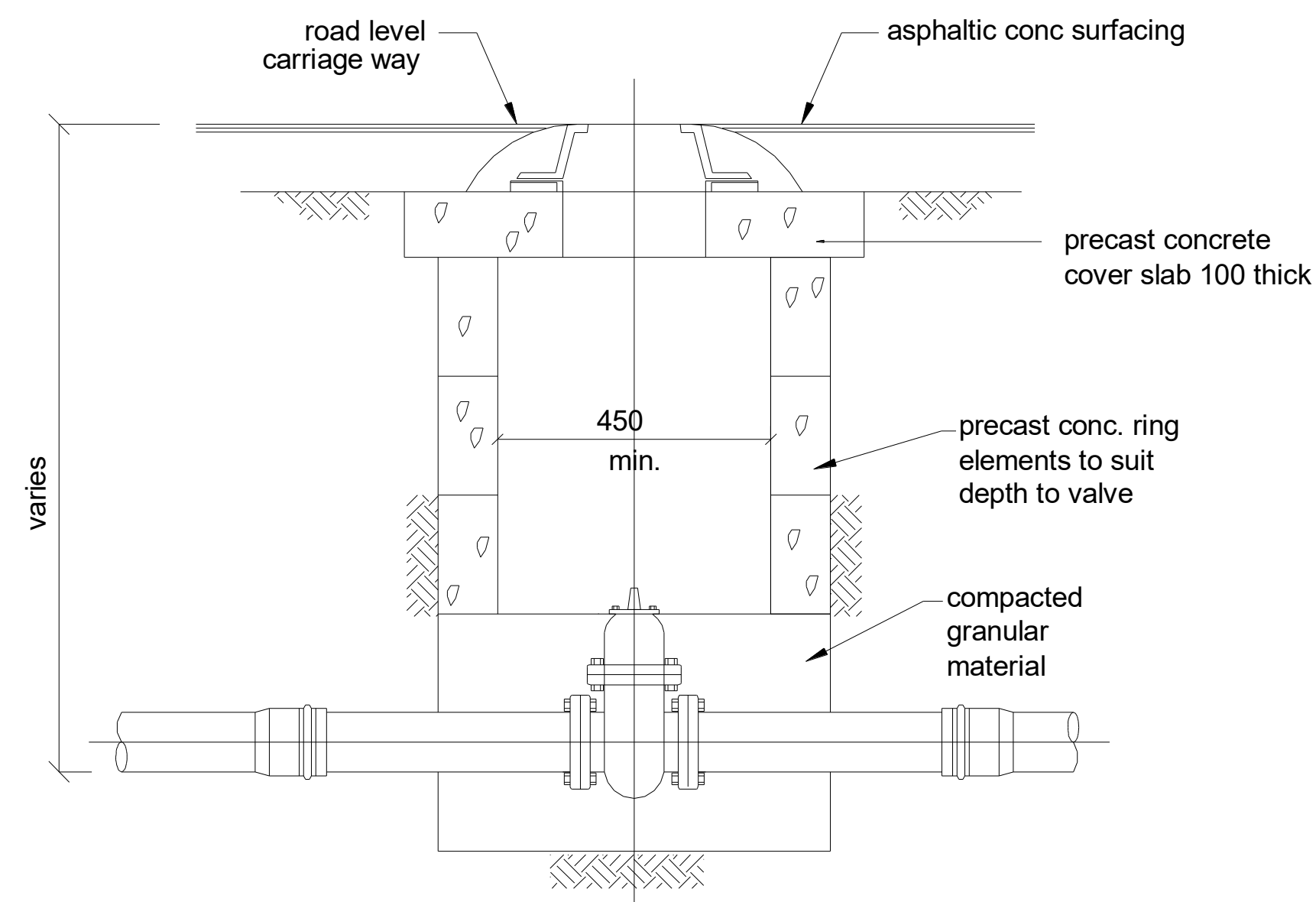
**DETAIL OF THRUST
BLOCK TO TEE**



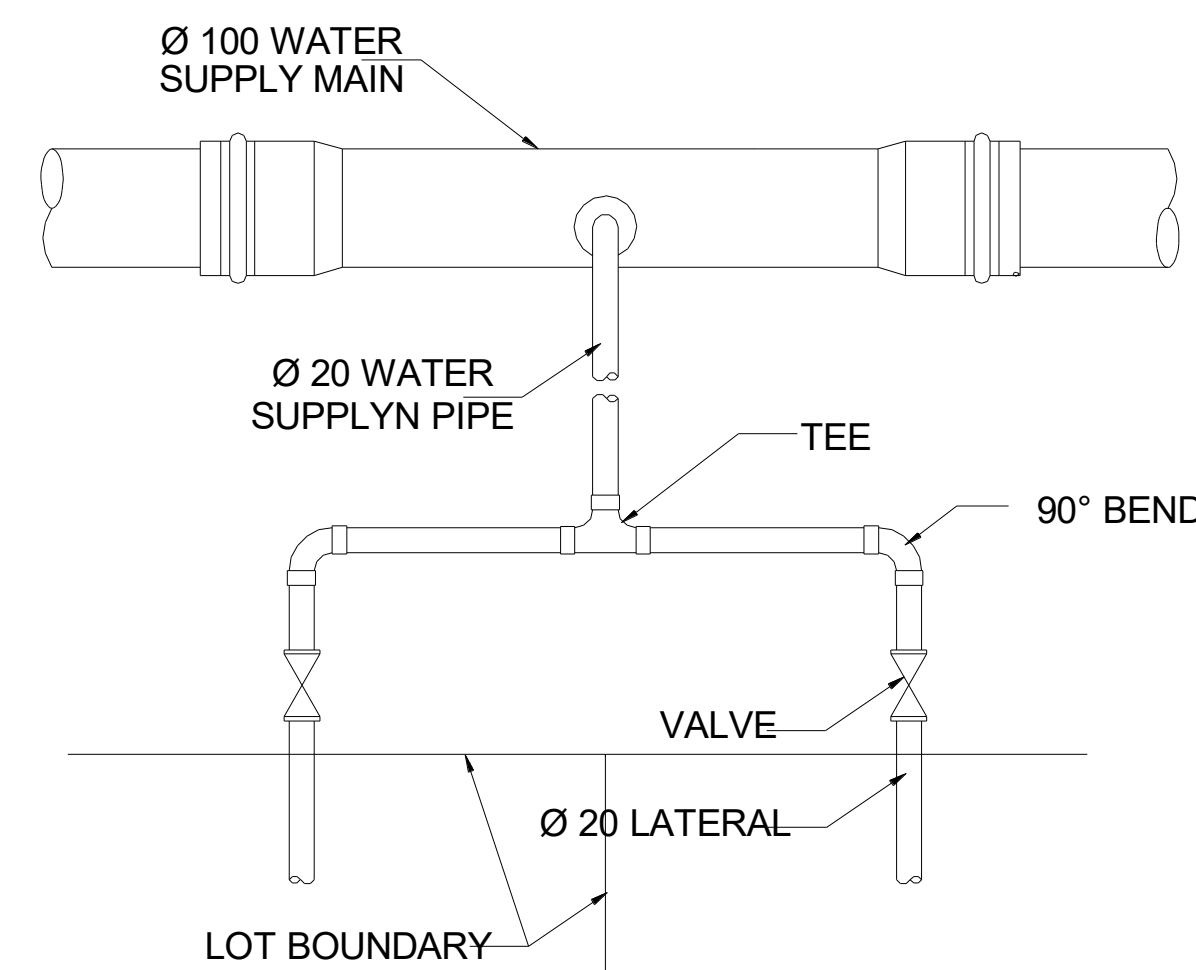
**TYPICAL TRENCH DETAIL
FOR WATER MAINS**



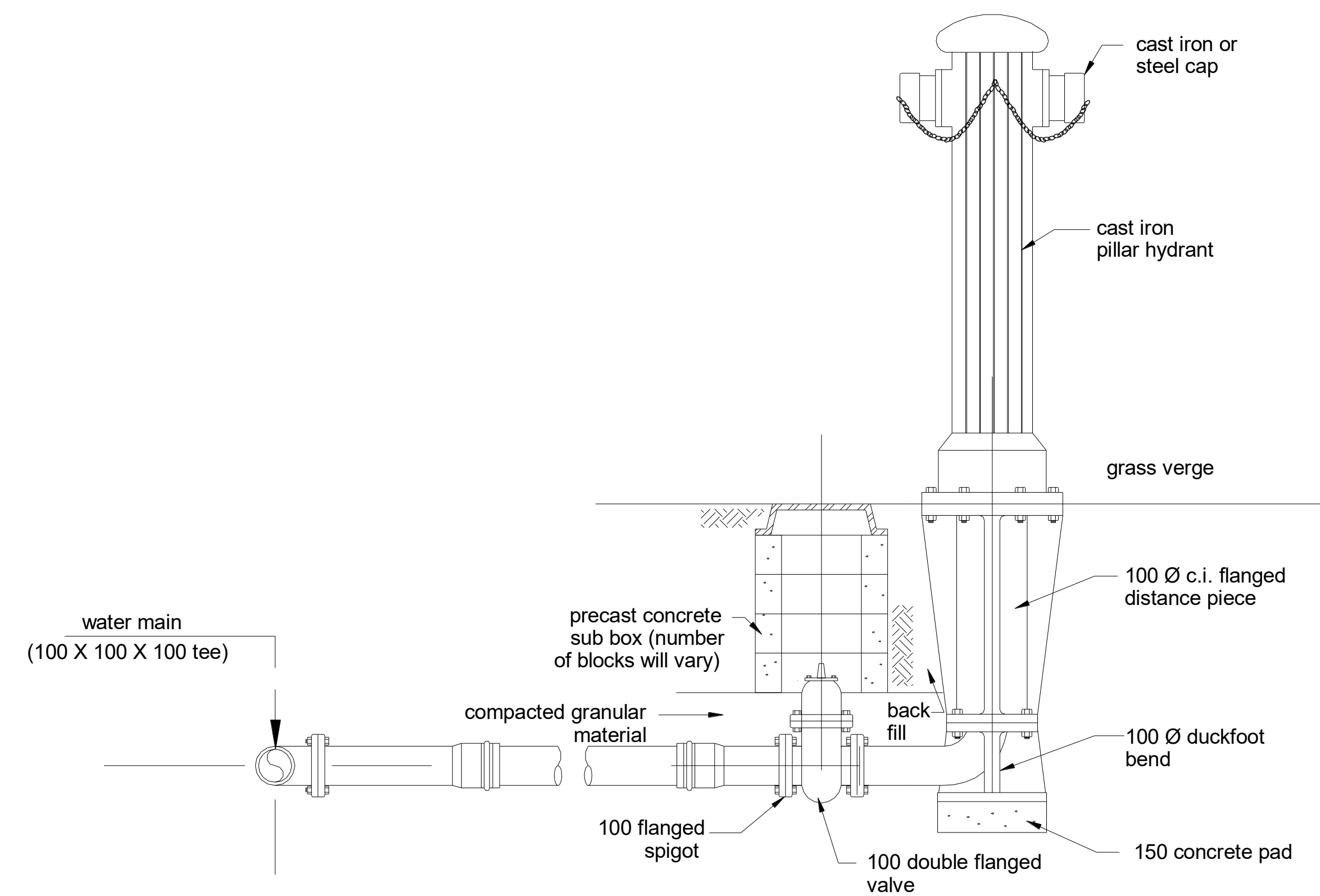
TYPICAL DEAD END DETAIL



**ELEVATION OF TYPICAL
GATE VALVE**



LATERAL CONNECTION



TYPICAL FIRE HYDRANT DETAIL



FIRE APPROVED STAMP:

ENGINEER STAMP:

M.C APPROVED STAMP:

Job No.:	Drawing No.:	Revision:	Project Title:	Sheet Title:	Client:	Drawn:	Check:	Date:	Scale:	Job No.:
			Proposed Erection of a Townhouse & Apartment @ Lot 357 Ironshore	On-Site Fire Hydrant N.D.T.S	McKoy Development	Kaydrian Kerr	K.D.S	November 24, 2022	12" = 1'-0"	00000

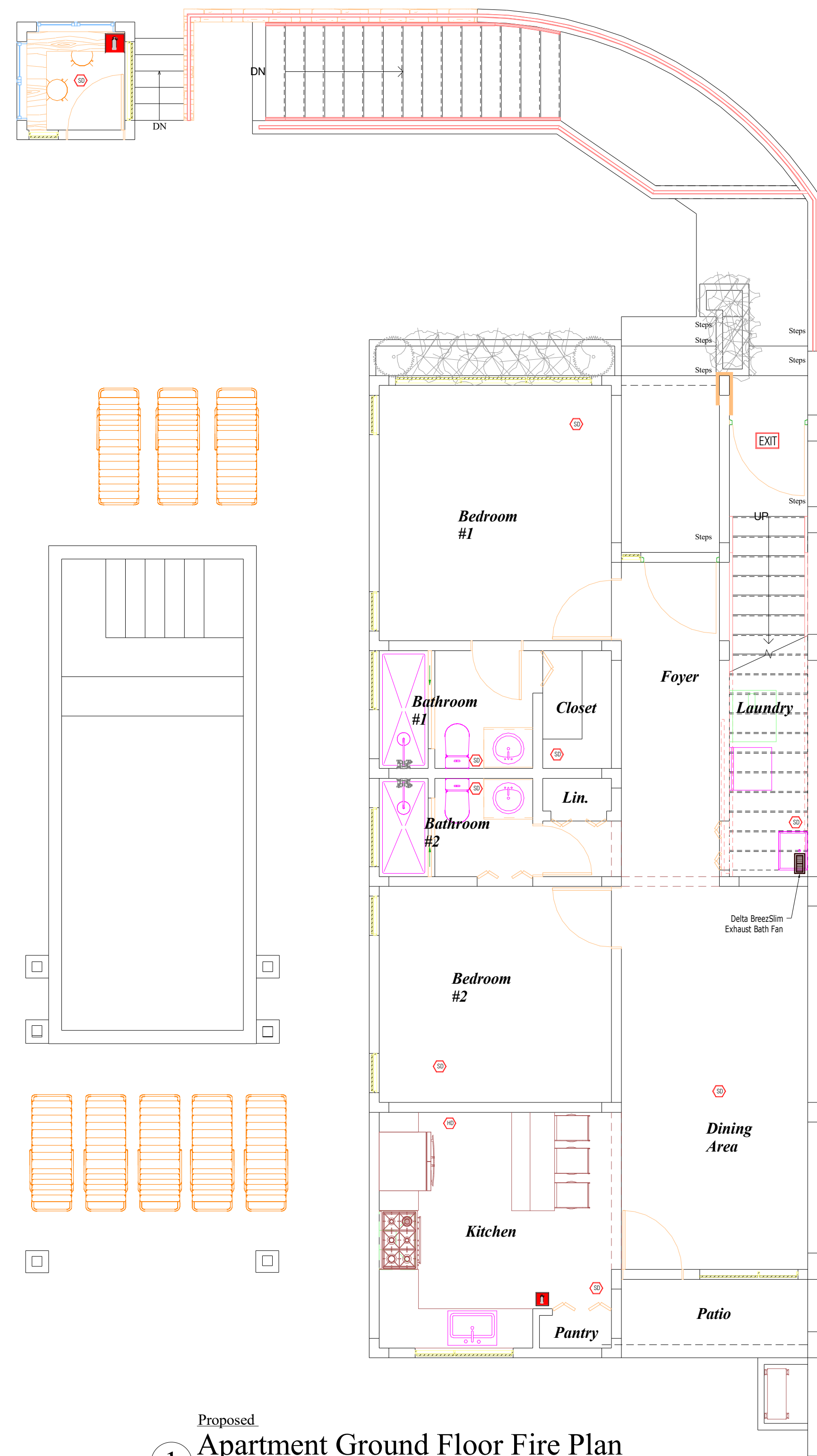
Proposed Erection of a Townhouse & Apartment @ Lot 357 Ironshore

On-Site Fire Hydrant N.D.T.S

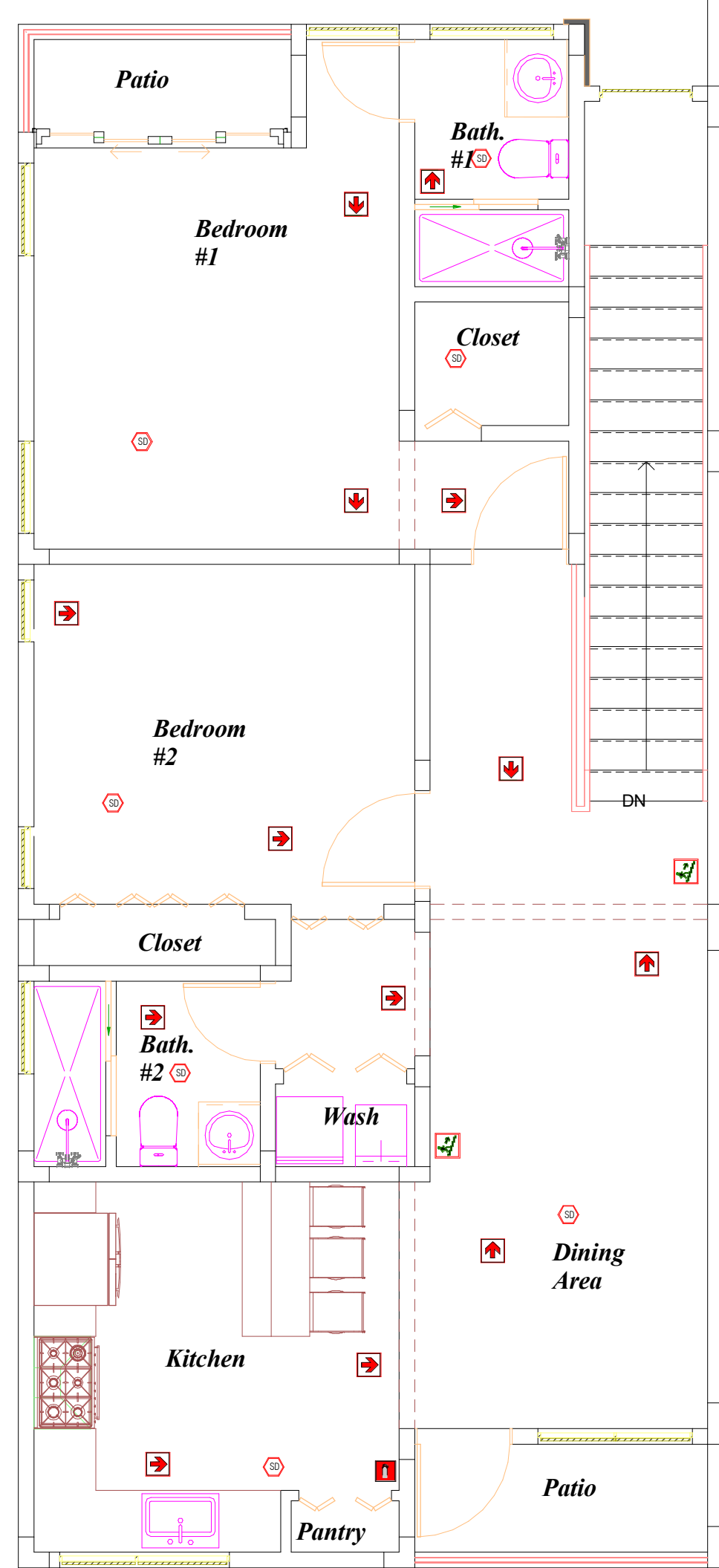
McKoy Development

Drawn: Kaydrian Kerr
Check: K.D.S
Date: November 24, 2022
Scale: 12" = 1'-0"
Job No.: 00000

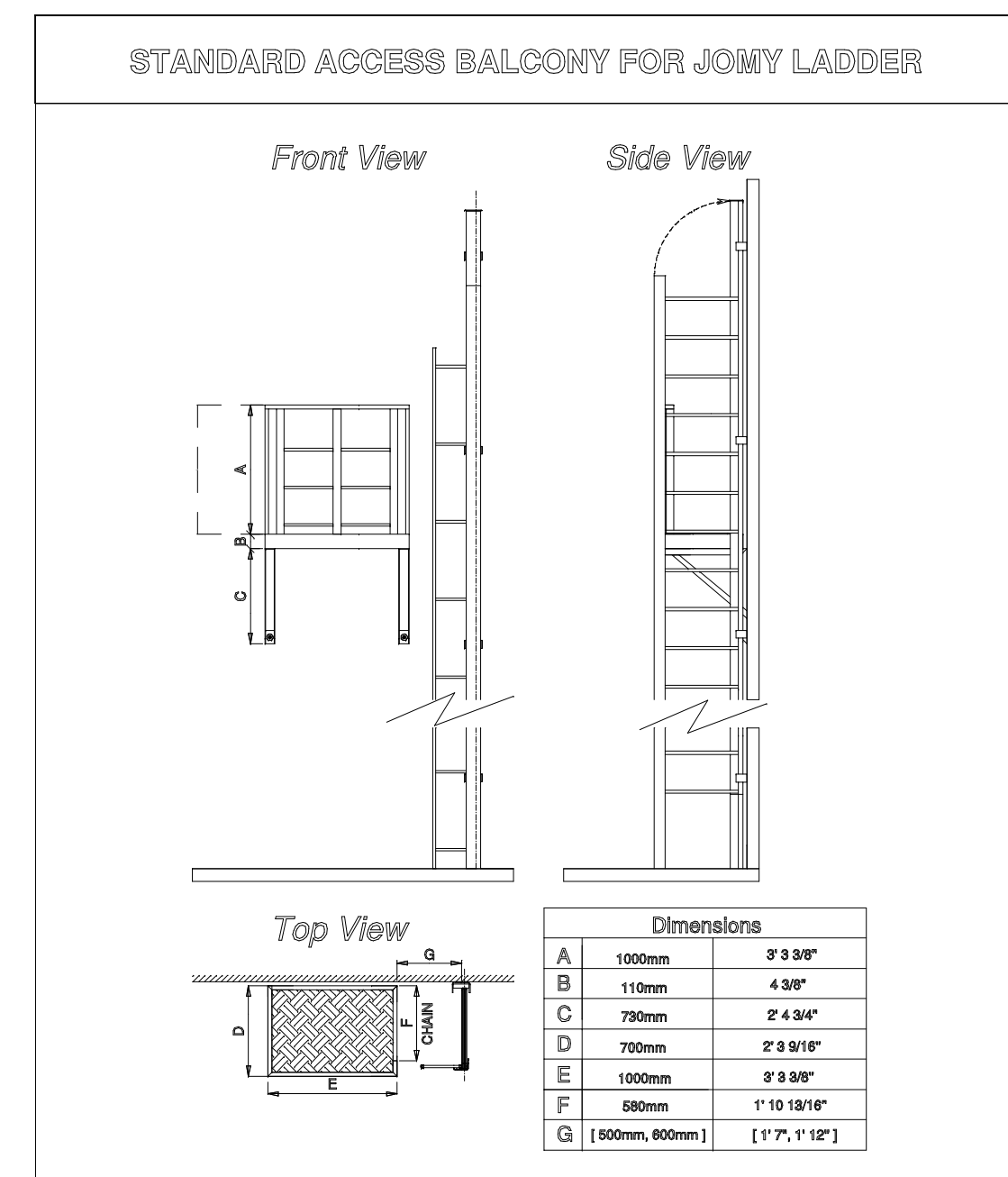
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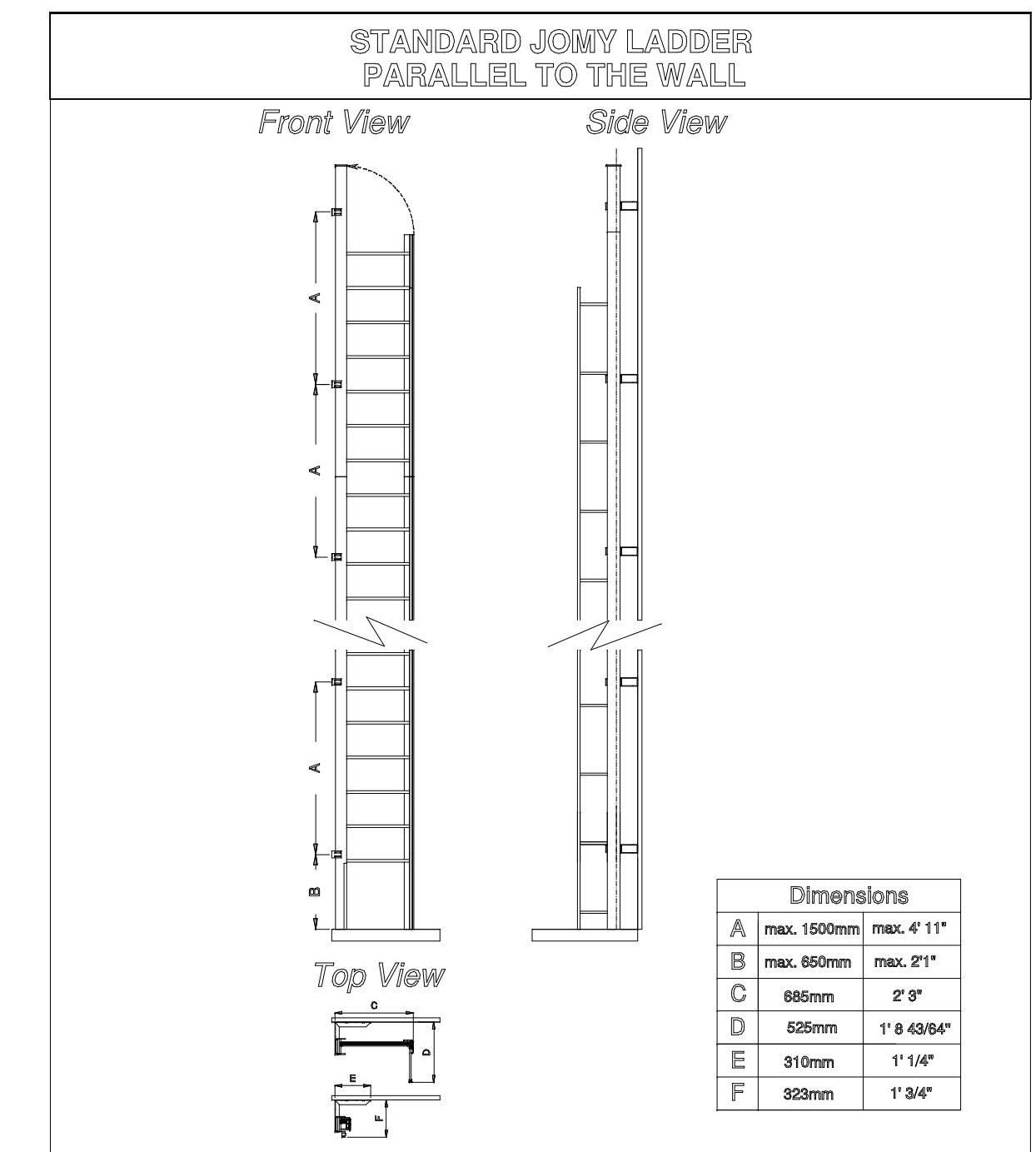
Proposed
1 Apartment Ground Floor Fire Plan
 1 : 50



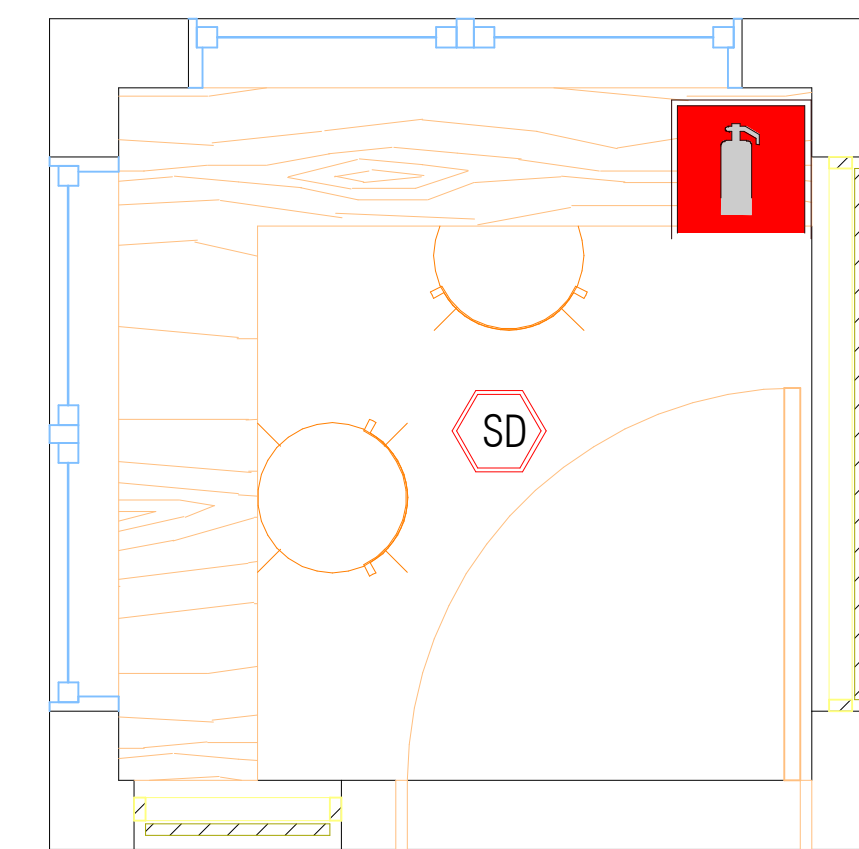
Proposed
2 Apartment First Floor Fire Plan
 1 : 50



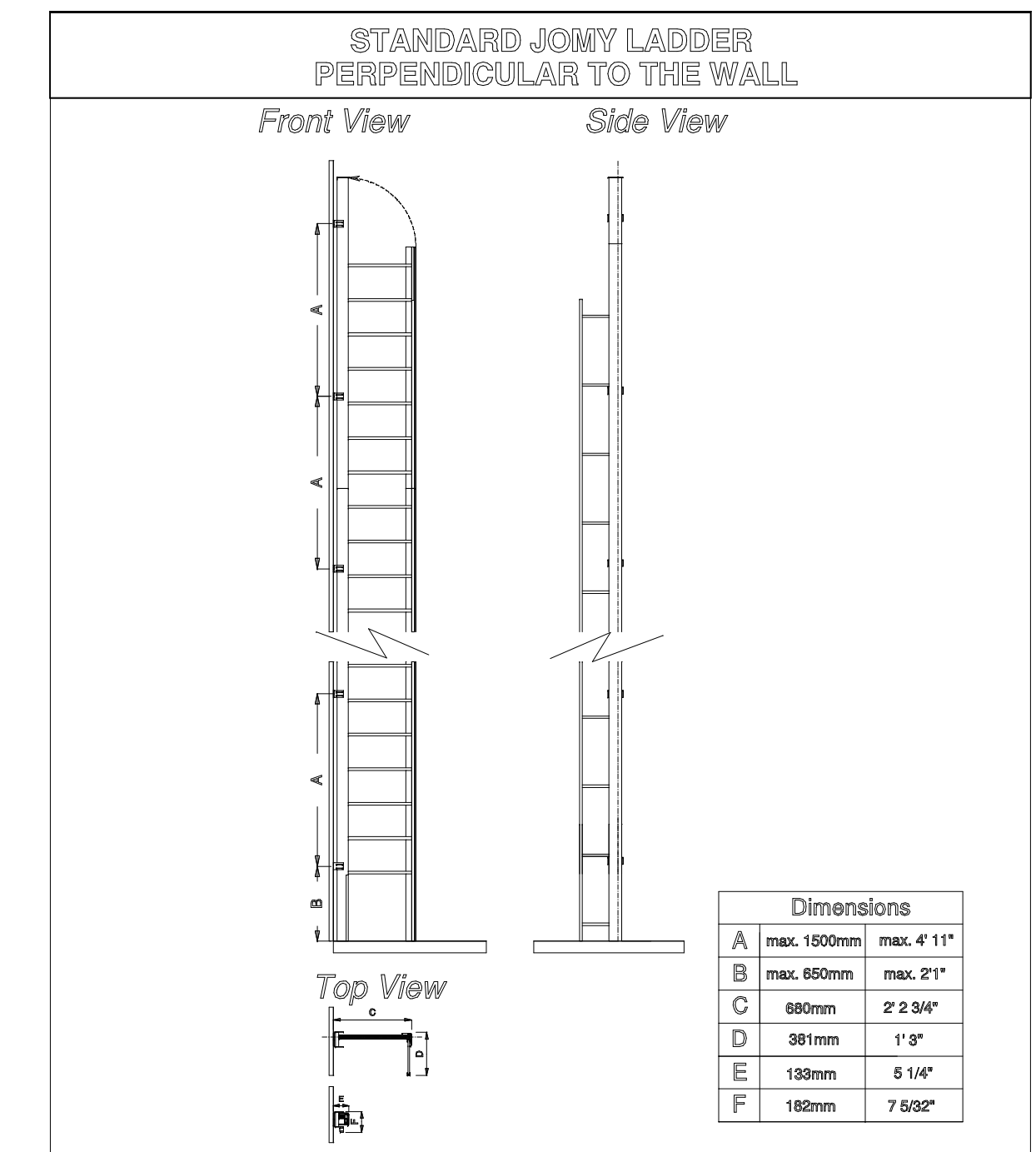
Proposed
3 JOMY Ladder Standard Access Balcony
 1 : 50



Proposed
4 JOMY ladder Standard Parallel To The Wall
 1 : 50



Proposed
5 Guard House Fire Plan
 1 : 15



Proposed
6 JOMY Standard Ladder Perpendicular-To The Wall
 1 : 50



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 ENGINEER STAMP:
 M.C. APPROVED STAMP:

Job No.:	Drawing No.:	Revision:
Revision:	Issued Date:	No. / Date / By: / Comment:
Client:	O.S.:	
Site Eng.:	Arch. Eng.:	
MECH. Eng.:	Elect. Eng.:	
Struct. Eng.:	C.O.P.:	
ME. Contractor:	Approved:	

Project Title:
Proposed Erection of a Townhouse & Apartment @ Lot 357 Ironshore

Sheet Title:
Apartments Fire Plan with JOMY Ladder Details

Client:
McKoy Development

Drawn:
Kaydrian Kerr

Checked:
K.D.S

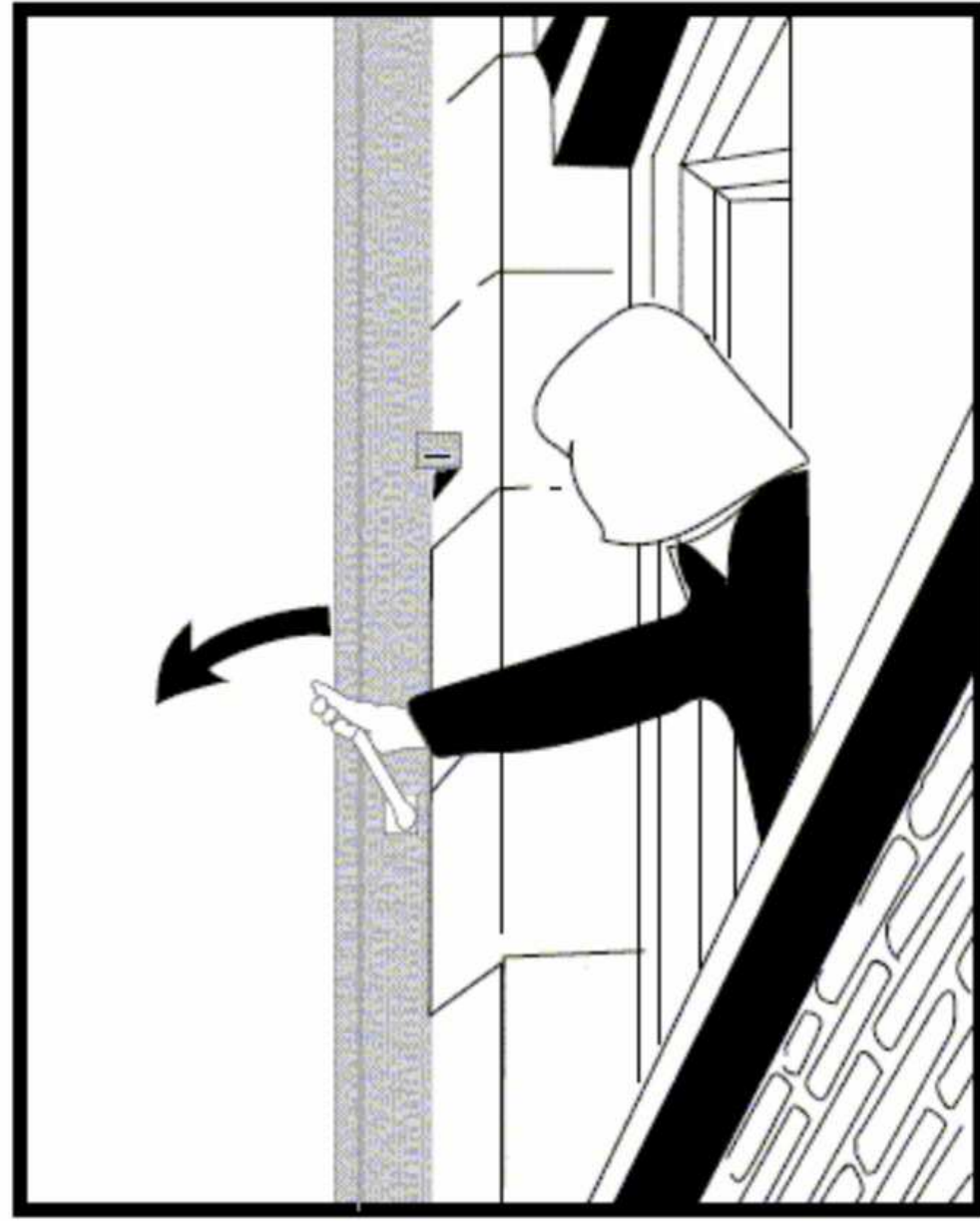
Date:
November 24, 2022

Scale:
As indicated

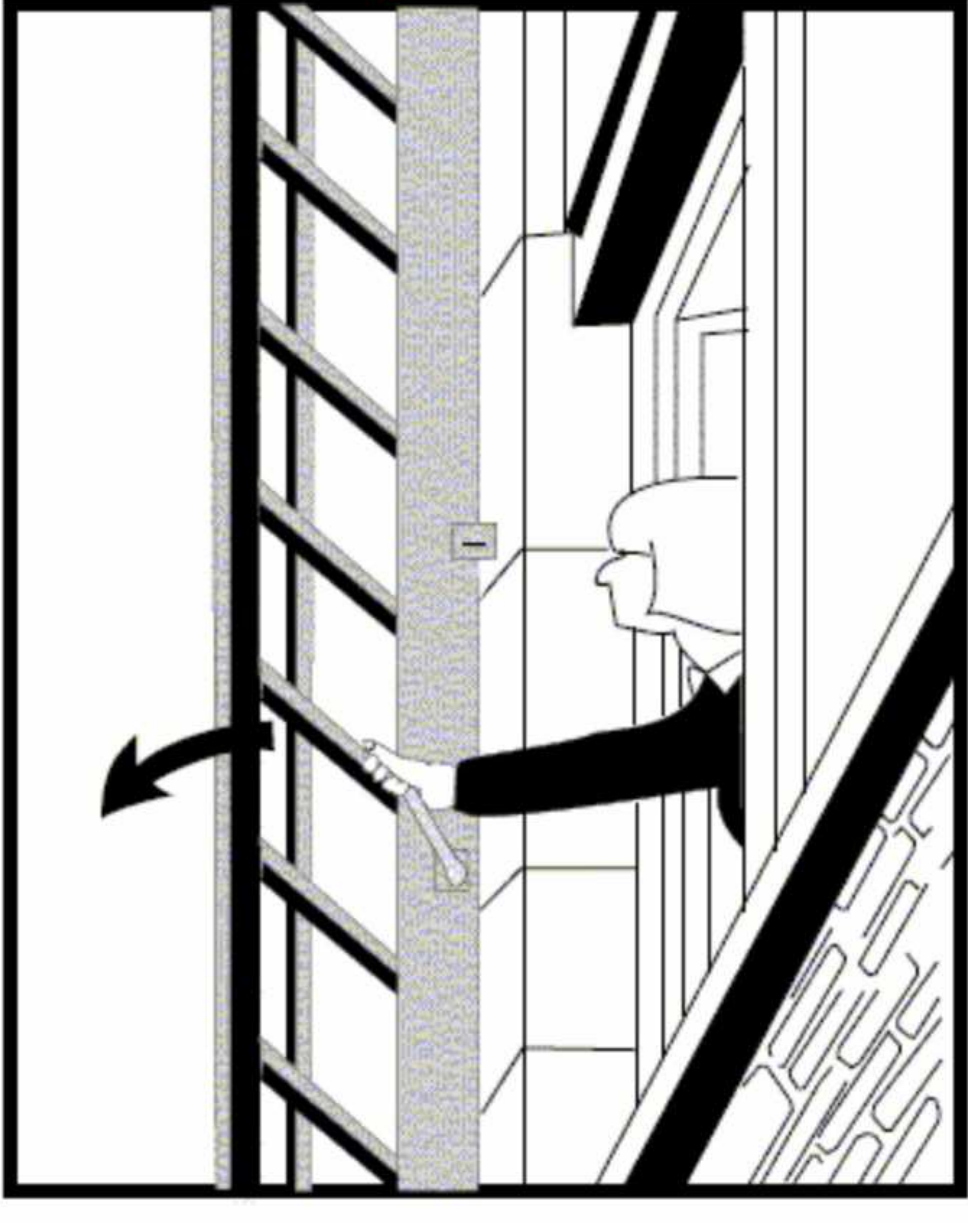
Job No.:
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Sheet No.:
E7

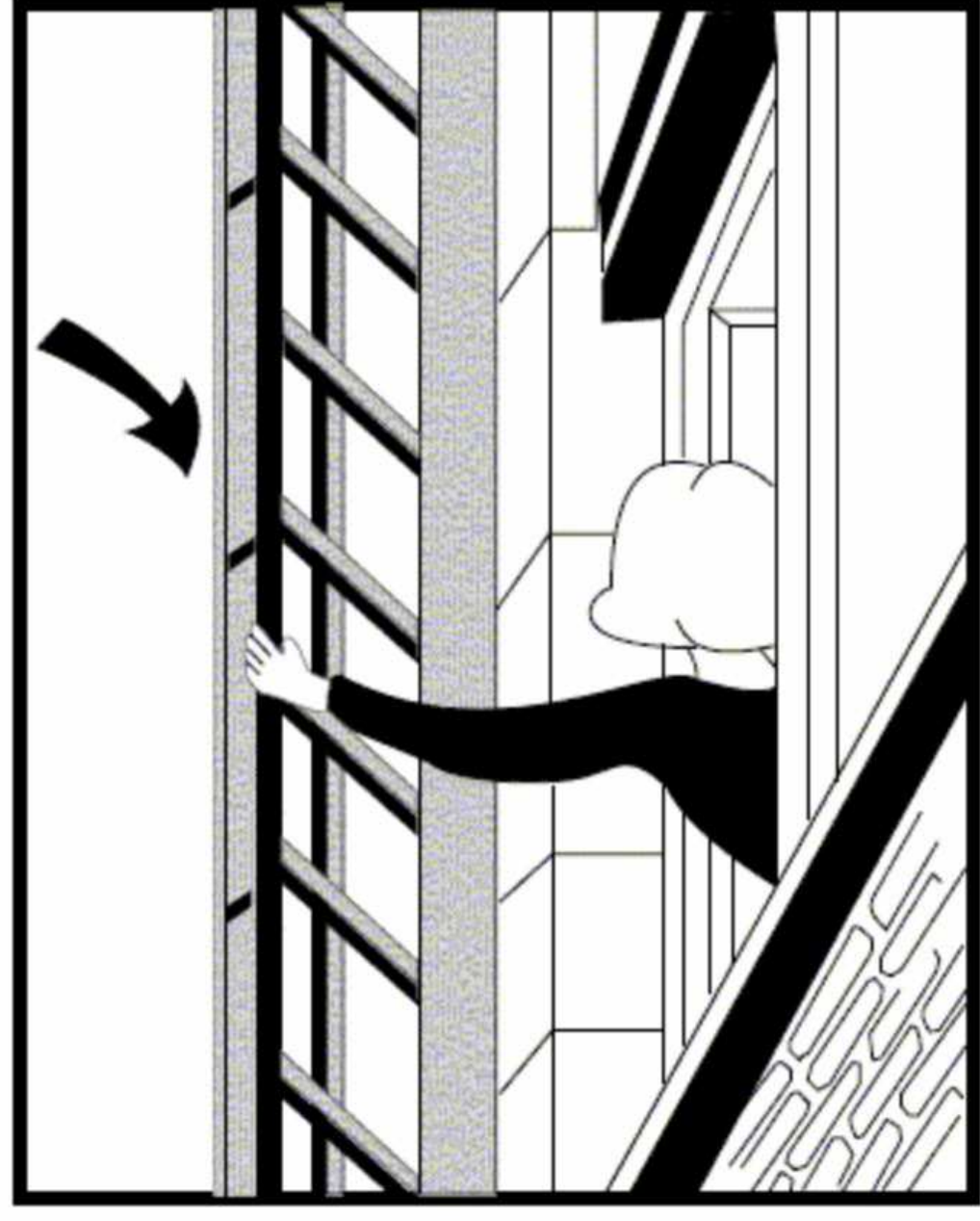
1 Turn the handle



2 The ladder opens easily in seconds



3 Manually deploy the safety rail

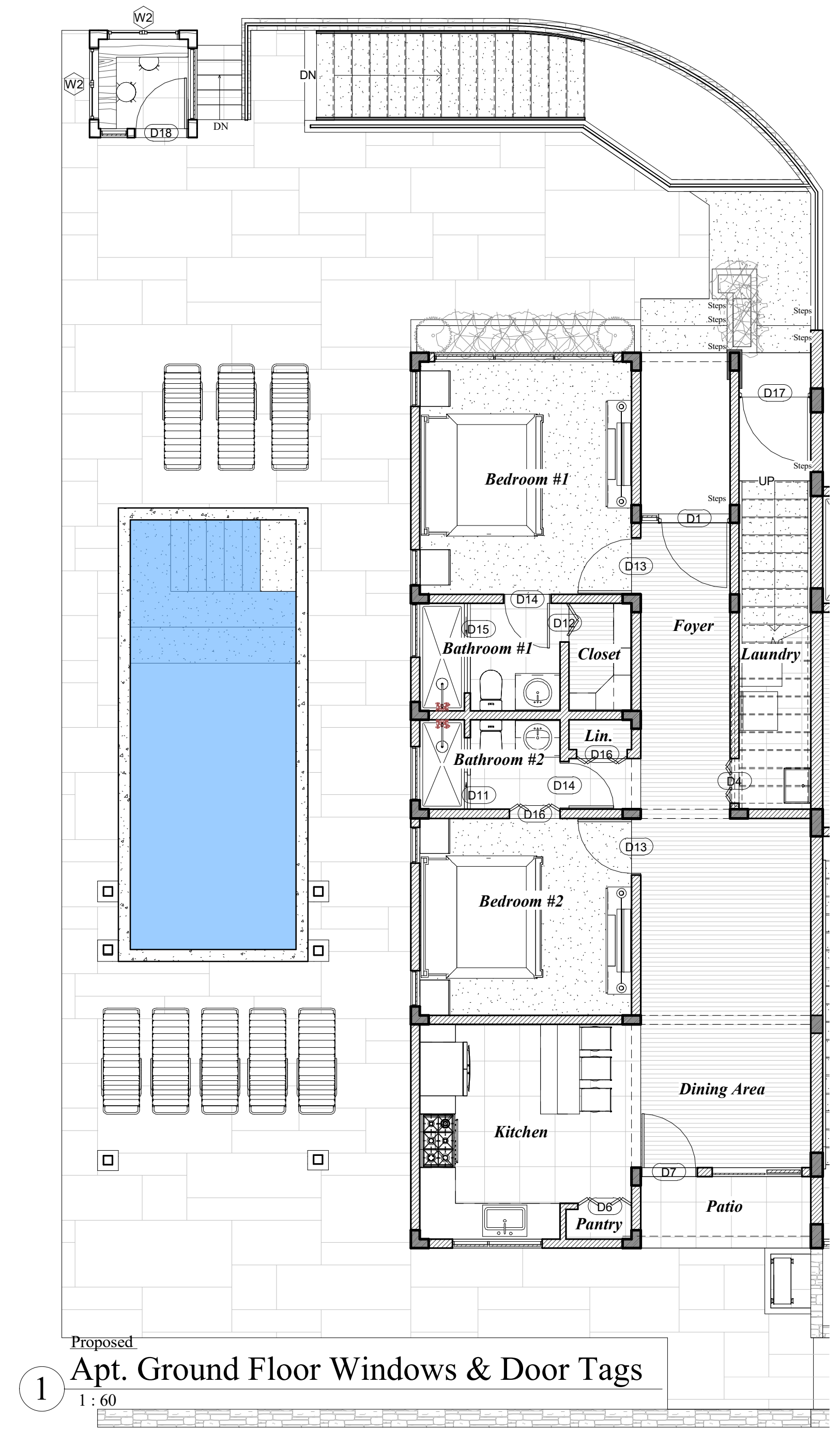
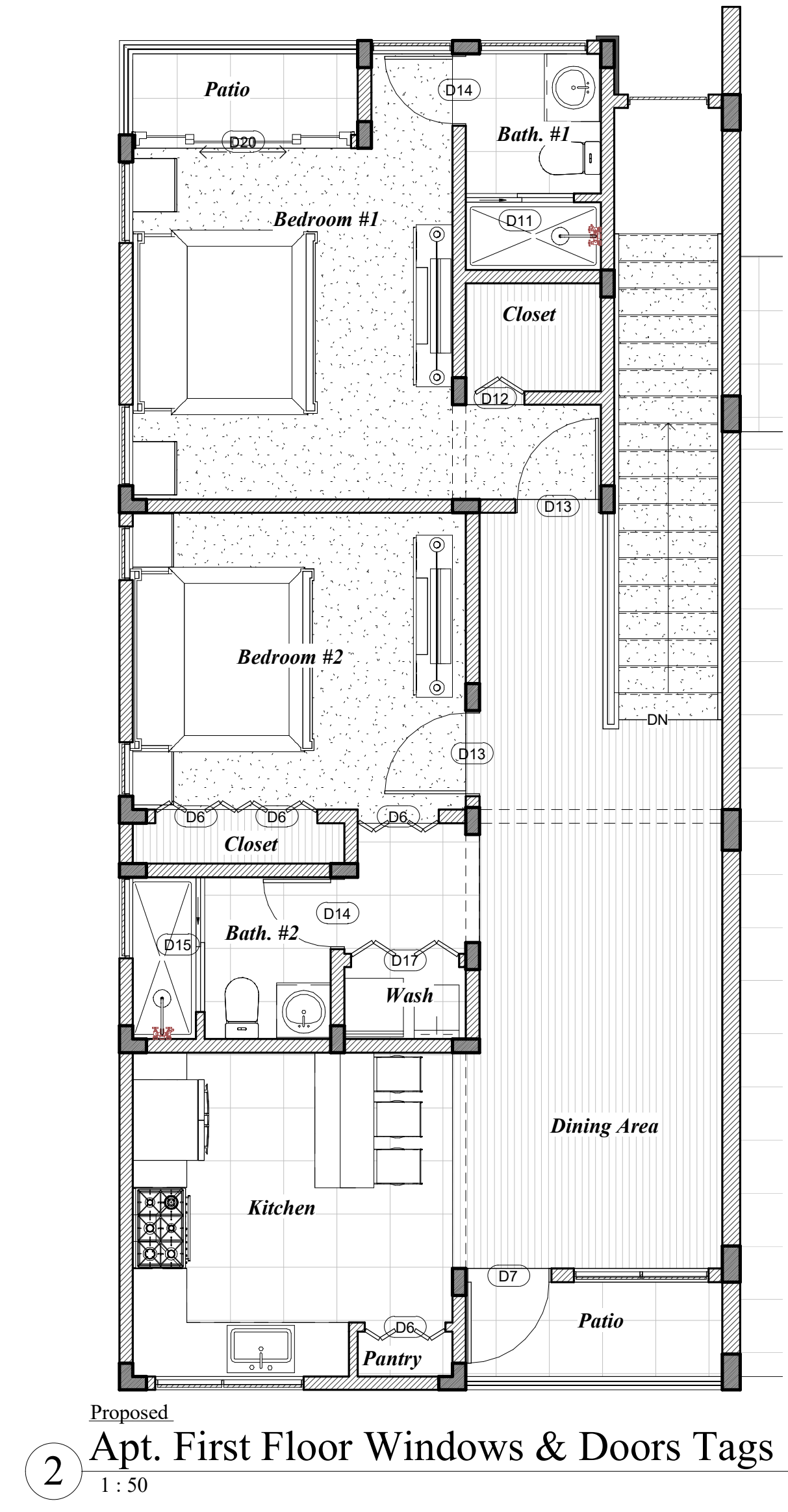


4 Descend the ladder

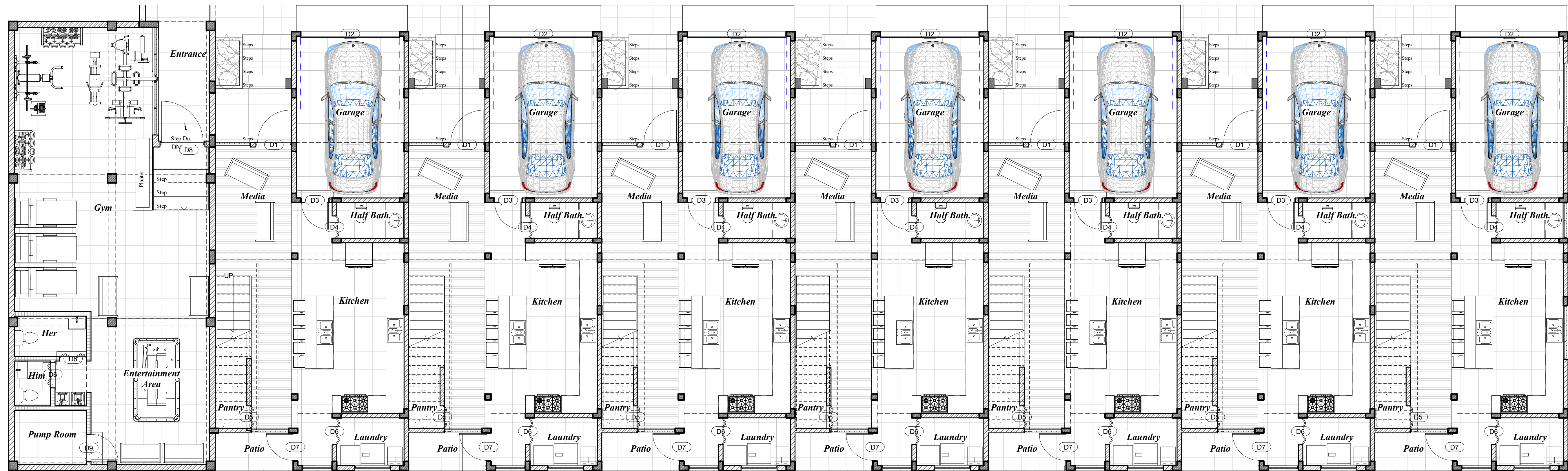


Door Schedule					
Door Type	Width	Height	Fire Rating	Description	Count
D1	4' - 0"	8' - 0"	3 HR	Galvanneal Steel & Hollow Steel Metal [A Rated]	8
D2	11' - 0"	7' - 0"	2 HR	Fiberglass, Aluminum, Glass & Wood	7
D3	3' - 0"	7' - 0"	1 HR	Walnut Wooden Door with Fire Barrier Paint (FlameOFF)	35
D4	2' - 6"	7' - 0"	1 HR	Walnut Wooden Door with Fire Barrier Paint (FlameOFF)	8
D5	2' - 6"	6' - 0"	1 HR	Walnut Wooden Door with Fire Barrier Paint (FlameOFF)	7
D6	3' - 0"	7' - 0"	1 HR	Walnut Wooden Door with Fire Barrier Paint (FlameOFF)	28
D7	3' - 0"	7' - 0"	3 HR	Hollow Steel Metal & Tempered Glass [A Rated]	16
D8	5' - 0"	7' - 0"	3 HR	Hollow Steel Metal & Tempered Glass [A Rated]	1
D9	3' - 0"	7' - 0"	1 HR	Walnut Wooden Door with Fire Barrier Paint (FlameOFF)	1
D10	11' - 0"	7' - 0"	2 HR	Aluminum & Tempered Glass	7
D11	4' - 0"	7' - 0"	2 HR	Aluminum & Tempered Glass	9
D12	2' - 2"	7' - 0"	1 HR	Walnut Wooden Door with Fire Barrier Paint (FlameOFF)	2
D13	3' - 0"	7' - 0"	1 HR	Walnut Wooden Door with Fire Barrier Paint (FlameOFF)	4
D14	2' - 6"	7' - 0"	1 HR	Walnut Wooden Door with Fire Barrier Paint (FlameOFF)	5
D15	5' - 0"	7' - 0"	2 HR	Aluminum & Tempered Glass	2
D16	2' - 10"	7' - 0"	1 HR	Walnut Wooden Door with Fire Barrier Paint (FlameOFF)	2
D17	4' - 0"	7' - 0"	1 HR	Walnut Wooden Door with Fire Barrier Paint (FlameOFF)	2
D18	2' - 10"	7' - 0"	3 HR	Hollow Steel Metal & Tempered Glass [A Rated]	1
D19	2' - 10"	7' - 0"	1 HR	Walnut Wooden Door with Fire Barrier Paint (FlameOFF)	7
D20	8' - 0"	8' - 0"	3 HR	Hollow Steel Metal & Tempered Glass [A Rated]	1

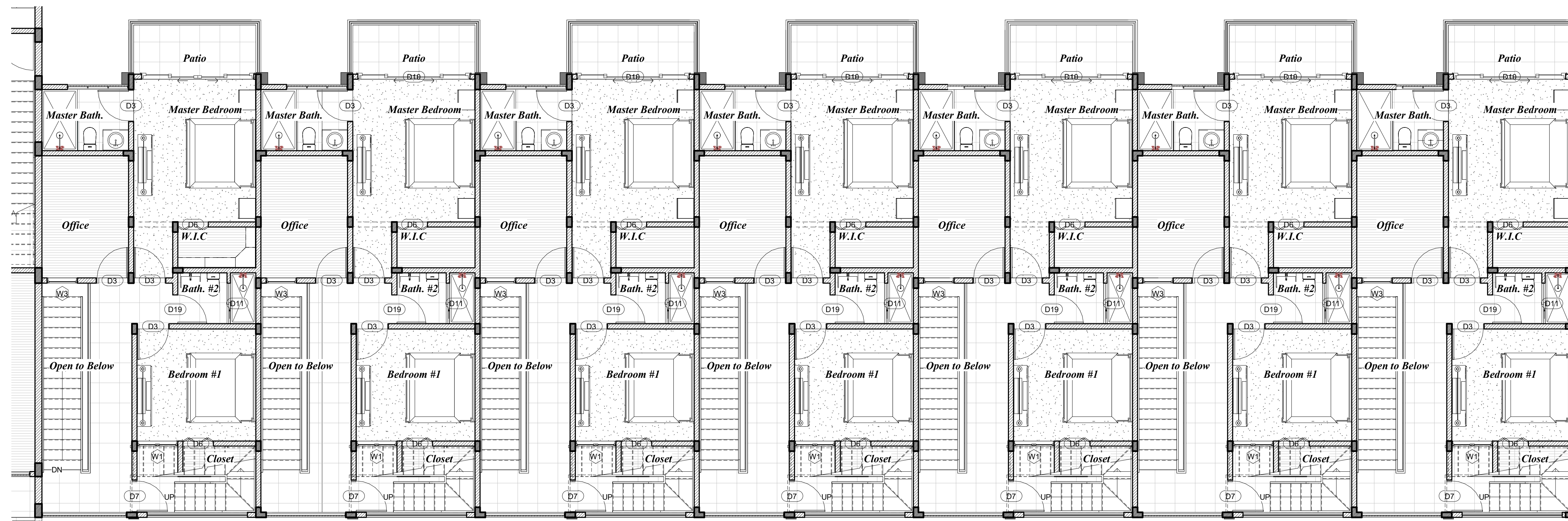
Window Schedule					
Type Mark	Rough Opening Width	Rough Opening Height	Description	Material	Count
W1	4' - 0"	6' - 0"	[2 HR FIRE RATING]	Aluminum & Tempered Glass	7
W2	4' - 0"	4' - 0"	[2 HR FIRE RATING]	Aluminum & Tempered Glass	2
W3	3' - 0"	5' - 0"	[2 HR FIRE RATING]	Aluminum & Tempered Glass	7
CUSTOM BUILT			[2 HR FIRE RATING]	Aluminum & Tempered Glass	87




FIRE APPROVED STAMP:	ENGINEER STAMP:	M.C. APPROVED STAMP:	Job No.:	Drawing No.:	Revision:	Project Title:	Sheet Title:	Client:	Drawn:	Check:	Date:	Scale:	Job No.:	Sheet No.:
						Proposed Erection of a Townhouse & Apartment @ Lot 357 Ironshore	Jomy Ladder Manual Deploy With Windows & Doors Tags	McKoy Development	Kaydrian Kerr	K.D.S	November 24, 2022	As indicated	00000	E8

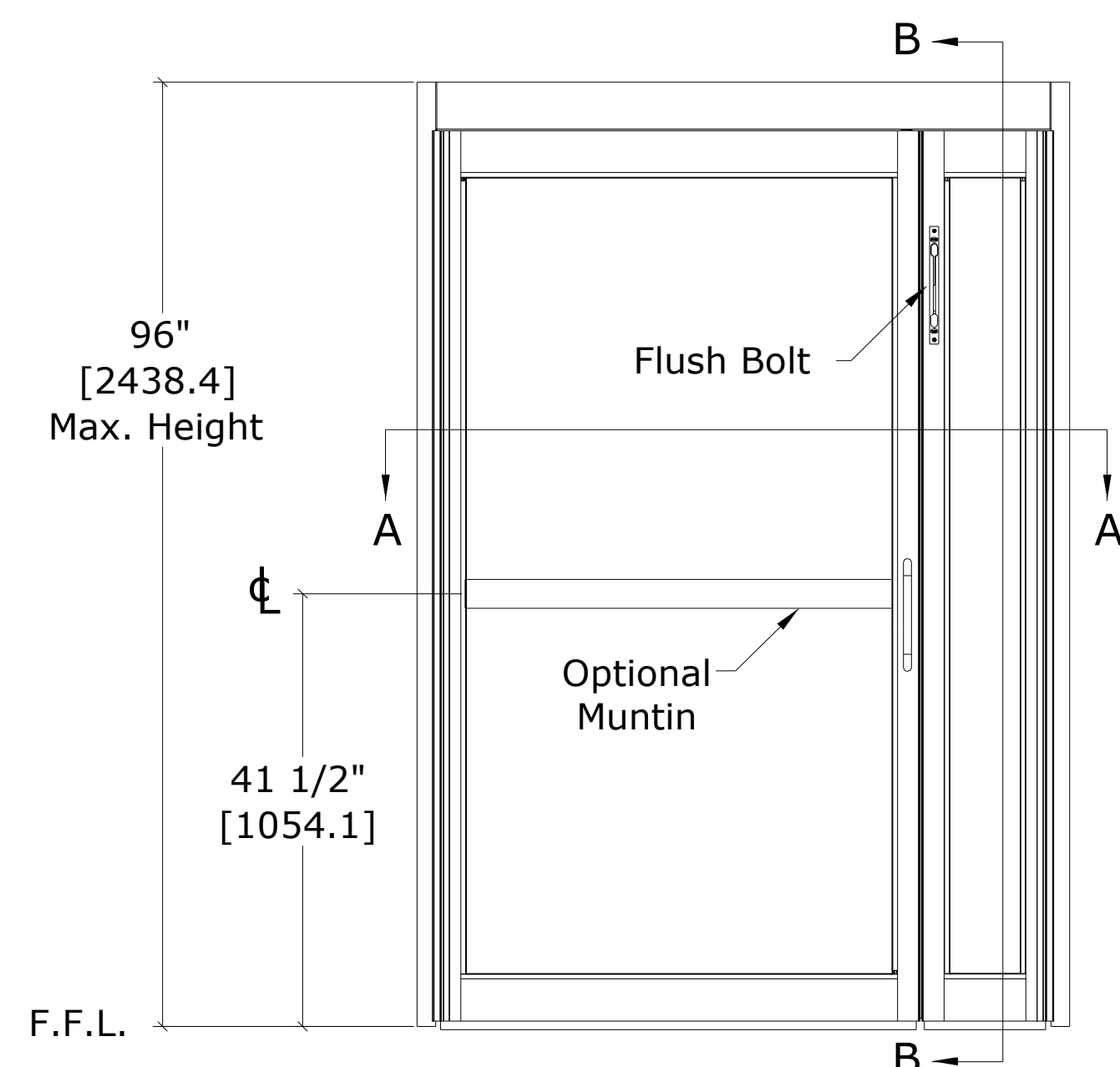


Proposed
1 Townhouse Basement Windows & Doors Tags
 1 : 67

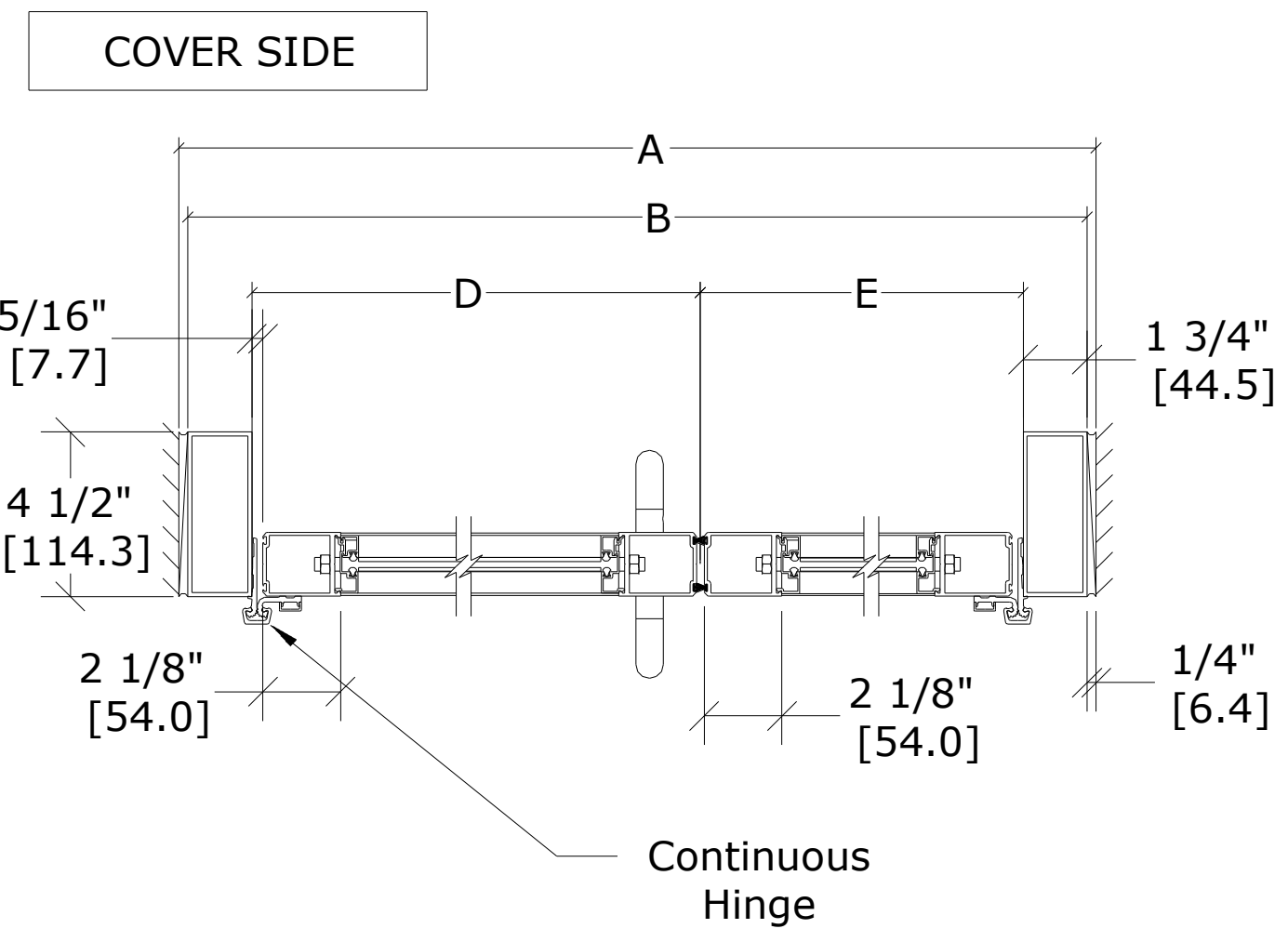


Proposed
2 Townhouse Ground Floor Windows & Doors Tags
 1 : 67

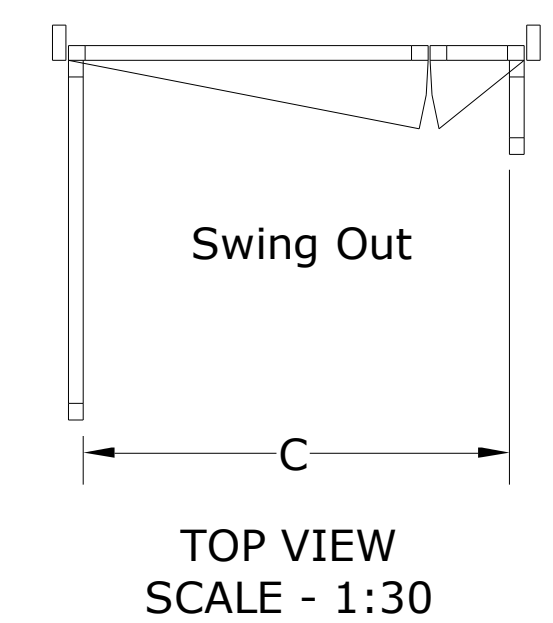
 KASH'S DRAFTING SERVICES Montego Bay P.O. # 1, St. James kashdraftingservice@gmail.com 876.861.8143/ 876.345.4263	FIRE APPROVED STAMP:	ENGINEER STAMP:	M.C. APPROVED STAMP:	Job No.:	Drawing No.:	Revision:	Project Title:	Sheet Title:	Client:	Drawn: Kaydrian Kerr Check: K.D.S Date: November 24, 2022 Scale: 1 : 67 Job No.: 00000	Sheet No.:
							Proposed Erection of a Townhouse & Apartment @ Lot 357 Ironshore	Townhouse Windows & Doors Tags	McKoy Development	E9	



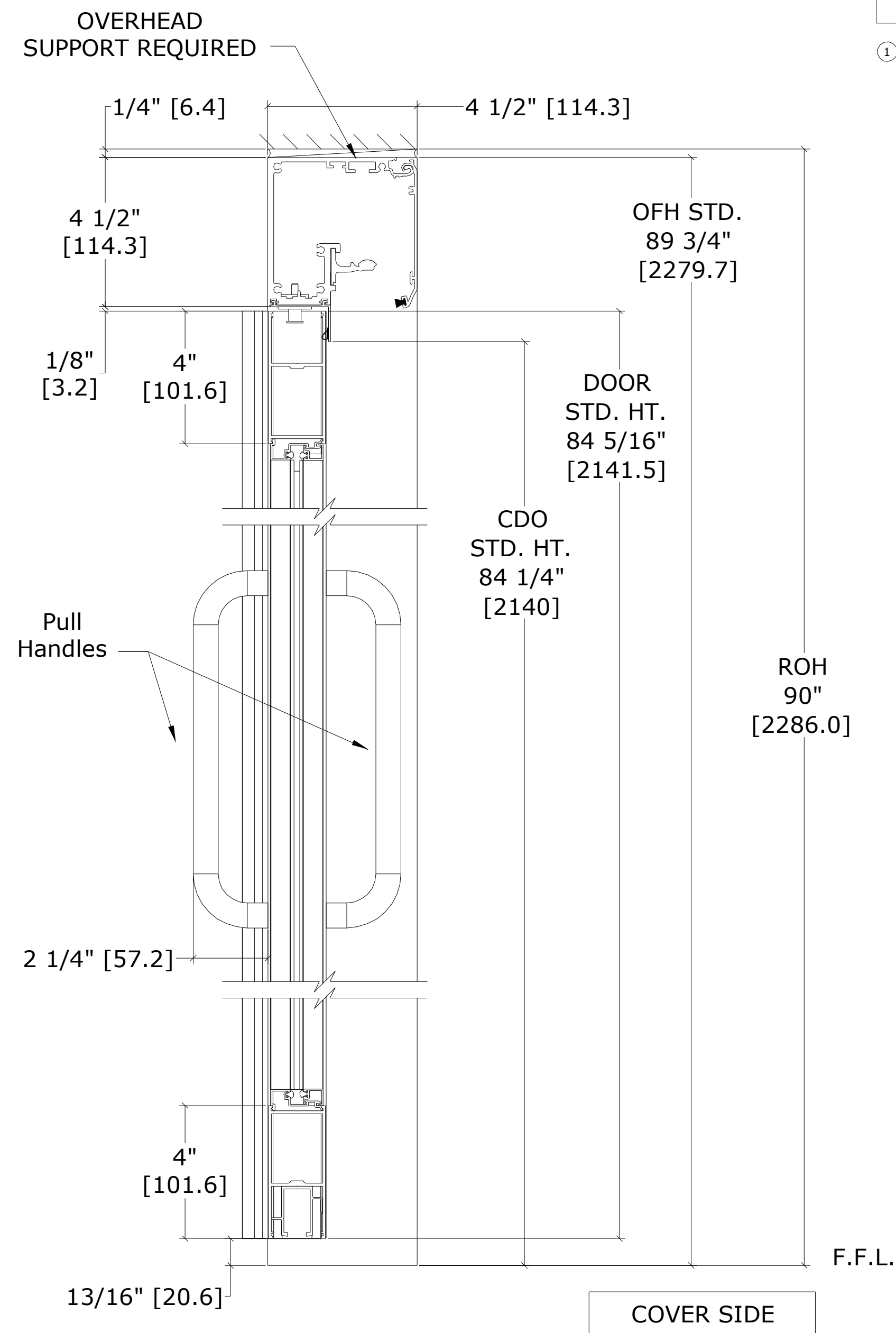
RH Unequal Panel Shown
(LH Opposite)
SCALE - 1:25



RH Unequal Panel Shown
(LH Opposite)
SECTION A-A
SCALE - 1:8



TOP VIEW
SCALE - 1:30



SECTION B-B
SCALE - 1:5

DIMENSIONS FOR 1/4" [6.4] GLASS

MODEL NO.	ROUGH OPENING WIDTH (A)	OVERALL FRAME WIDTH (B)	CLEAR DOOR OPENING (C)	ACTIVE WIDTH (D)	AUXILIARY WIDTH (E)
VMSWUP-5-4	64" [1625.6]	63 1/2" [1612.9]	55" [1397.0]	36" [914.4]	24" [609.6]
VMSWUP-5-10	70" [1778.0]	69 1/2" [1765.3]	61" [1549.4]	42" [1066.8]	24" [609.6]
VMSWUP-6-4	76" [1930.4]	75 1/2" [1917.7]	67" [1701.8]	48" [1219.2]	24" [609.6]

① - MIN. AUXILIARY WIDTH = 12" [304.8],
MAX. AUXILIARY WIDTH = 48" [1219.2]

NOTES

THE STANDARD PACKAGE CONSISTS OF:

- ICU HEADER
- NARROW STILE RAILS
- 1/4" GLASS STOPS AND BLOCKS
- AN ACTIVE DOOR PANEL WITH DUAL PULL HANDLES
- AN AUXILIARY DOOR WITH A FLUSH BOLT TO THE EXTERIOR
- CONTINUOUS HINGES
- STANDARD FINISH:
CLASS 1, .018MM, CLEAR- AA-M12C22A41

OPTIONS INCLUDE:

- SPECIAL FINISHES
- MUNTINS, SEE SHEET AA-14 FOR DETAILS
- MEDIUM STILE CONSTRUCTION
- 7" AND 10" BOTTOM RAILS, SEE SHEET AA-14 FOR DETAILS
- PACKAGE WILL ACCEPT UP TO 1 1/4" [31.8] INSULATED GLASS, SEE SHEET AA-13 FOR DETAILS
- LOW PROFILE HEADER, SEE SHEET AA-19 FOR DETAILS
- SEE SHEET OS-4 FOR ALL OTHER OPTIONS.

REFER TO RELEVANT [LOCAL, STATE, NATIONAL, OR AHJ] BUILDING CODE FOR MIN DOOR HEIGHT & MIN/MAX WIDTH ALLOWABLE FOR EGRESS REQUIREMENT IN CONJUNCTION WITH TABLE.



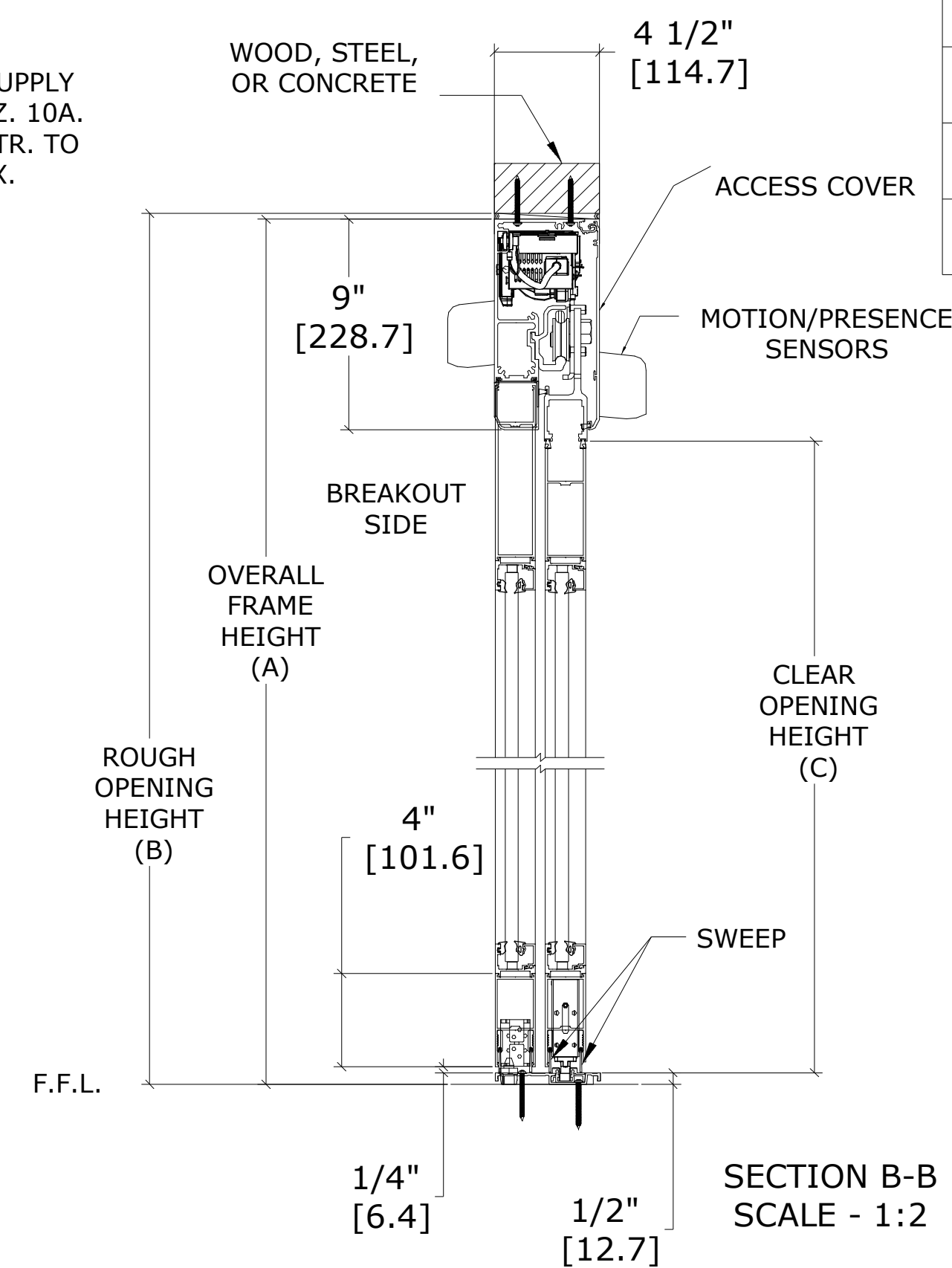
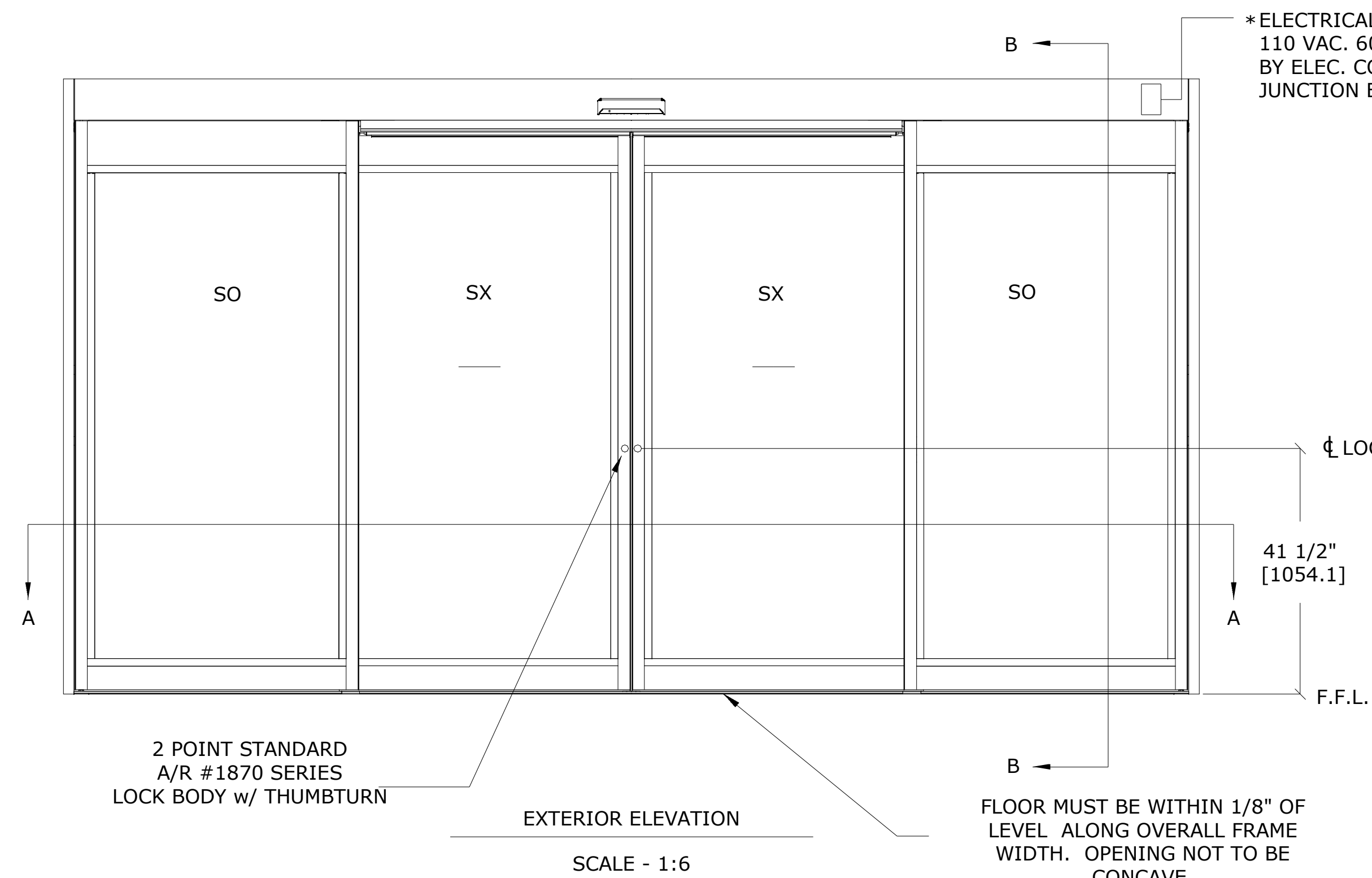
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ENGINEER STAMP: _____
M.C. APPROVED STAMP: _____

Job No.:	Drawing No.:	Revision:	Project Title:	Sheet Title:	Client:	Drawn:	Check:	Scale:	Job No.:
			Proposed Erection of a Townhouse & Apartment @ Lot 357 Ironshore	Exit/Entrance Door	McKoy Development	Kaydrian Kerr	K.D.S	1 : 70	00000

Approved: _____

Date: November 24, 2022

Sheet No.: **E10**

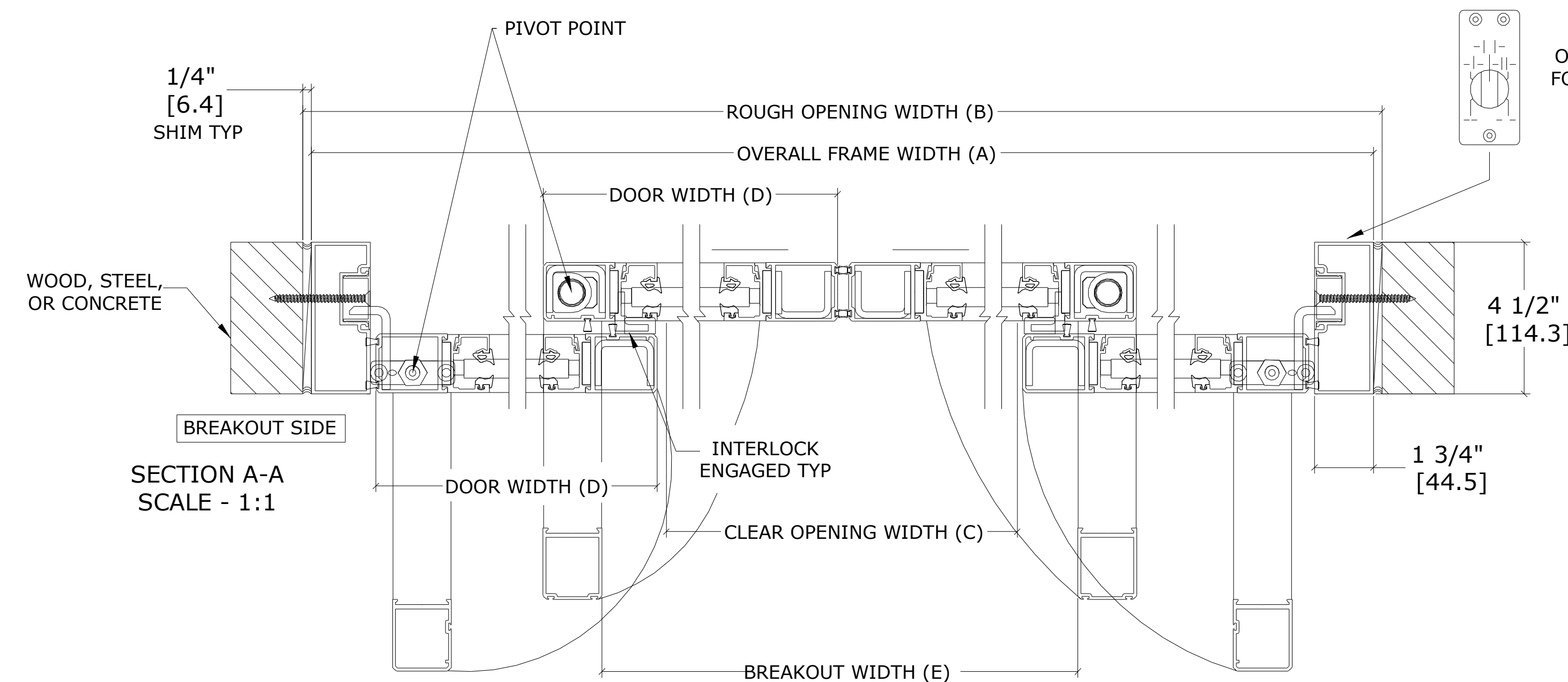


	OVERALL FRAME WIDTH (A)	ROUGH OPENING (B)	CLEAR OPENING (C)	DOOR WIDTH (D)	BREAKOUT WIDTH (E)
AT MAX WIDTH	192" [4876.8]	192 1/2" [4889.5]	82 1/16" [2085.2]	48 5/8" [1236.3]	175 9/16" [4459.3]
WIDTH FORMULA	B - 1/2"	A + 1/2"	A/2 - 13 15/16"	A/4 + 5/8"	A - 16 7/16"
	B - [12.7]	A + [12.7]	A/2 - [353.2]	A/4 + [17.1]	A - [417.5]
AT MAX HEIGHT	104" [2641.6]	104 1/4" [2648.0]	94" [2387.6]		
HEIGHT FORMULA	B - 1/4"	A + 1/4"	A - 10"		
	B - [6.35]	A + [6.35]	A - [254.0]		

GLASS FORMULA: OFW /4 - 4 5/8 [119.2] X OFH -20 1/2 [520.80]

NOTES:

- STANDARD PACKAGE CONSISTS OF:
- STANDARD FINISH: CLASS 1, .018MM, CLEAR- AA-M12C22A41
 - CLASS 1, .018MM, DARK BRONZE- AA-M12C22A44
 - AUTOMATIC OPERATOR
 - NARROW STILE RAILS
 - THRESHOLD
 - 2-POINT LOCK WITH LOCK INDICATOR
 - 9/16" GLASS STOPS AND BLOCKS
 - 1/4" HS - .090" DUPONT SENTRYGLAS PLUS® - 3/16" HS
 - MOTION/PRESENCE SENSORS
 - 5-POSITION KNOB SWITCH
 - BALL CATCH
 - DUAL CONCEALED SWEEPS IN SX & SO PANELS
- OPTIONS AVAILABLE:
- SPECIAL FINISHES
 - 1" IG O.A. LAMINATED GLASS
 - 3/8" HS - .090" DUPONT SENTRYGLAS PLUS® - 3/16" HS - 3/8" AIR GAP - 3/16" FT, SEE SHEET AA-39 FOR DETAILS
 - 7" & 10" BOTTOM RAILS, SEE SHEET AA-44 FOR DETAILS
 - THRESHOLD LEAD-UP, SEE SHEET AA-30 FOR DETAILS
 - MUNTINS, SEE SHEET AA-44 FOR DETAILS
 - SEE SHEET OS-10 FOR ALL OTHER OPTIONS



OPTIONAL FACTORY PREP FOR SWITCH LOCATION @ 74-1/2"H [1892.3]

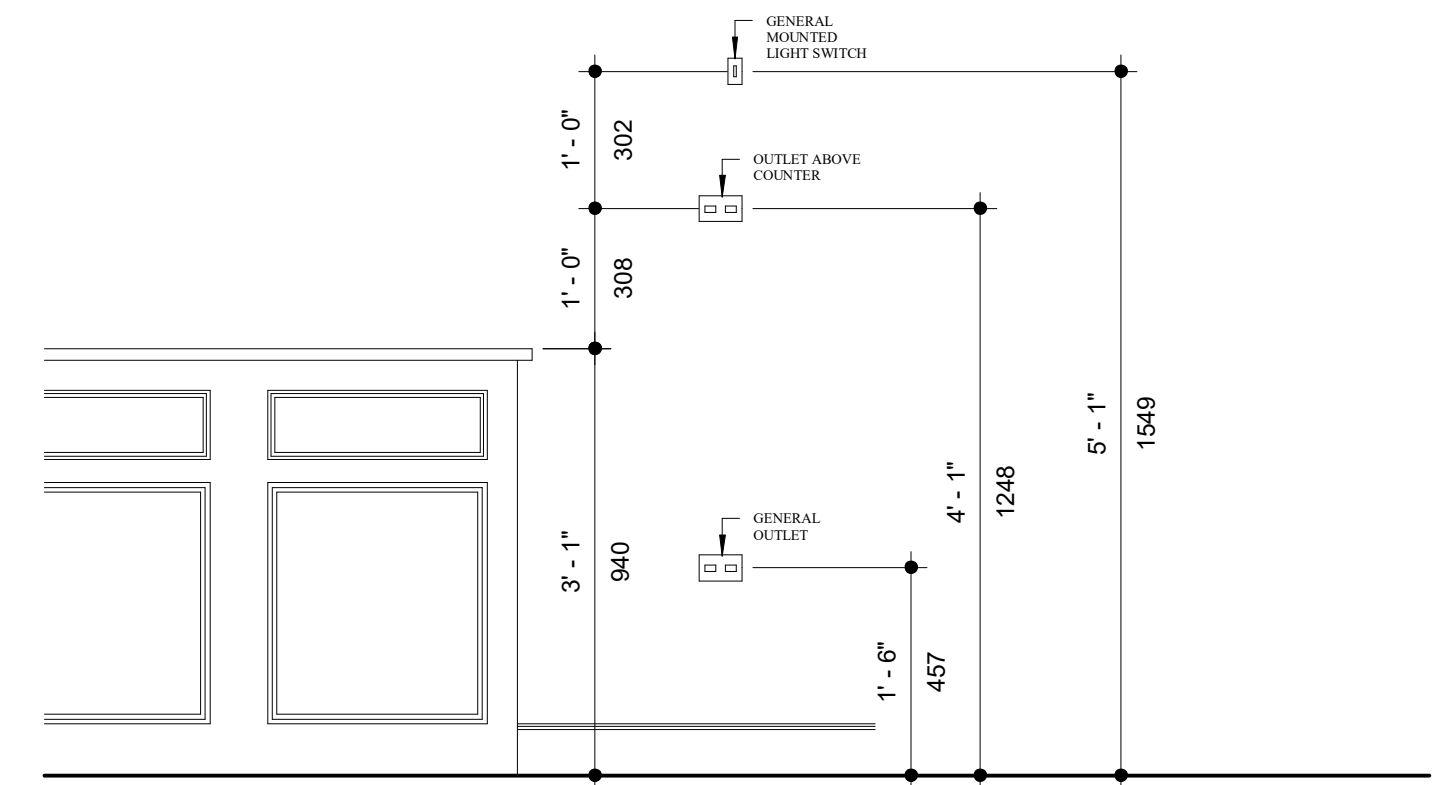


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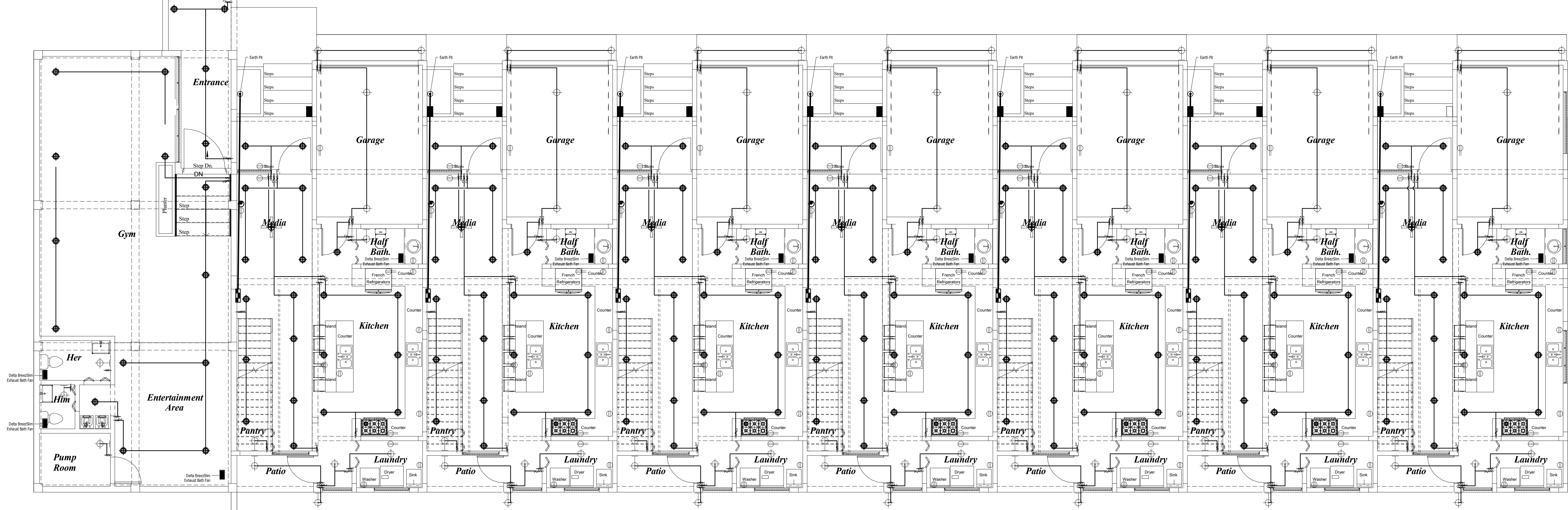
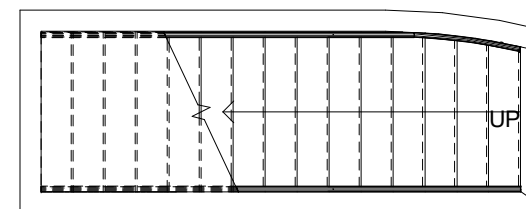
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			Proposed Erection of a Townhouse & Apartment @ Lot 357 Ironshore	Exit/Balcony Door	McKoy Development	Kaydrian Kerr	K.D.S	November 24, 2022	1 : 70	00000

Revision: _____
 No./Date/By/Consent: _____
 Client: _____
 Scale: _____
 Job No.: _____

Sheet No.: **E11**



Proposed
2 Electrical Components Above Floor Level
 1:15



Proposed
1 Townhouse Basement Electrical Plan
 1:65



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Drawing No.:

Revision:

Project Title:

Sheet Title:

Client:

Drawn: **Kaydrian Kerr**

Check: **K.D.S**

Date: **November 24, 2022**

Scale: **As indicated**

Job No.: **00000**

Sheet No.:

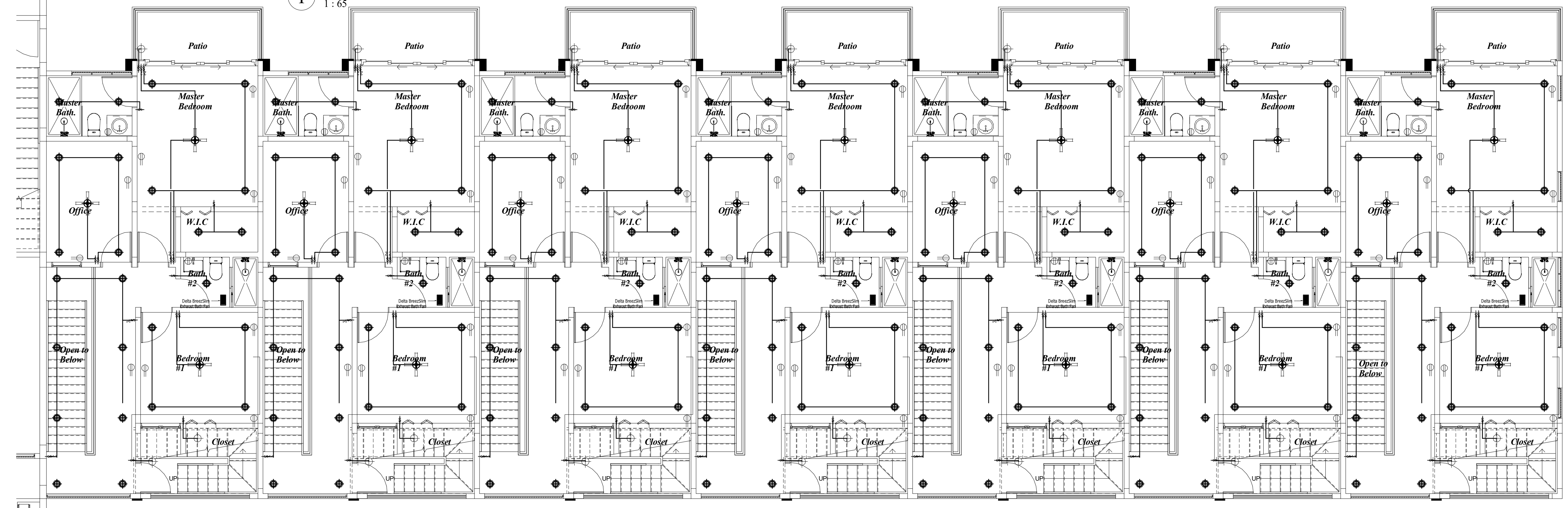
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Proposed Erection of a
 Townhouse & Apartment @
 Lot 357 Ironshore

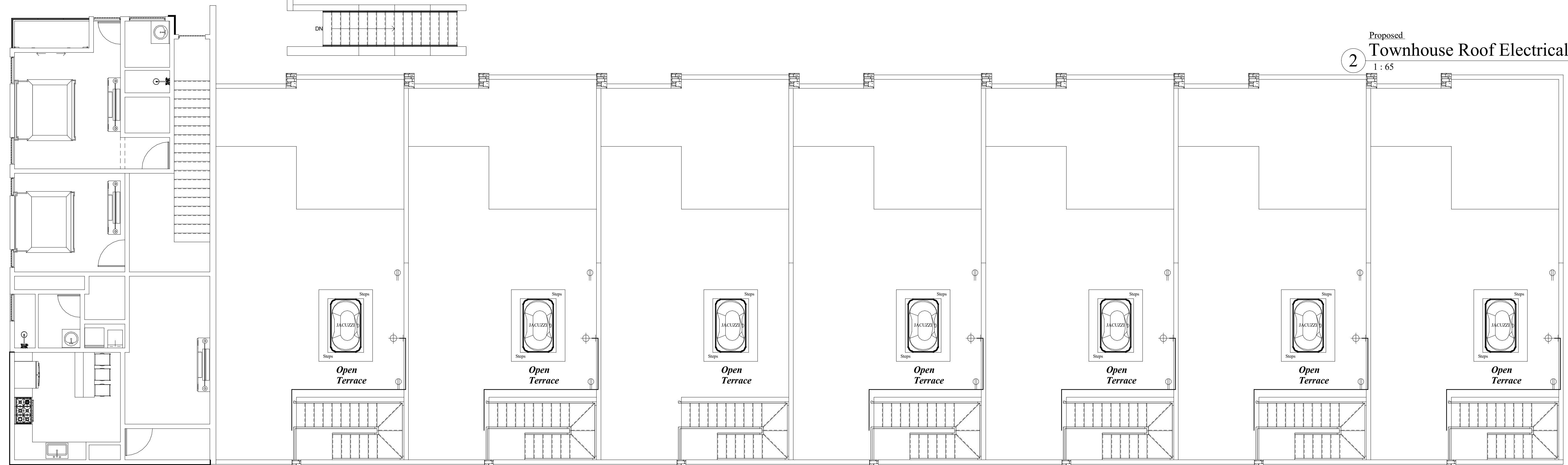
Townhouse Basement
 Electrical Plan

McKoy Development

Proposed
1 Townhouse Ground Floor Electrical Plan
 1 : 65



Proposed
2 Townhouse Roof Electrical Plan
 1 : 65



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C.O.B.:		
Mt. Contractor:		
Approved:		

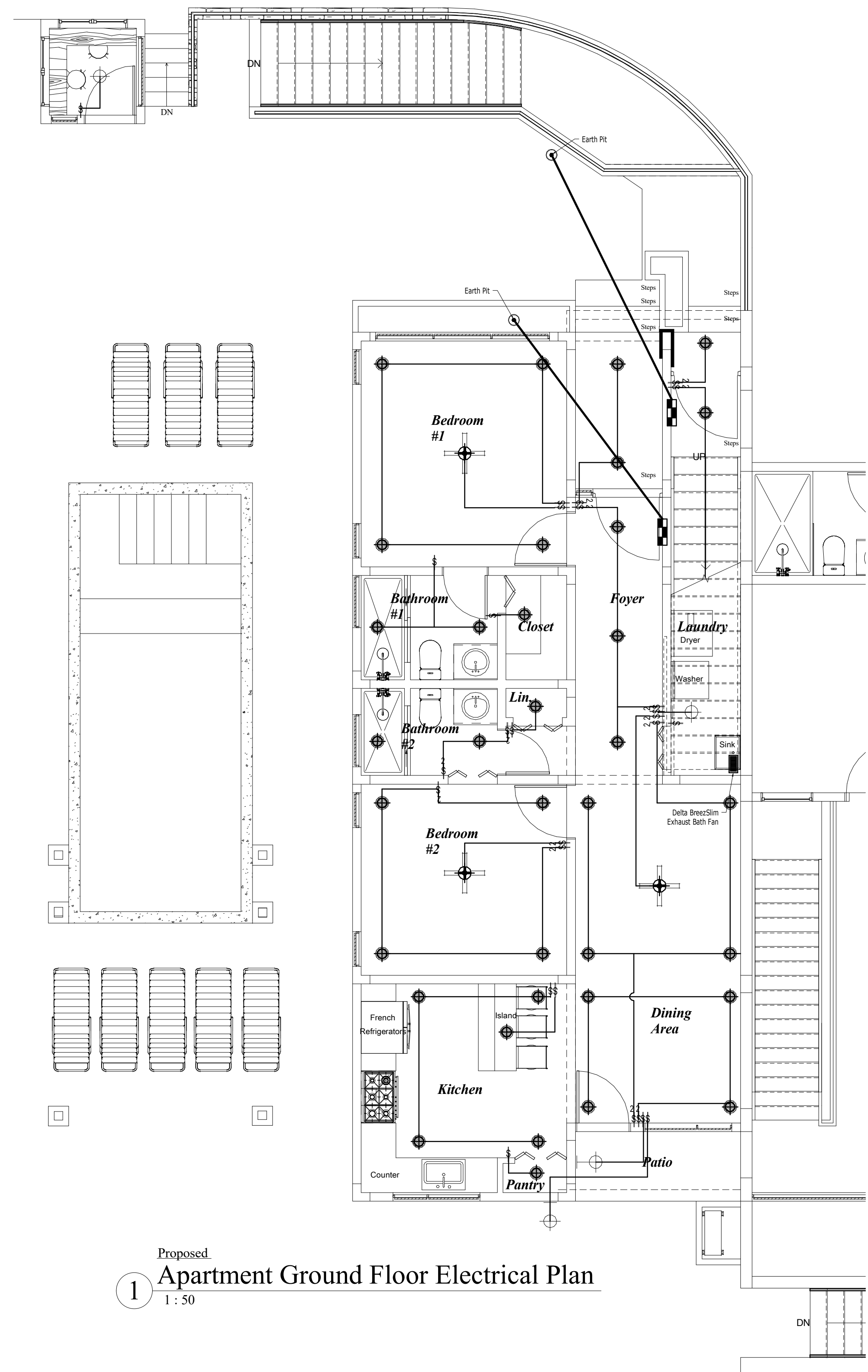
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**Proposed Erection of a
 Townhouse & Apartment @
 Lot 357 Ironshore**

Sheet Title:
**Townhouse Ground & Roof
 Floor Electrical Plan**

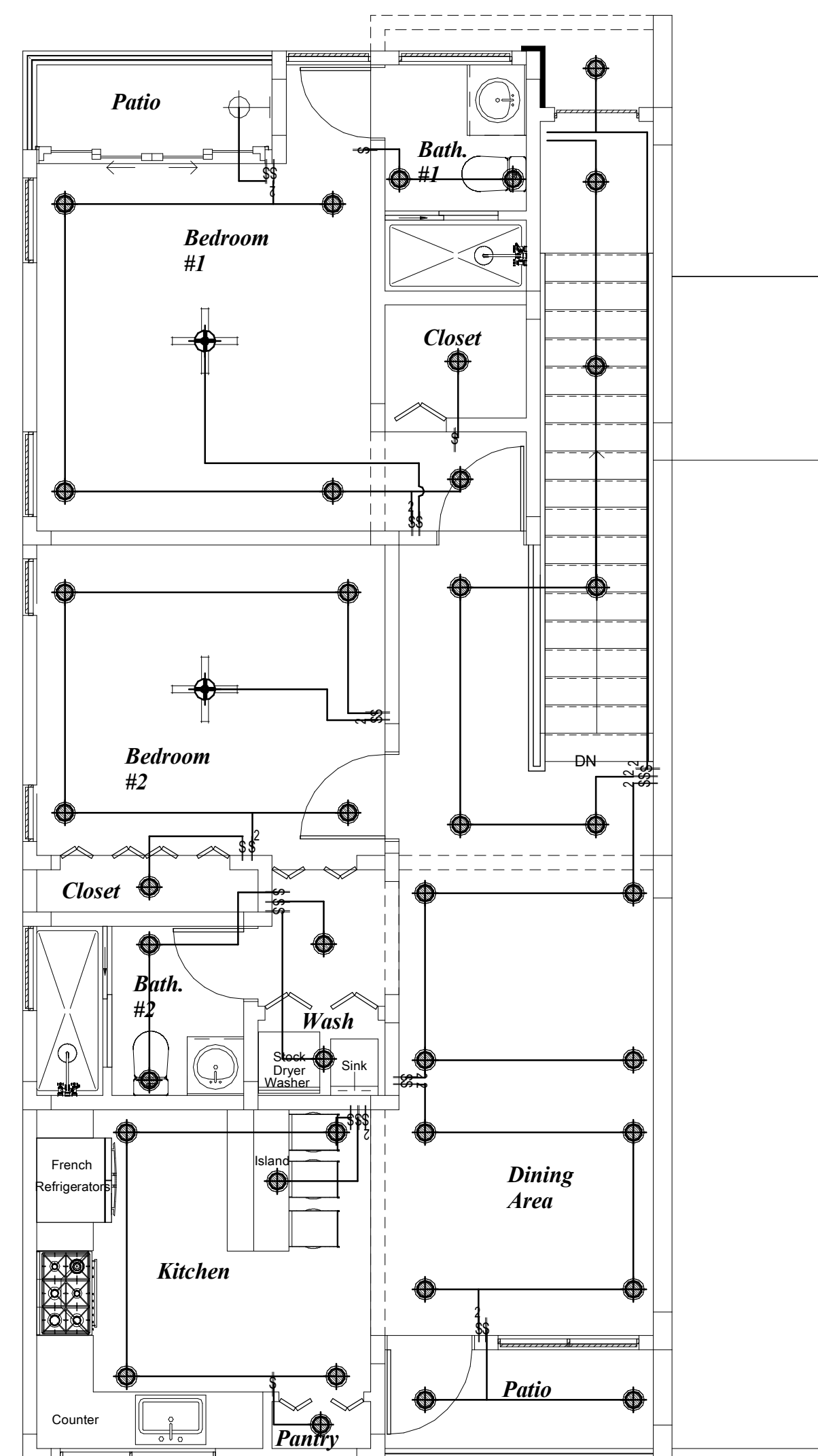
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McKoy Development

Drawn:
Kaydrian Kerr
 Check:
K.D.S
 Date:
November 24, 2022
 Scale:
1 : 65
 Job No.:
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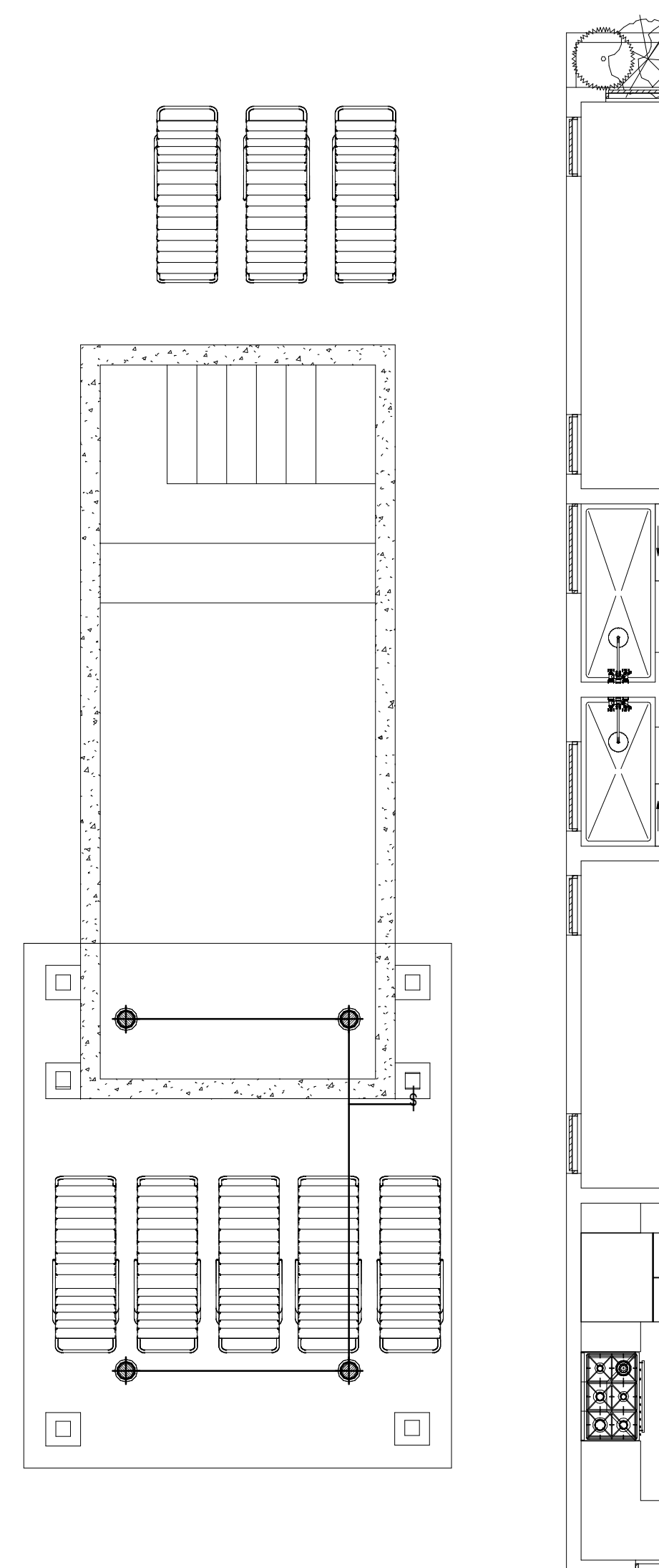
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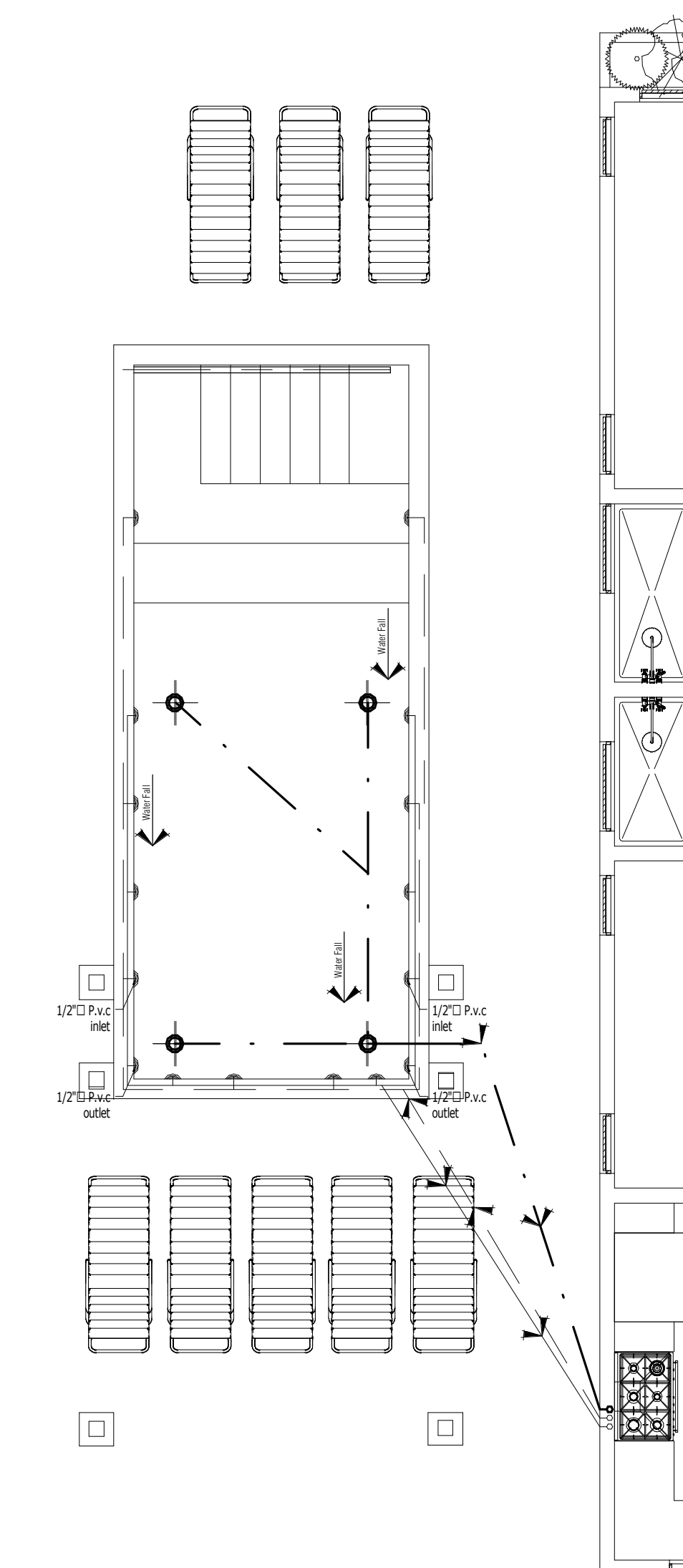
Proposed
1 Apartment Ground Floor Electrical Plan
1 : 50



Proposed
2 Apartment First Floor Electrical Plan
1 : 50



Proposed
3 Pool & Gazebo Electrical Plan
1 : 50



Proposed
4 Pool & Gazebo Drainage Plan
1 : 50



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ENGINEER STAMP:

M.C. APPROVED STAMP:

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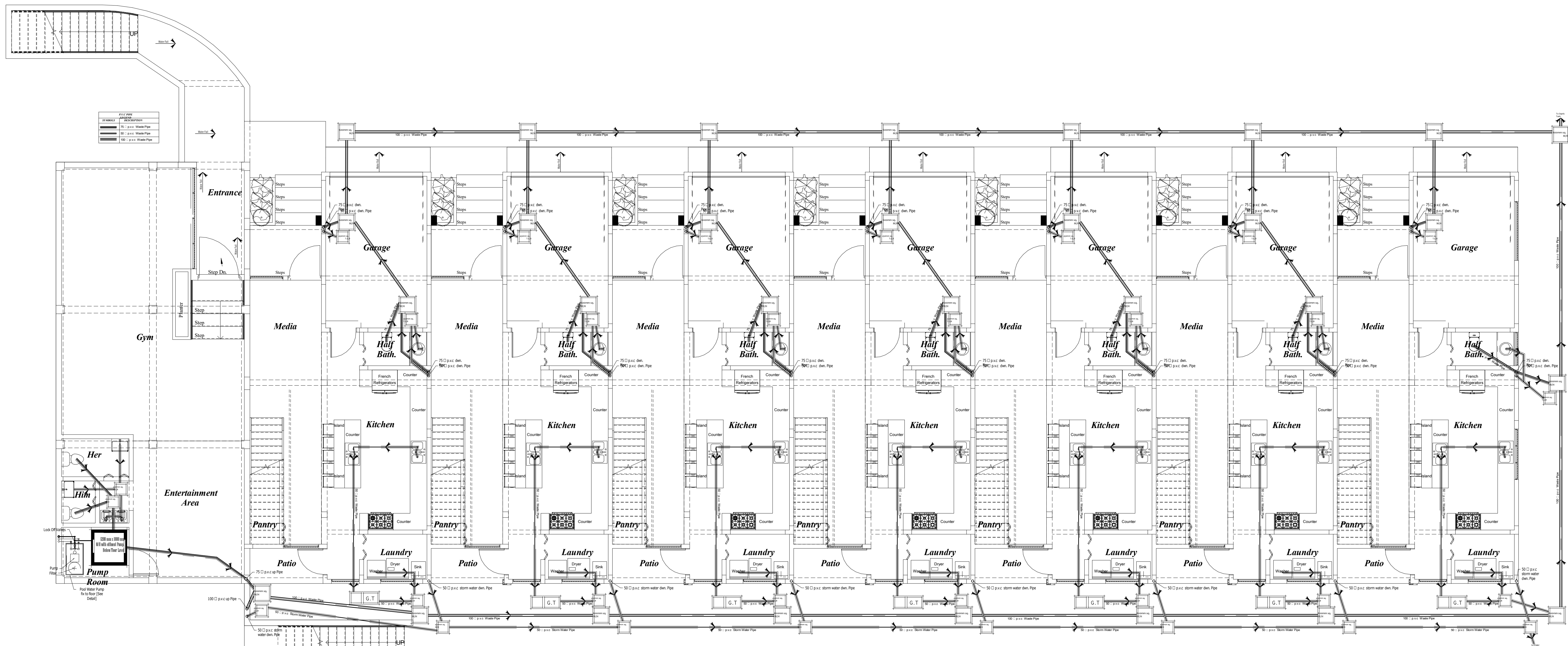
Project Title:
**Proposed Erection of a
Townhouse & Apartment @
Lot 357 Ironshore**

Sheet Title:
**Apartment Ground, First
Pool & Gazebo Floor
Electrical Plan**

Client:
McKoy Development

Drawn:
Kaydrian Kerr
Check:
K.D.S
Date:
November 24, 2022
Scale:
1 : 50
Job No.:
00000

Sheet No.:
M3



Proposed
1 Townhouse Basement Drainage Plan
 1 : 65



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Mech. Eng.:		
Elec. Eng.:		
C.O.B.:		
Mt. Contractor:		
Approved:		

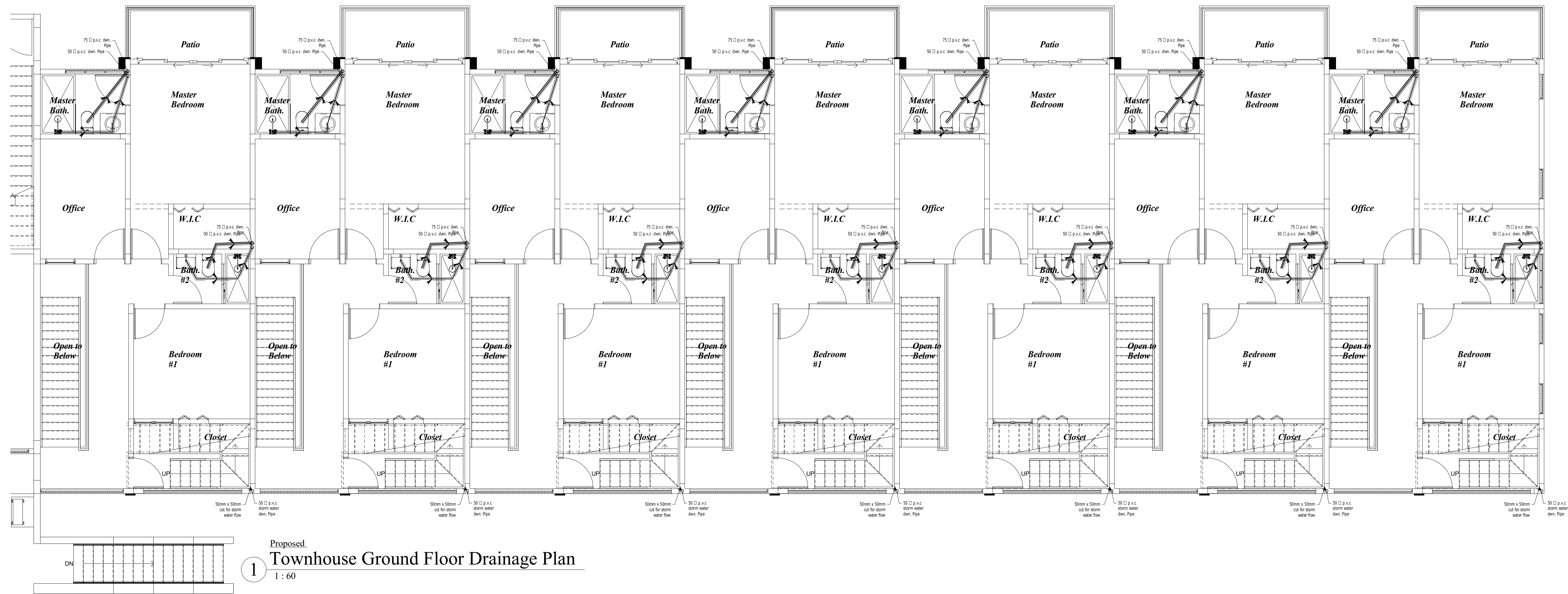
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**Proposed Erection of a
 Townhouse & Apartment @
 Lot 357 Ironshore**

Sheet Title:
**Townhouse Basement
 Drainage Plan**

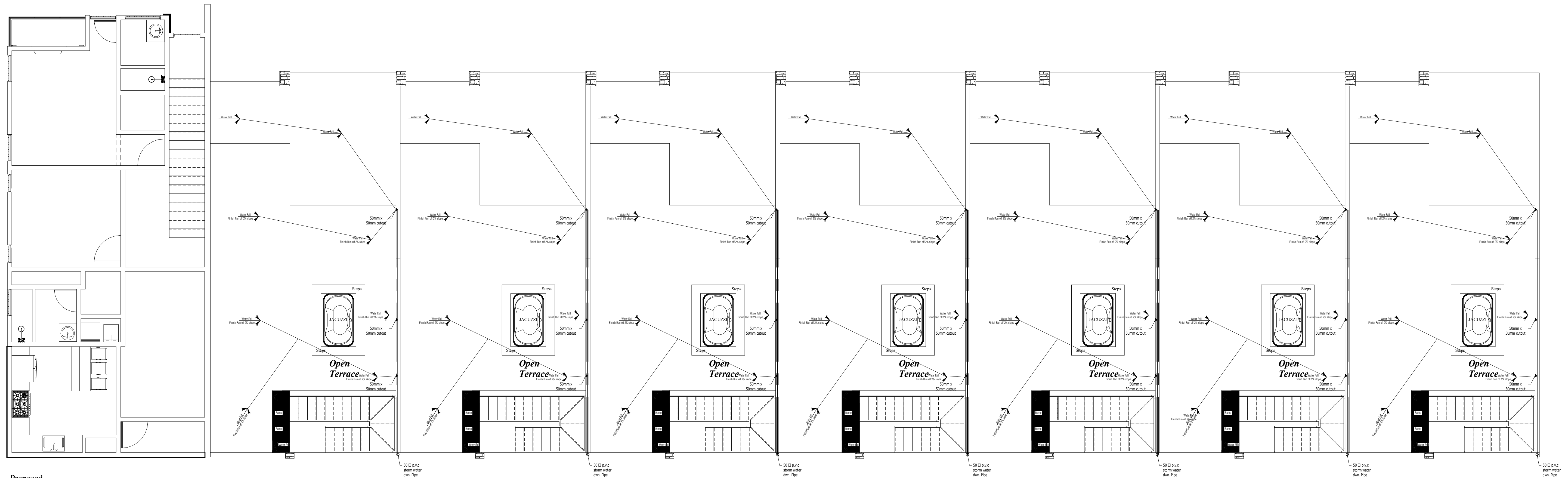
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McKoy Development

Drawn:
Kaydrian Kerr
 Check:
K.D.S
 Date:
November 24, 2022
 Scale:
1 : 65
 Job No.:
00000

Sheet No.:
M4



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Proposed
1 Townhouse Roof Drainage Plan
 3/16" = 1'-0"



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Mt. Contractor:		
Approved:		

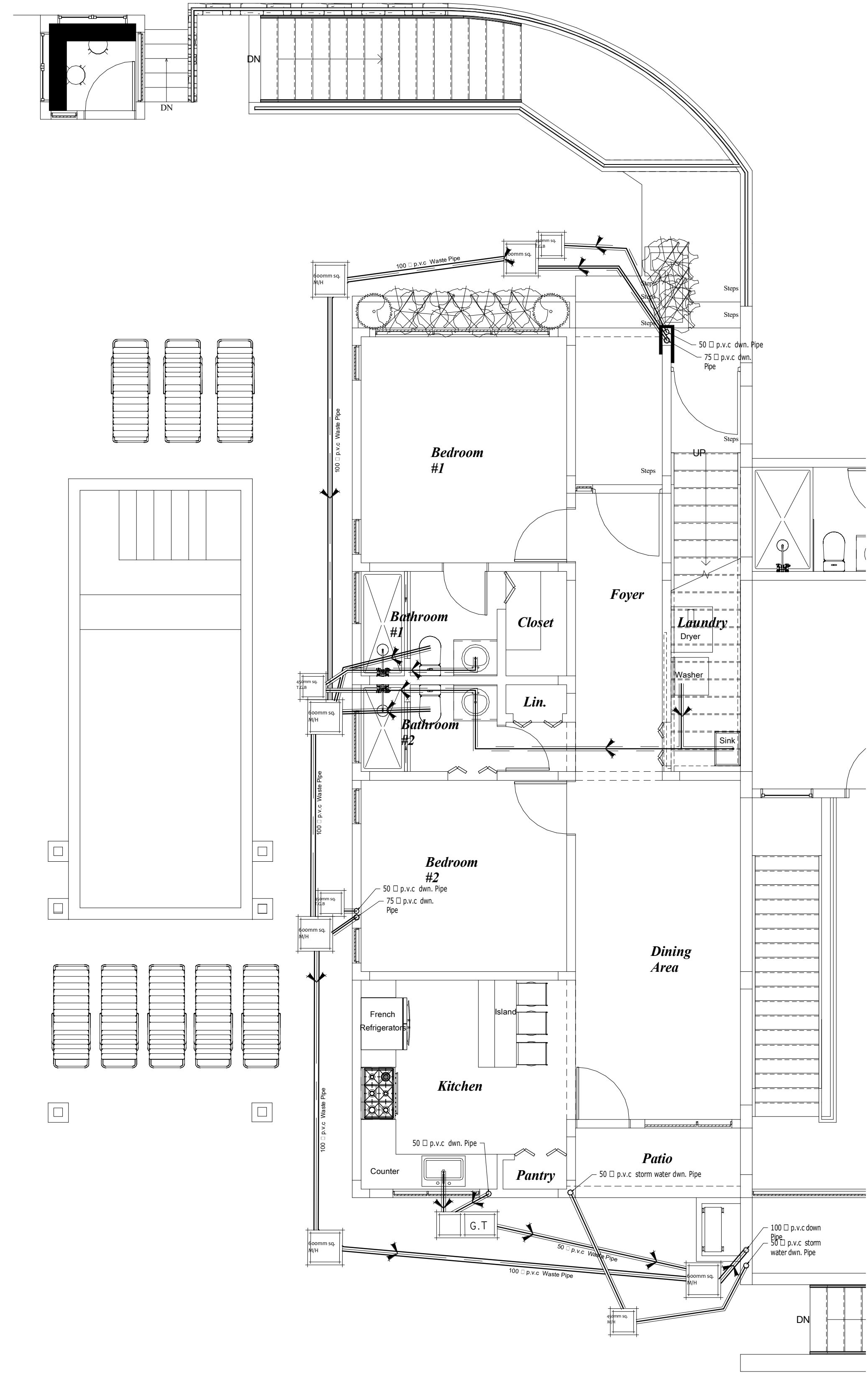
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**Proposed Erection of a
 Townhouse & Apartment @
 Lot 357 Ironshore**

Sheet Title:
**Townhouse Roof Drainage
 Plan**

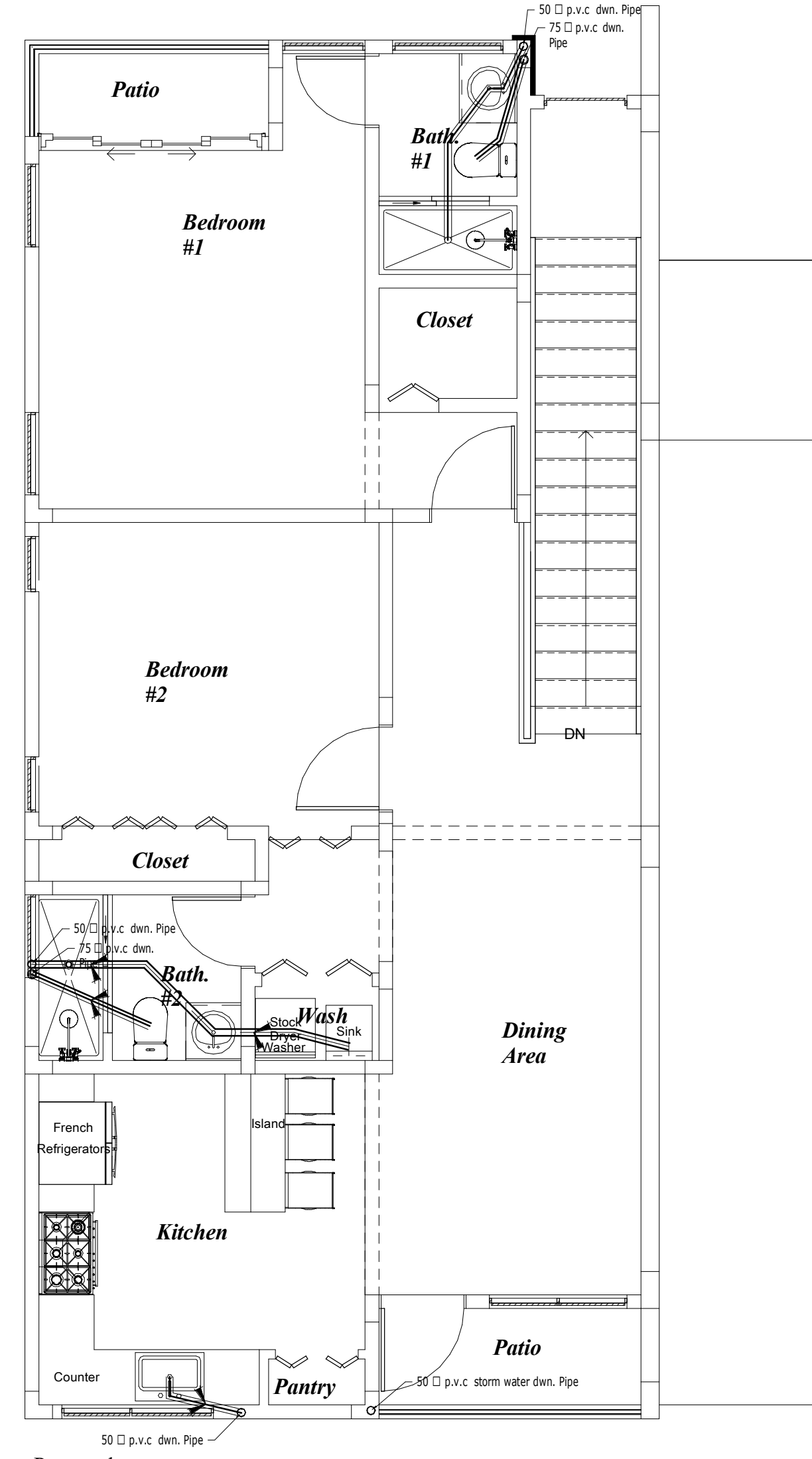
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McKoy Development

Drawn:
Kaydrian Kerr
 Check:
K.D.S.
 Date:
November 24, 2022
 Scale:
3/16" = 1'-0"
 Job No.:
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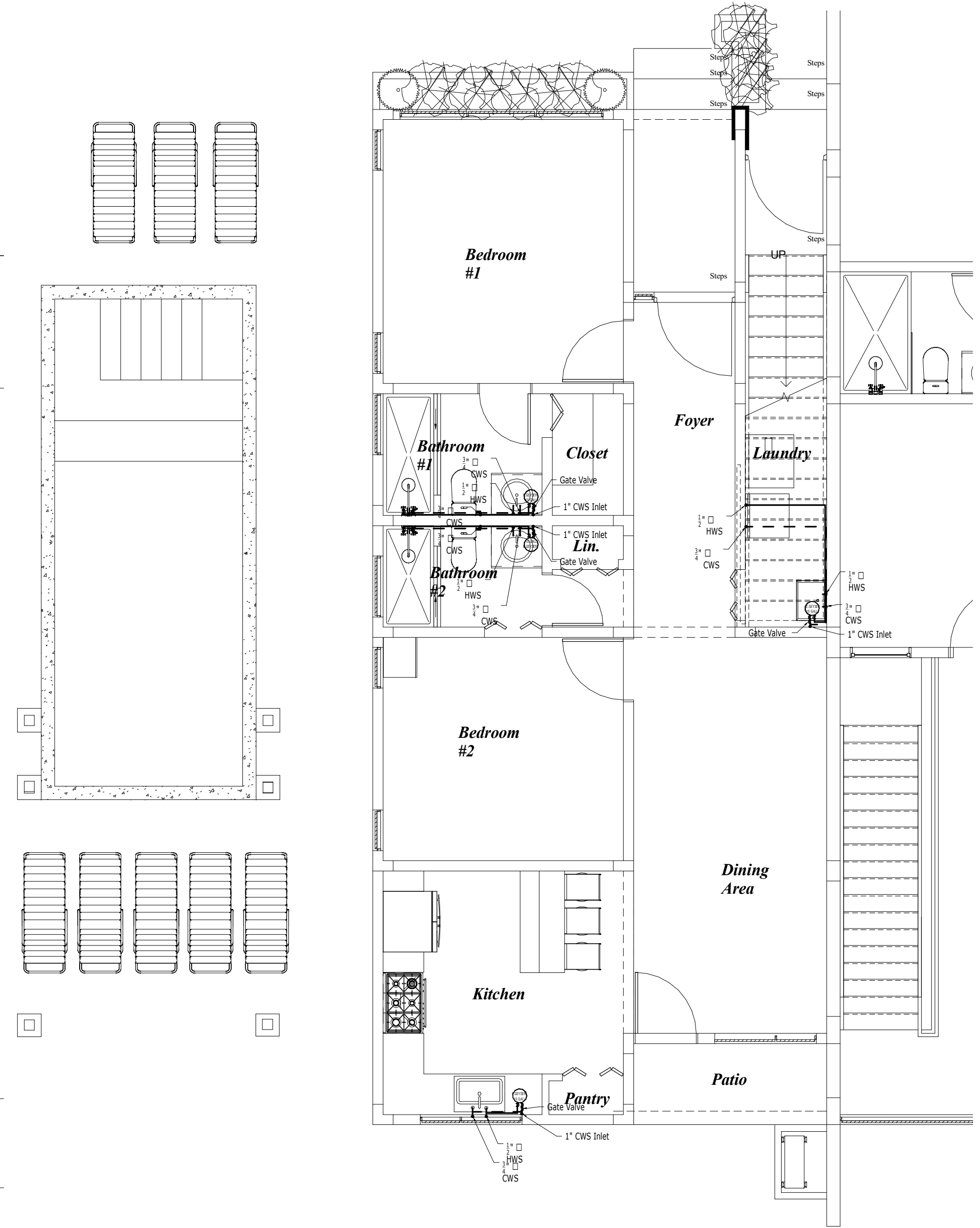
Sheet No.:
M6



Proposed
1 Apartment Ground Floor Drainage Plan
 1 : 50



Proposed
2 Apartment First Floor Drainage Plan
 1 : 50



Proposed
3 Apartment Ground Floor Water Connection Plan
 1 : 50



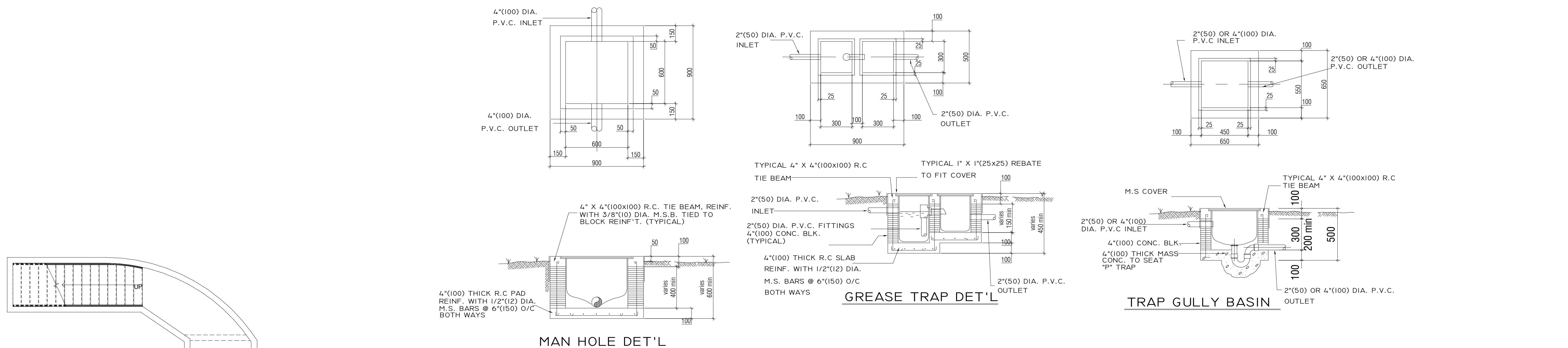
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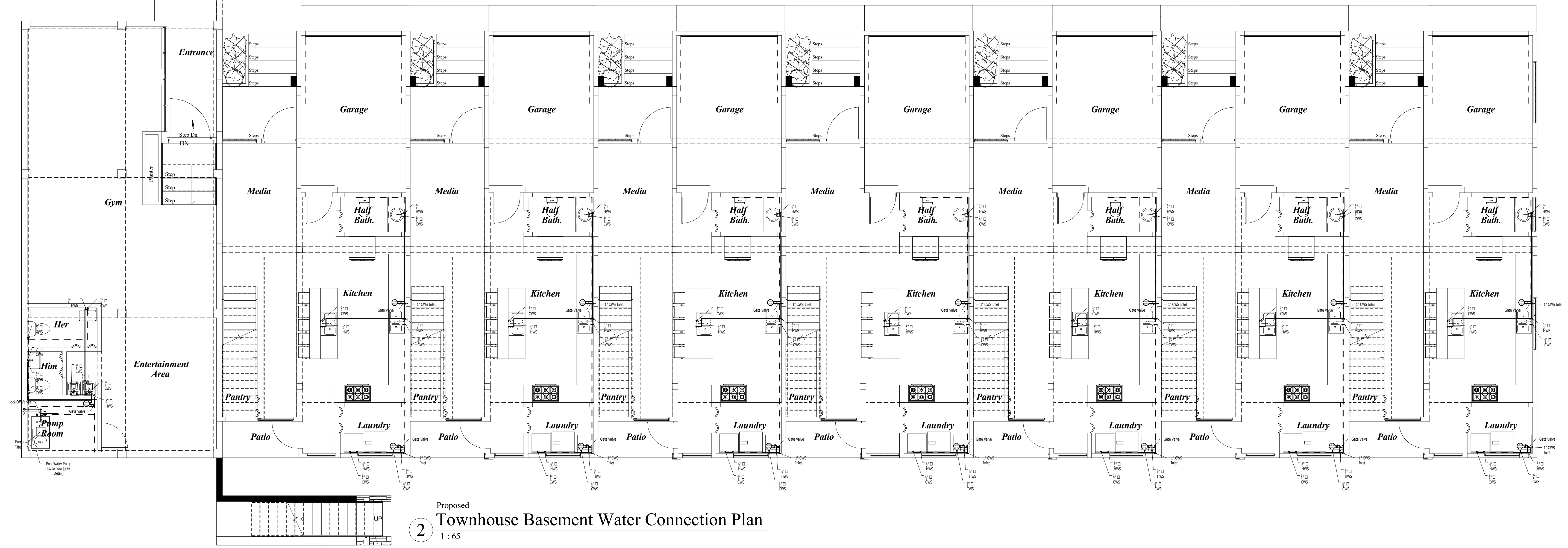
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Proposed Erection of a Townhouse & Apartment @ Lot 357 Ironshore	Apartments Drainage & Water Connection Plans	McKoy Development

Drawn:	Checked:
Kaydrian Kerr	K.D.S
Date:	Scale:
November 24, 2022	1 : 50
Job No.:	
00000	

Sheet No.:
M7



Proposed
1 Drainage Details
 1:18



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							Proposed Erection of a Townhouse & Apartment @ Lot 357 Ironshore	Townhouse Basement Water Connection Plan	McKoy Development	Kaydrian Kerr	K.D.S	November 24, 2022	As indicated	00000	M8



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Elec. Eng.:		
C.O.B.:		
Mt. Contractor:		
Approved:		

Project Title:	
Sheet Title:	
Client:	
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Job No.:	

**Proposed Erection of a
 Townhouse & Apartment @
 Lot 357 Ironshore**

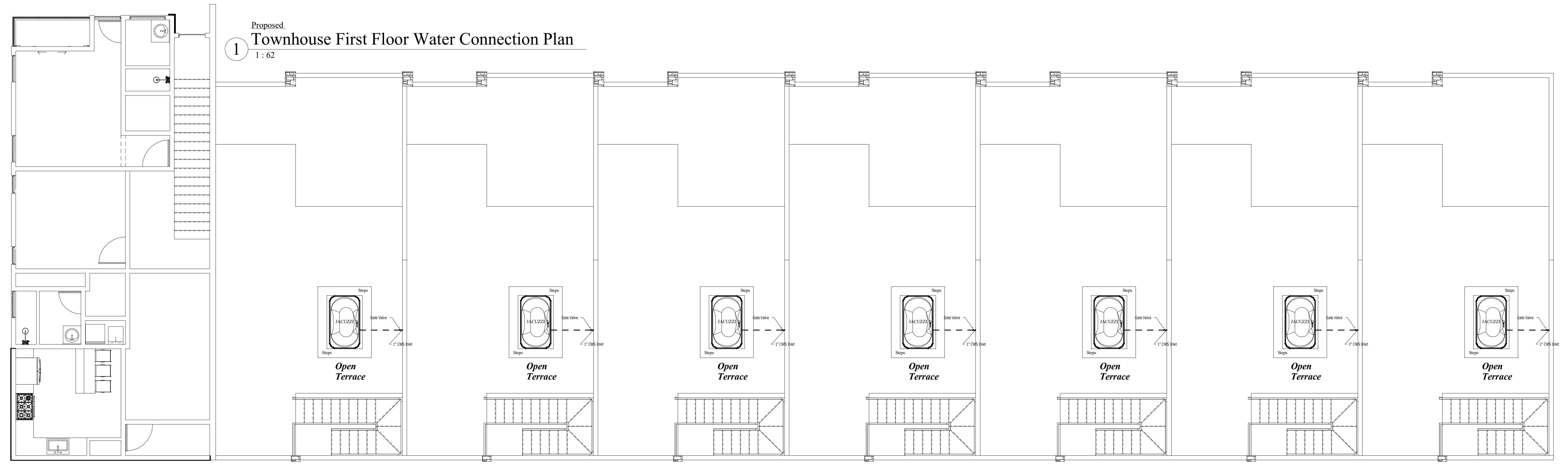
**Townhouse Ground Floor
 Water Connection Plan**


McKoy Development

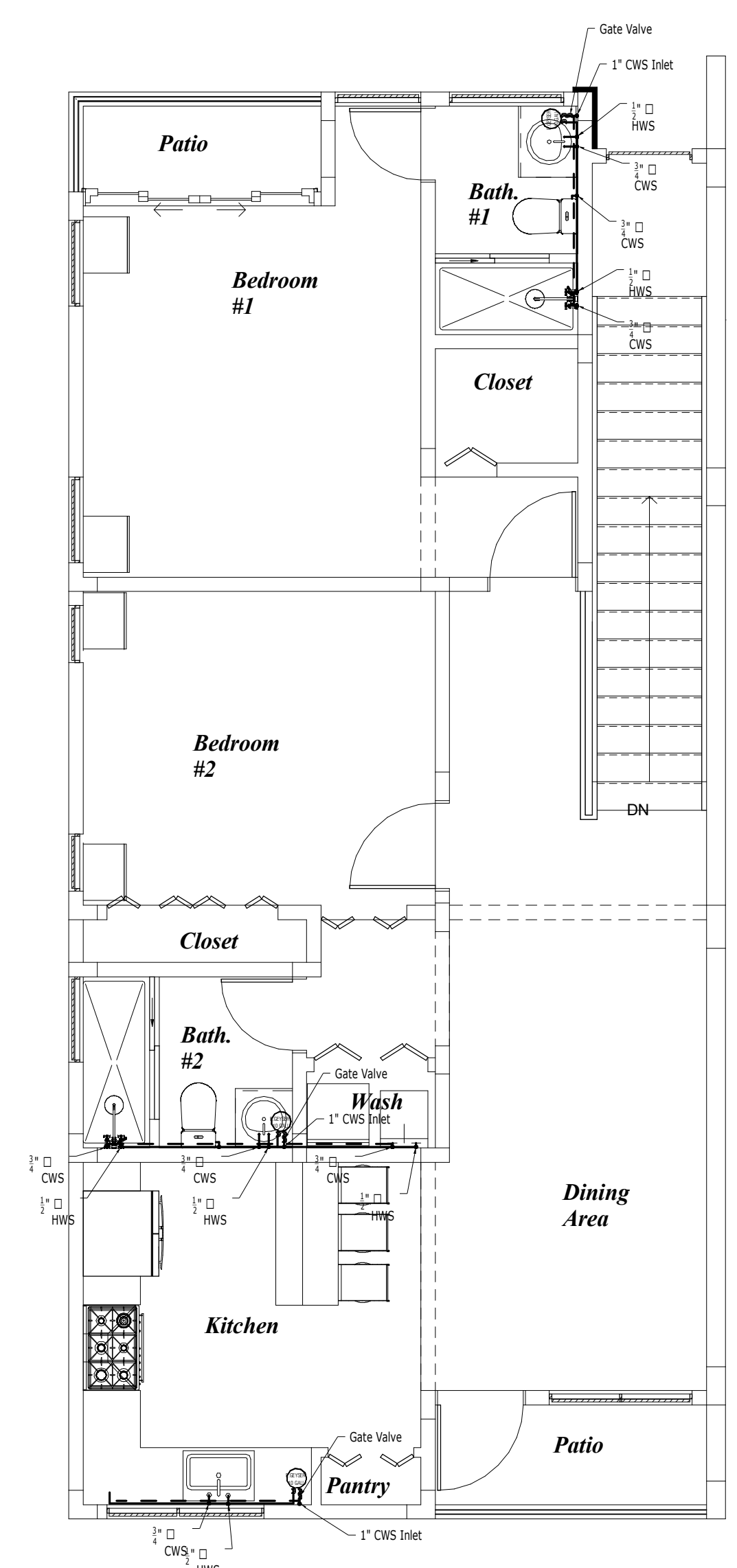
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 Checked: **K.D.S**
 Date: **November 24, 2022**
 Scale: **1 : 54**
 Job No.: **00000**

Sheet No.: **M9**

Proposed
 ① **Townhouse First Floor Water Connection Plan**
 1 : 62

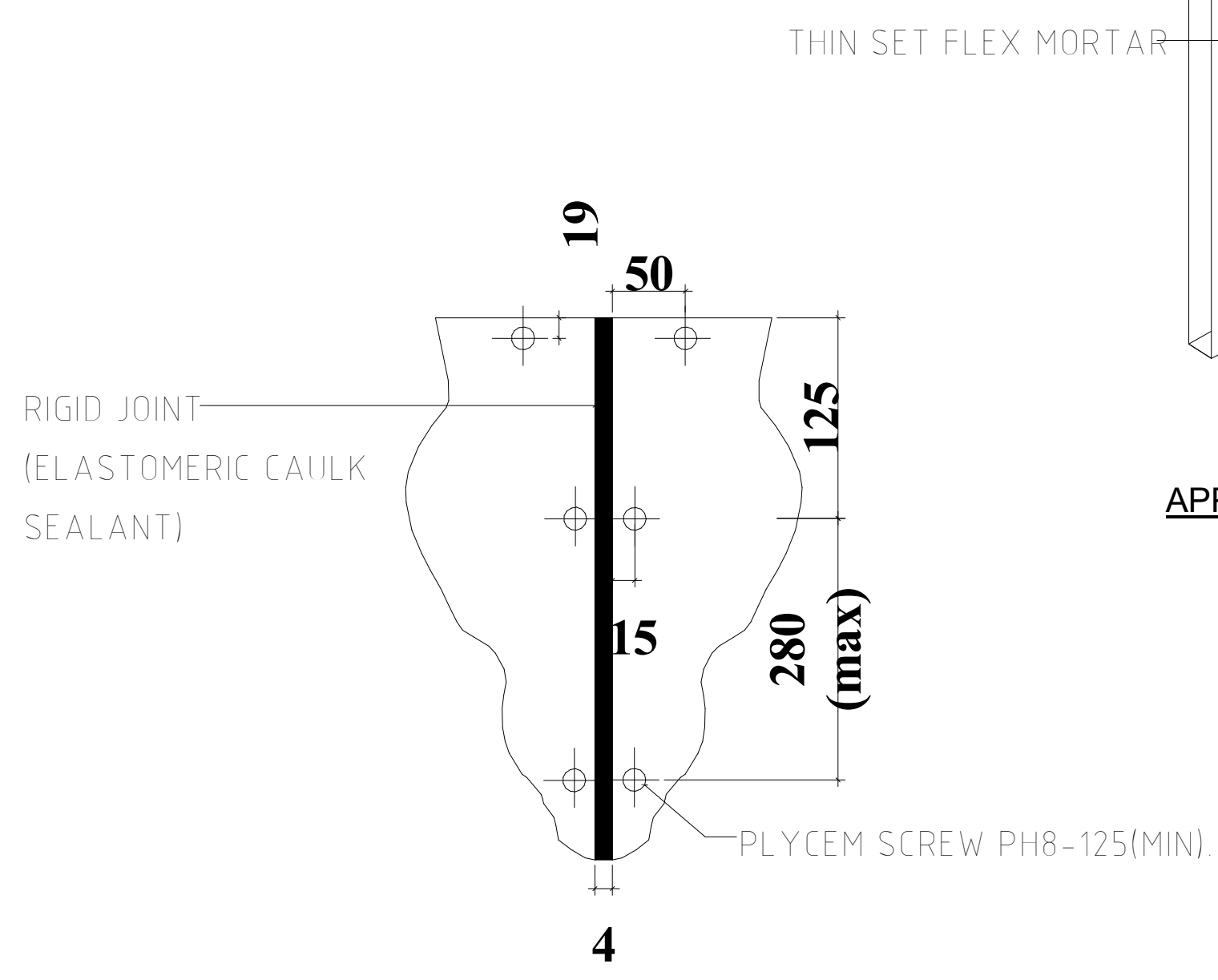


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				Revision: No./Date/By/Comment: Issued Date: Client: O.S. Srvt. Eng. Mech. Eng. Elec. Eng. C.D.P. M.C./Contractor: Approved:	Proposed Erection of a Townhouse & Apartment @ Lot 357 Ironshore	Townhouse First Floor Water Connection Plan	McKoy Development				

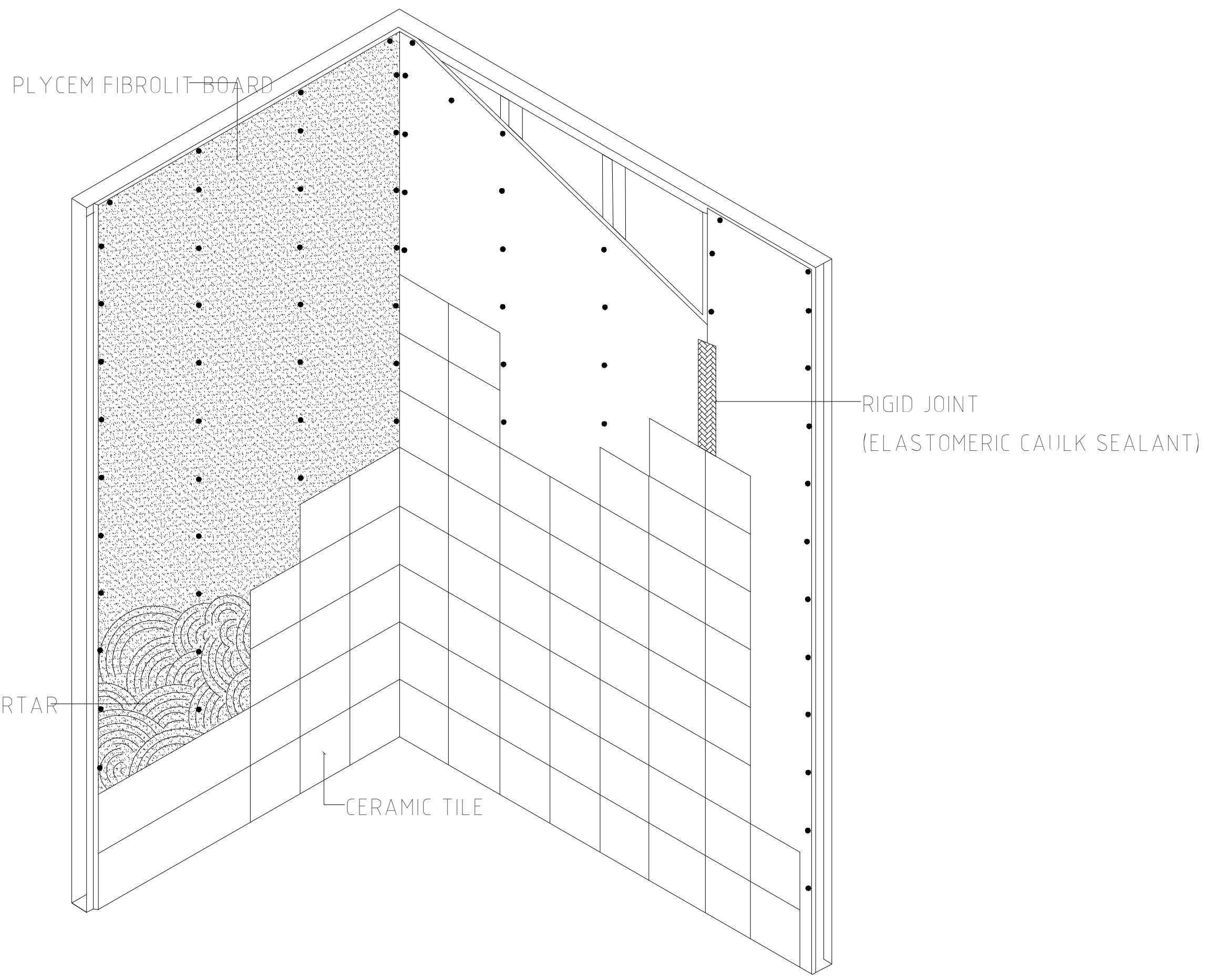


Proposed
1 Apartment First Floor Water Connection Plan
 1 : 50

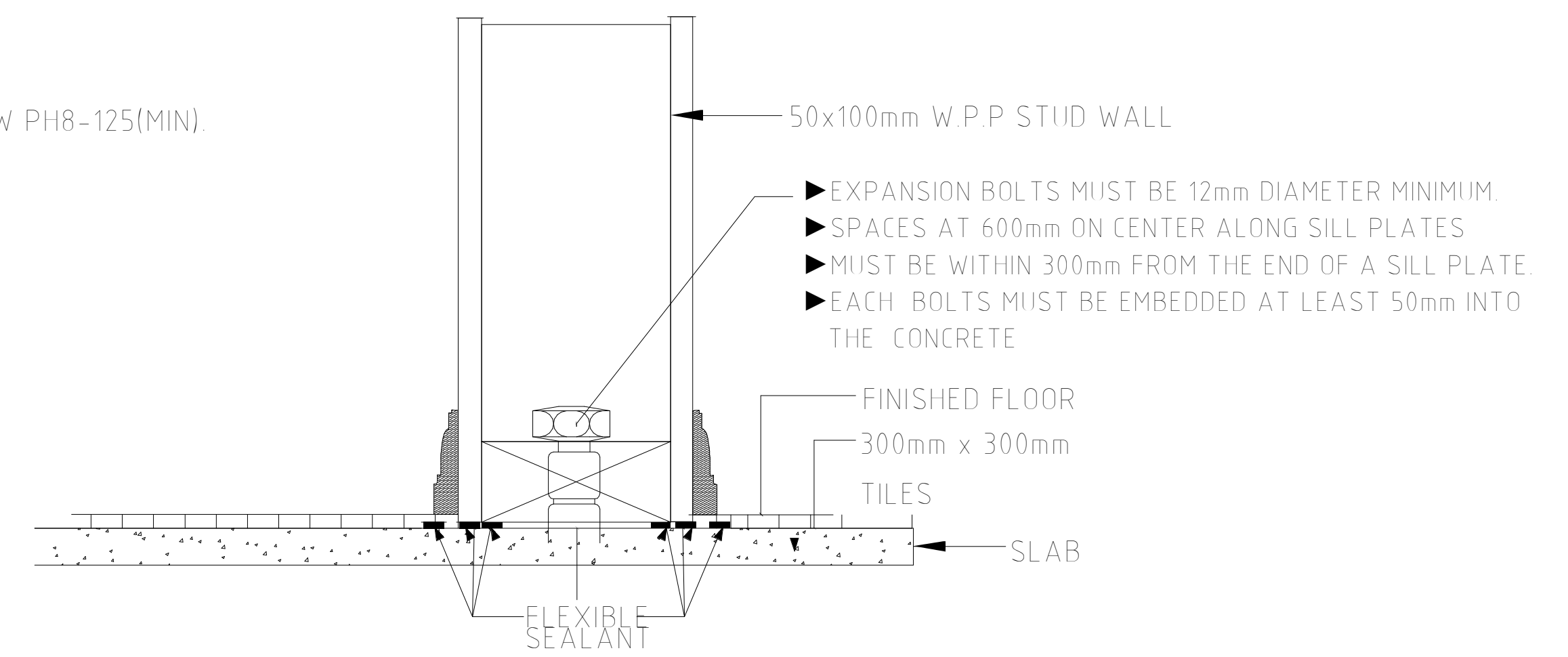
Proposed
2 Guard House Drywall Details
 1" = 4'-2"



PLYCEM FIBROLIT BOARD JOINT DETAIL
 NTS



APPLYING CERAMIC TILE DETAIL
 NTS



NOTE: FLEXIBLE SEALANT WILL HAVE NO REAL THICKNESS IN FINISHED CONSTRUCTION

SECTION 1a VIEW

Flexible Sealant Diagram
 NTS.



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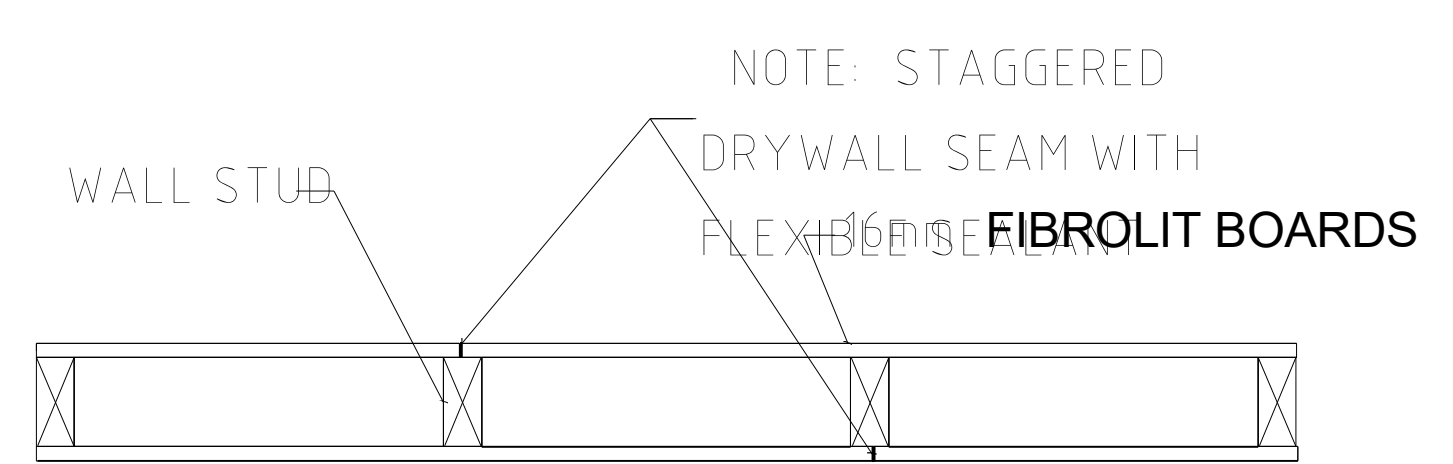
Proposed Erection of a
 Townhouse & Apartment @
 Lot 357 Ironshore

Apartment First Floor Water
 Connection Plan

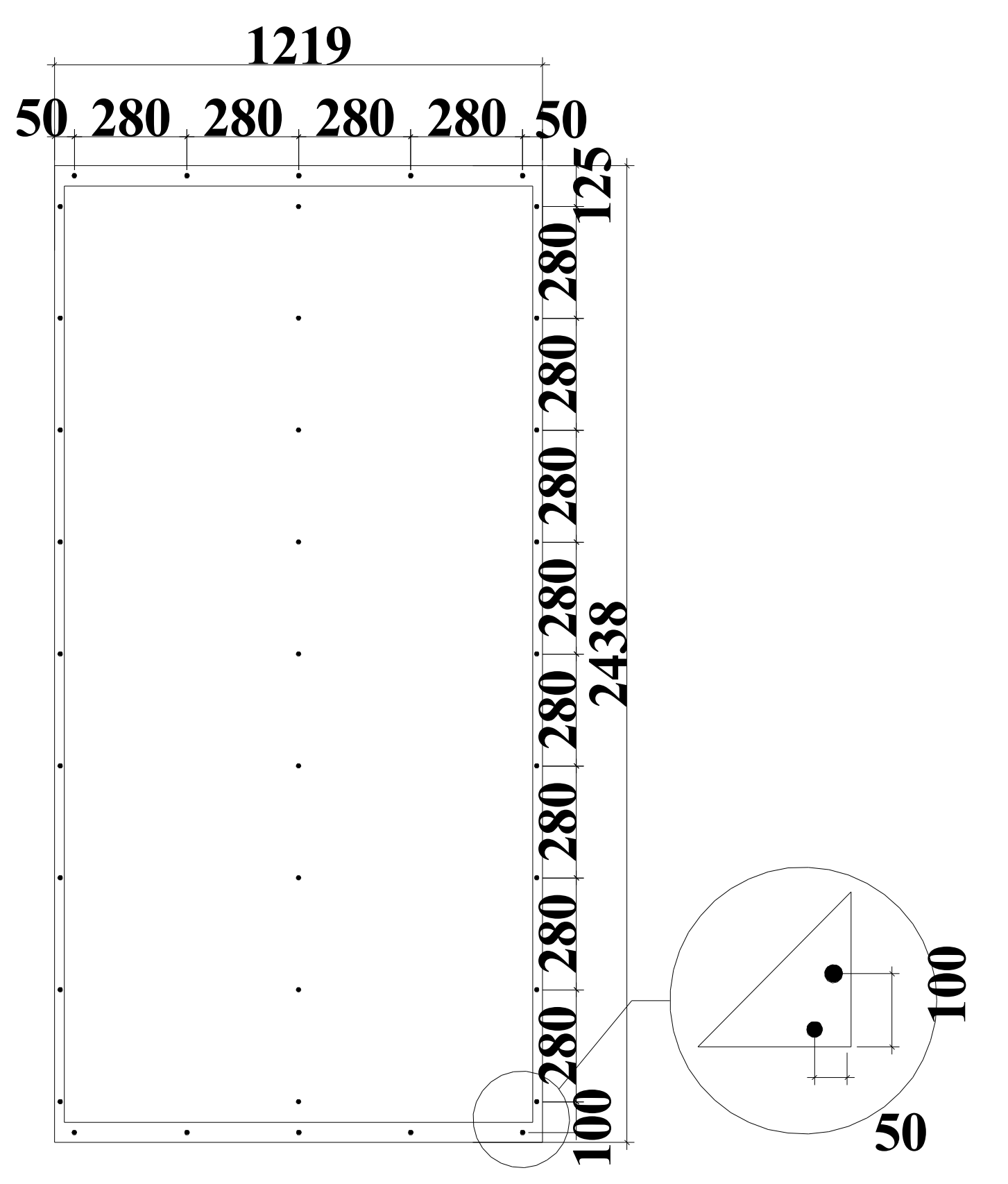
McKoy Development

Kaydrian Kerr
 K.D.S
 November 24, 2022
 As indicated
 00000

Sheet No.:
M11

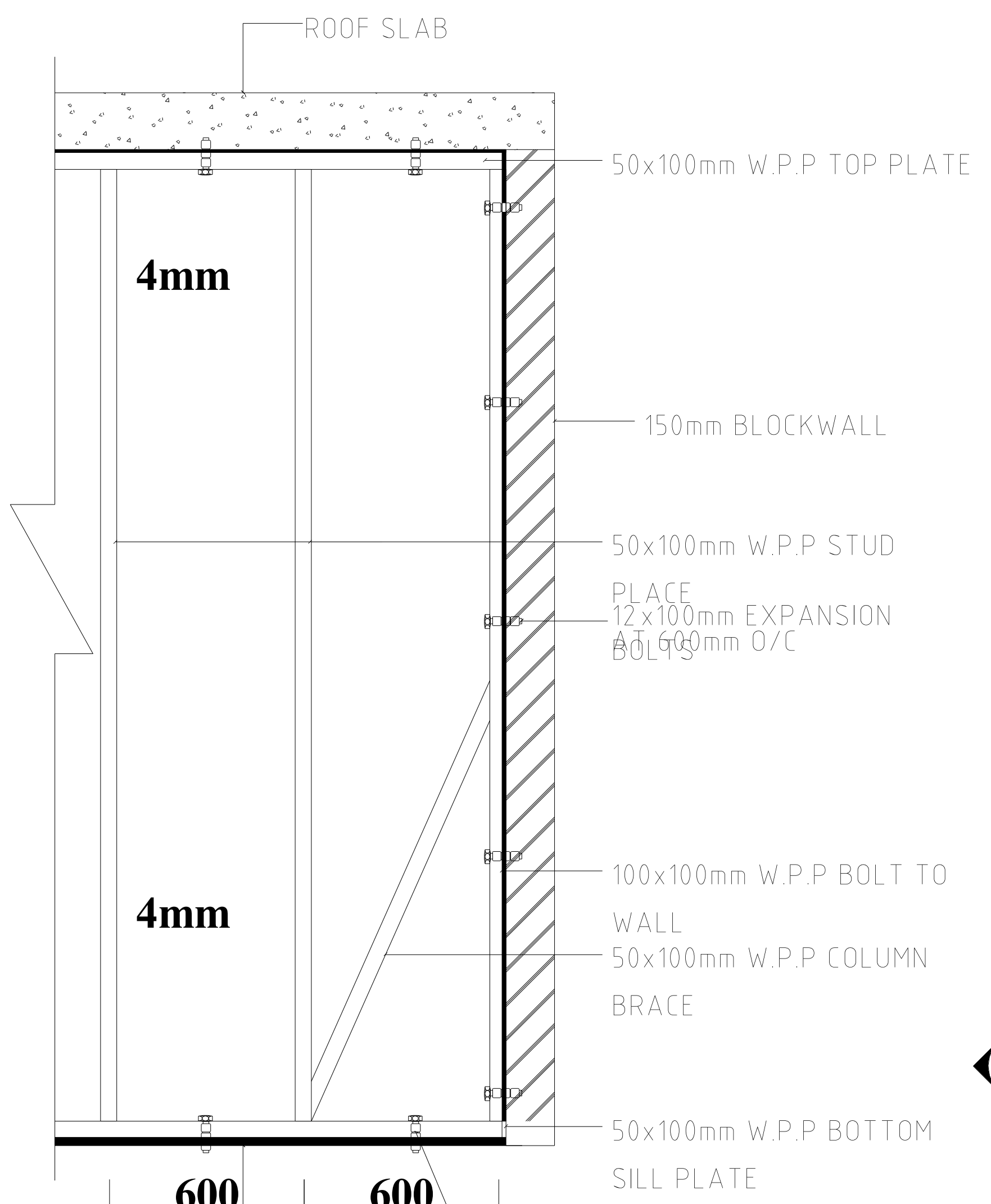


TOP SECTION 1b VIEW



PLYCEM FIBROLIT BOARD DETAIL

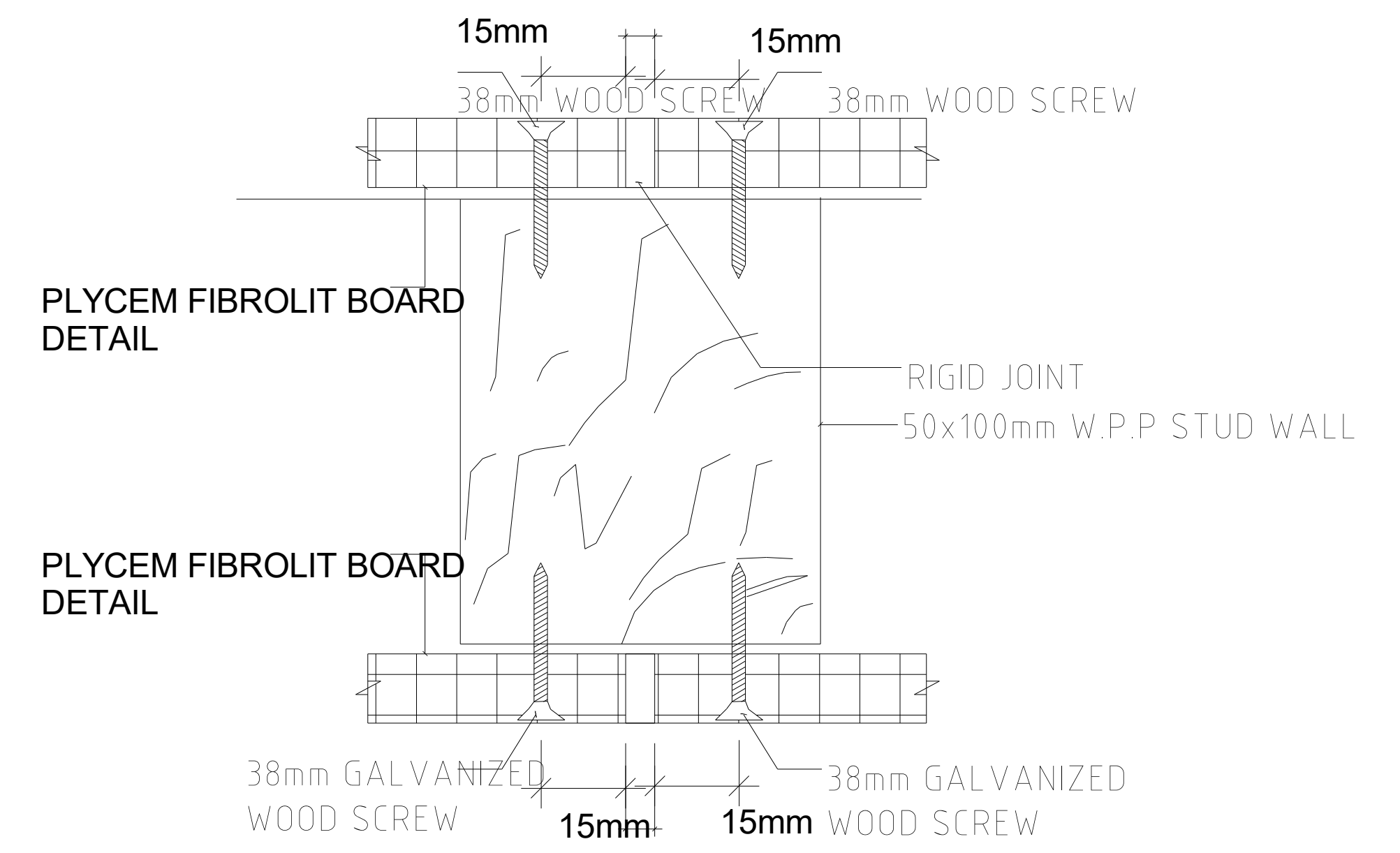
1b



DRYWALL PARTITION STUD ELEVATION

- ▶ EXPANSION BOLTS MUST BE 12mm DIAMETER
- ▶ BRACES AT 600mm ON CENTER ALONG SILL PLATES
- ▶ MUST BE WITHIN 300mm FROM THE END OF A SILL PLATE
- ▶ EACH BOLTS MUST BE EMBEDDED AT LEAST 50mm INTO THE CONCRETE

1a



BOARDS ATTACHING INTERMEDIATE SUPPORTS NTS.



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Elec. Eng.:		
C.O.P.:		
Mr. Contractor:		
Approved:		

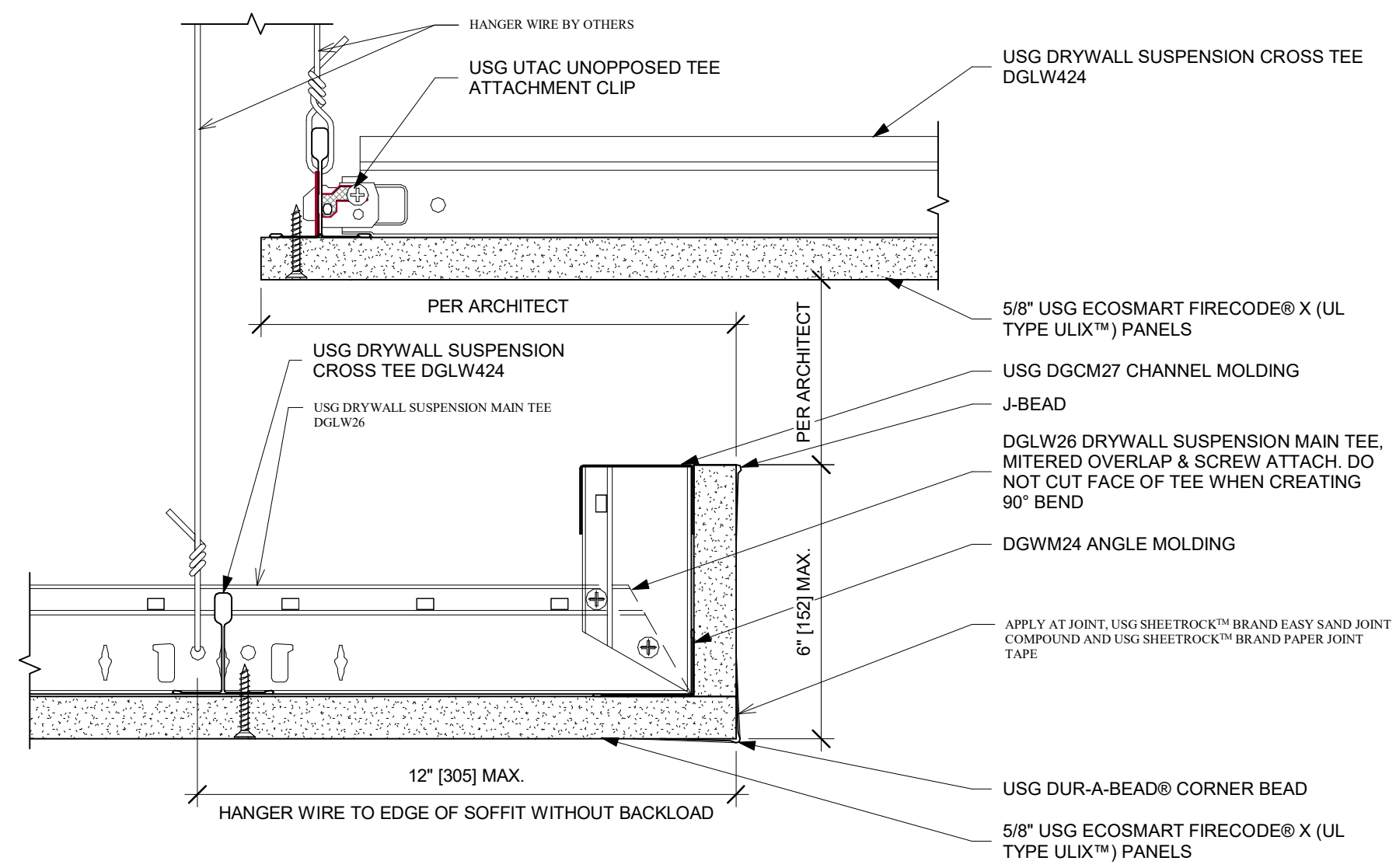
Project Title: **Proposed Erection of a Townhouse & Apartment @ Lot 357 Ironshore**

Sheet Title: **Guard House Drywall Details 1**

Client: **McKoy Development**

Drawn: **Kaydrian Kerr**
 Check: **K.D.S**
 Date: **November 24, 2022**
 Scale: **1" = 3'-4"**
 Job No.: **00000**

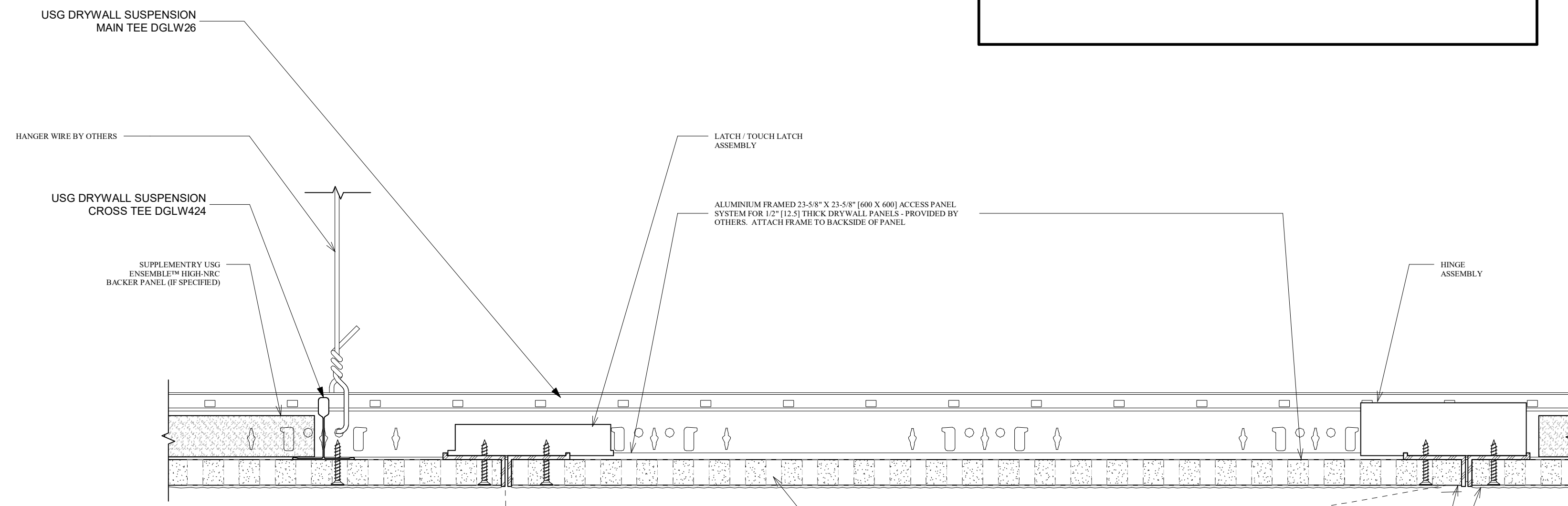
Sheet No.: **M12**



2 Proposed Ceiling Height Change - Cantilever Without Backload
6" = 1'-0"

3 Proposed Drywall To Ceiling
6" = 1'-0"

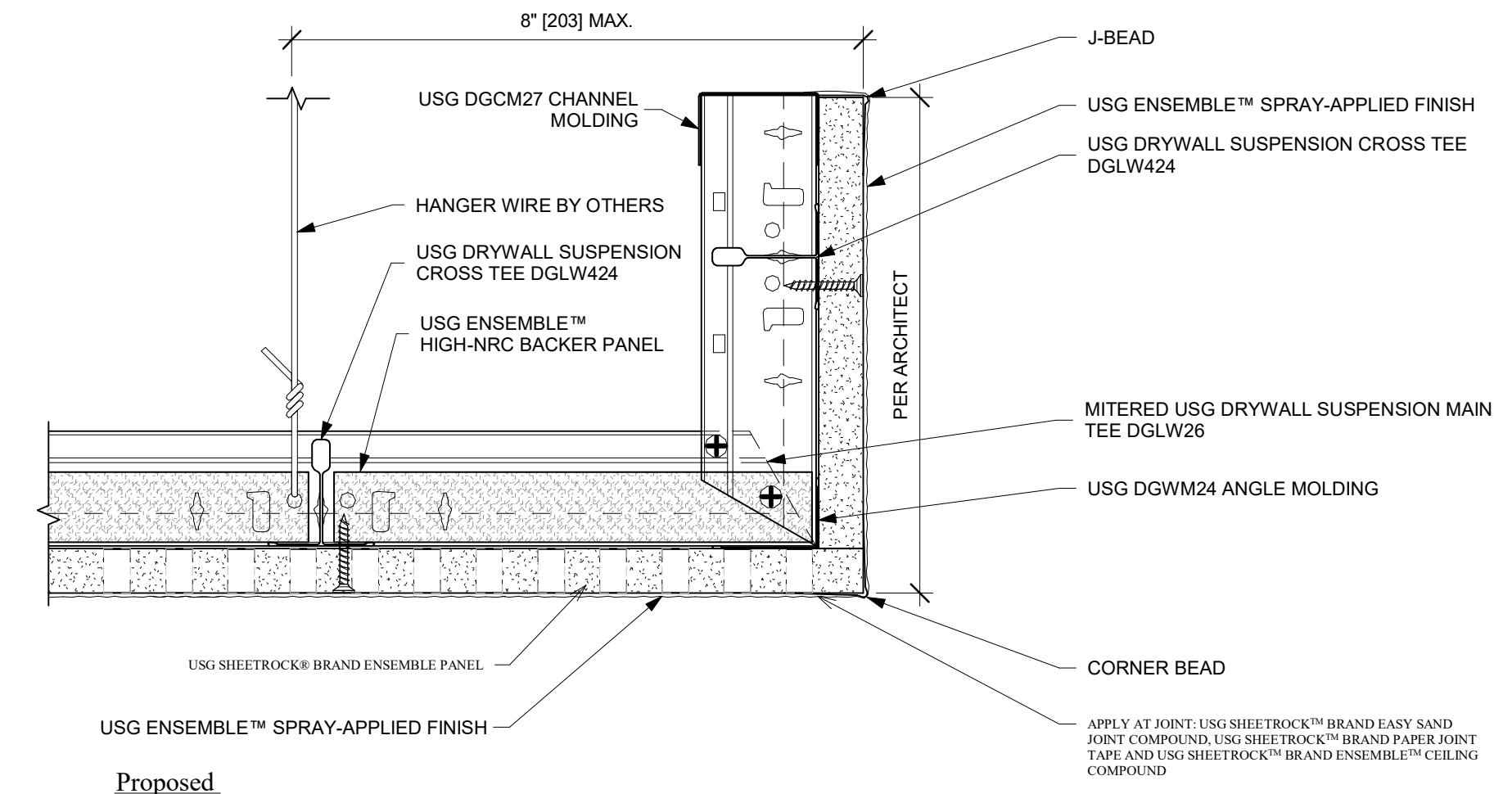
NOTE: ORDER ACCESS PANEL FLANGE THICKNESS TO WORK WITH 5/8" [15.9] THICK DRYWALL.



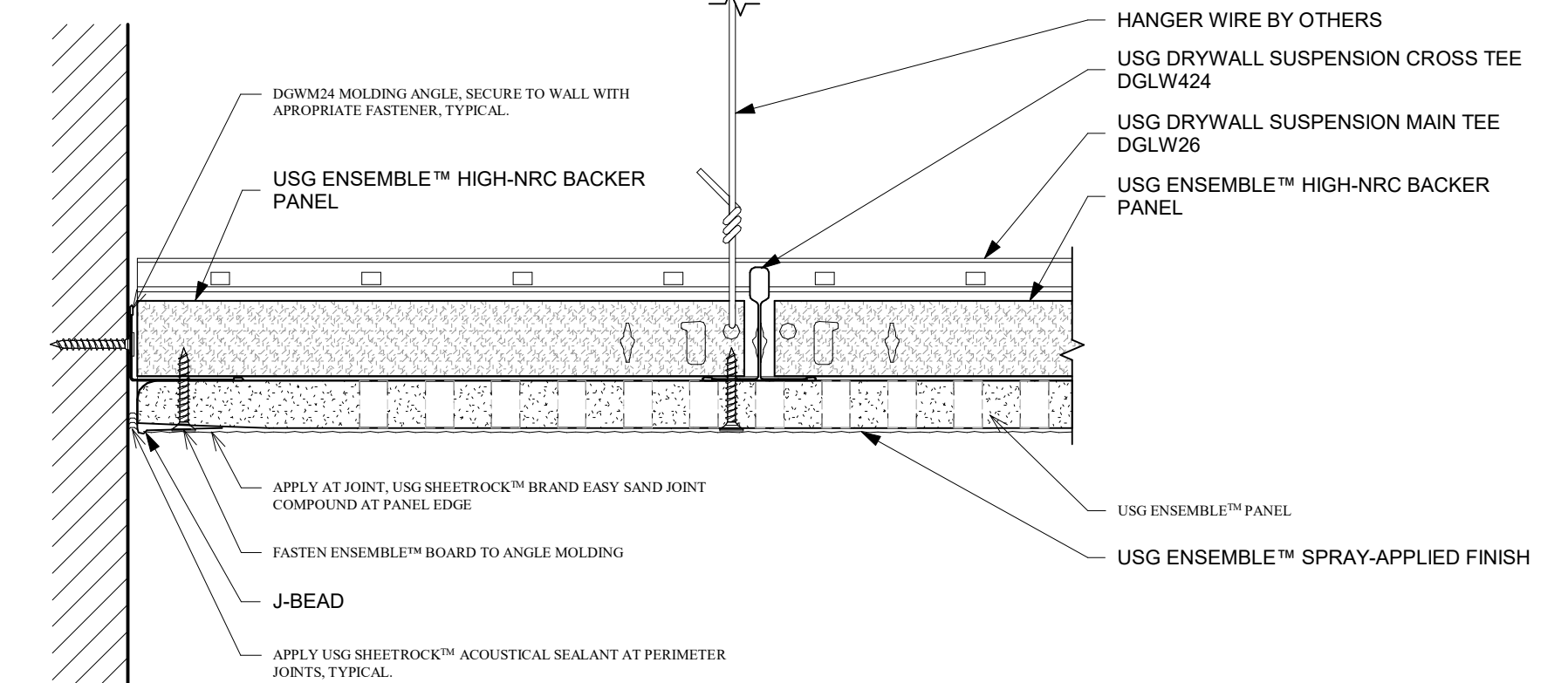
1 Proposed Access Panel To Drywall
6" = 1'-0"

4 Proposed Perimeter at Bent & Cut Main Tee
6" = 1'-0"

5 Proposed Perimeter at Main Tee
6" = 1'-0"



4 Proposed Perimeter at Bent & Cut Main Tee
6" = 1'-0"



5 Proposed Perimeter at Main Tee
6" = 1'-0"



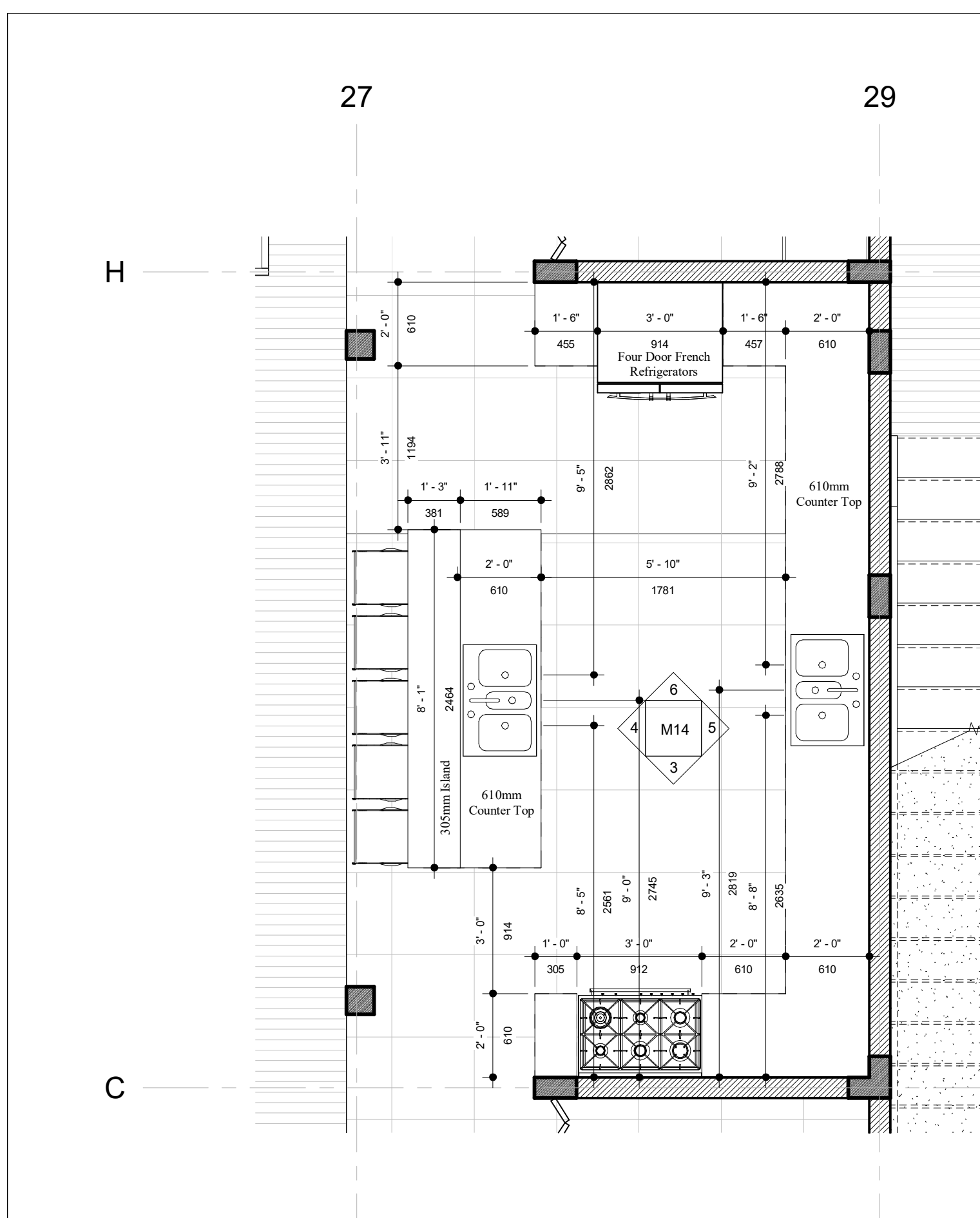
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			Proposed Erection of a Townhouse & Apartment @ Lot 357 Ironshore	Drywall Suspension Detail	McKoy Development	Kaydrian Kerr	K.D.S	6" = 1'-0"	00000
Revision: Issued Date: Client: O.S. Srv. Eng. Mech. Eng. Elec. Eng. C.O.B. M.C. Contractor: Approved:		No. / Date / By / Comment:							

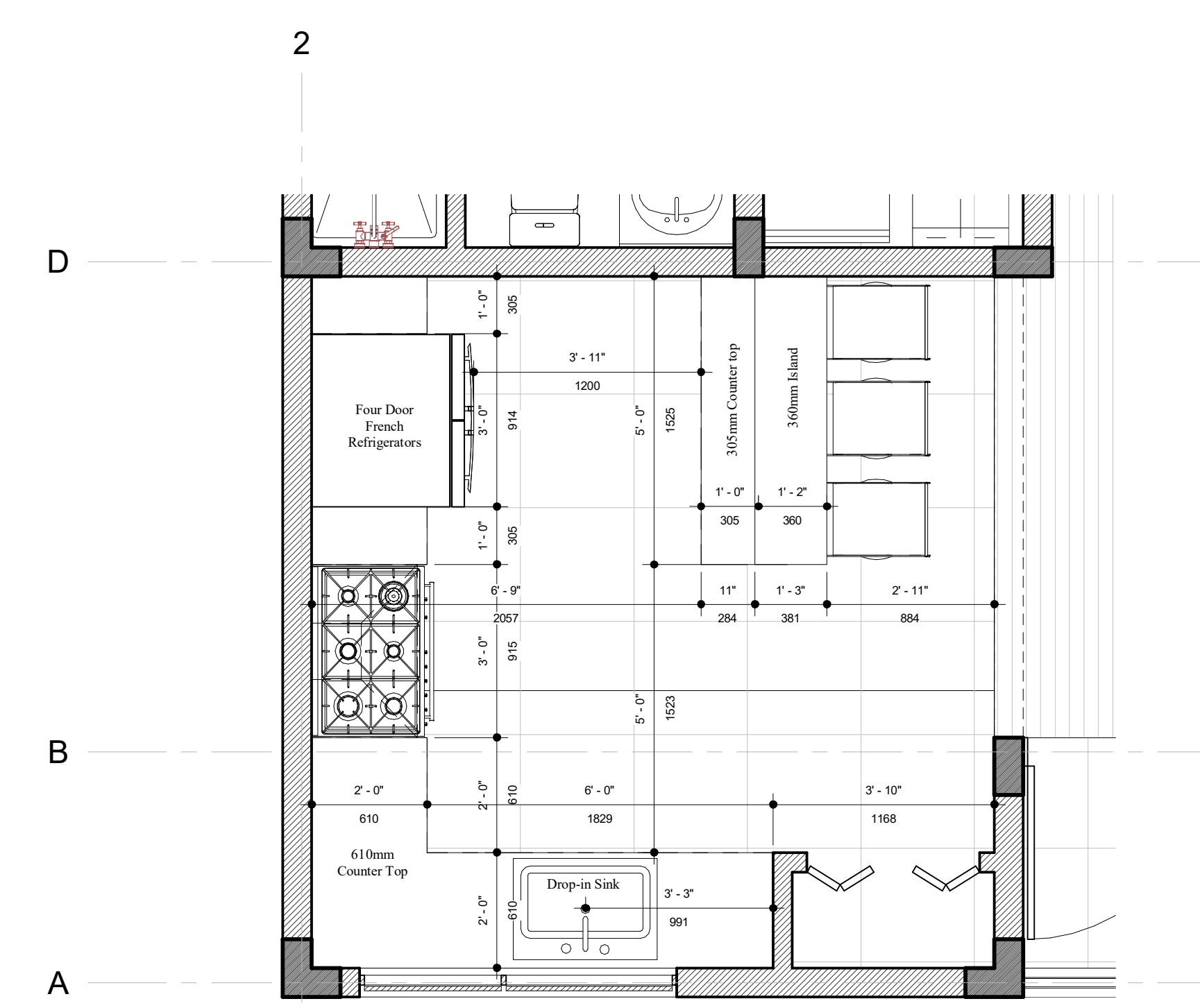
Scale: 6" = 1'-0"

Job No.: 00000

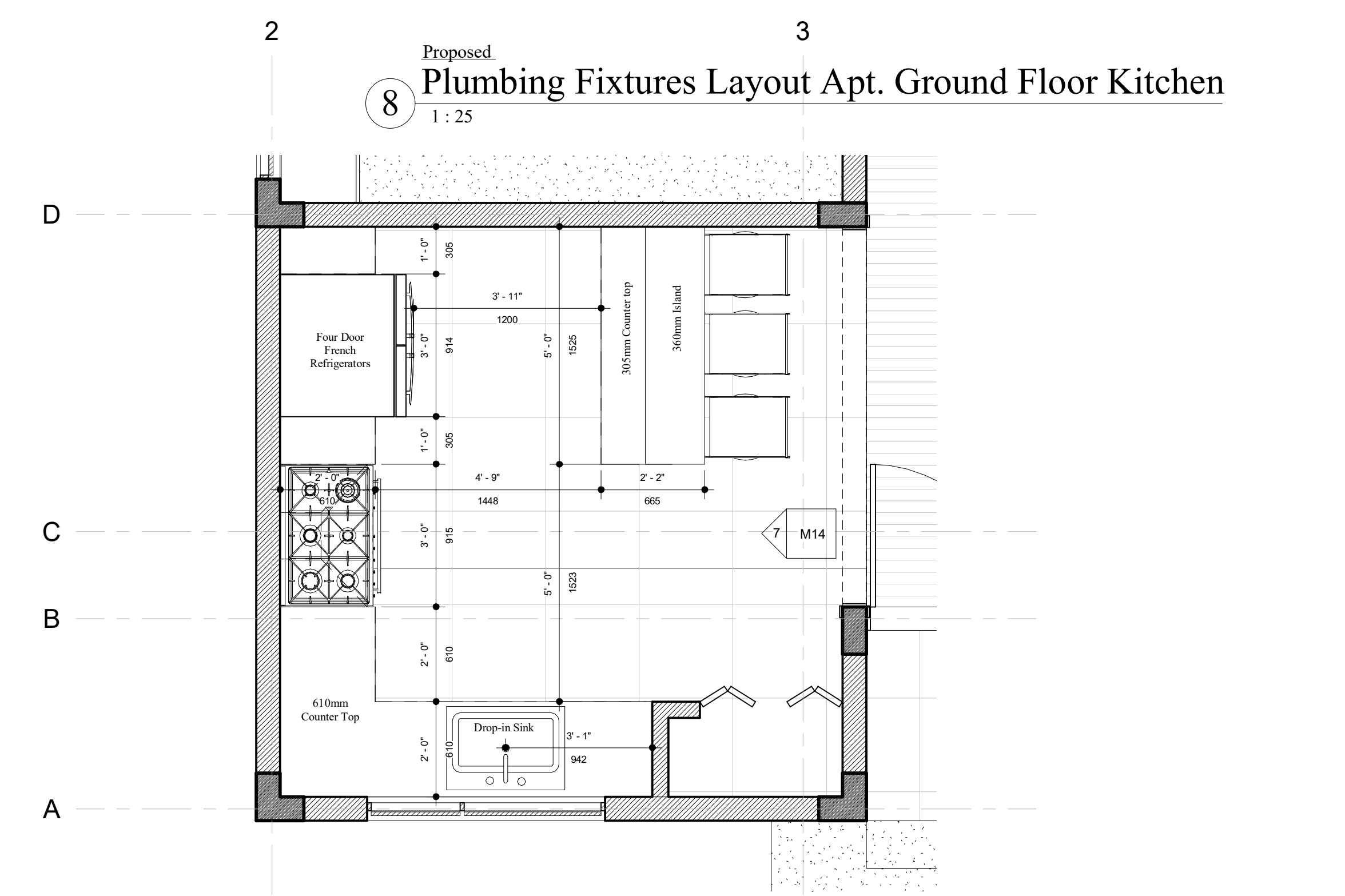
Sheet No.: M13



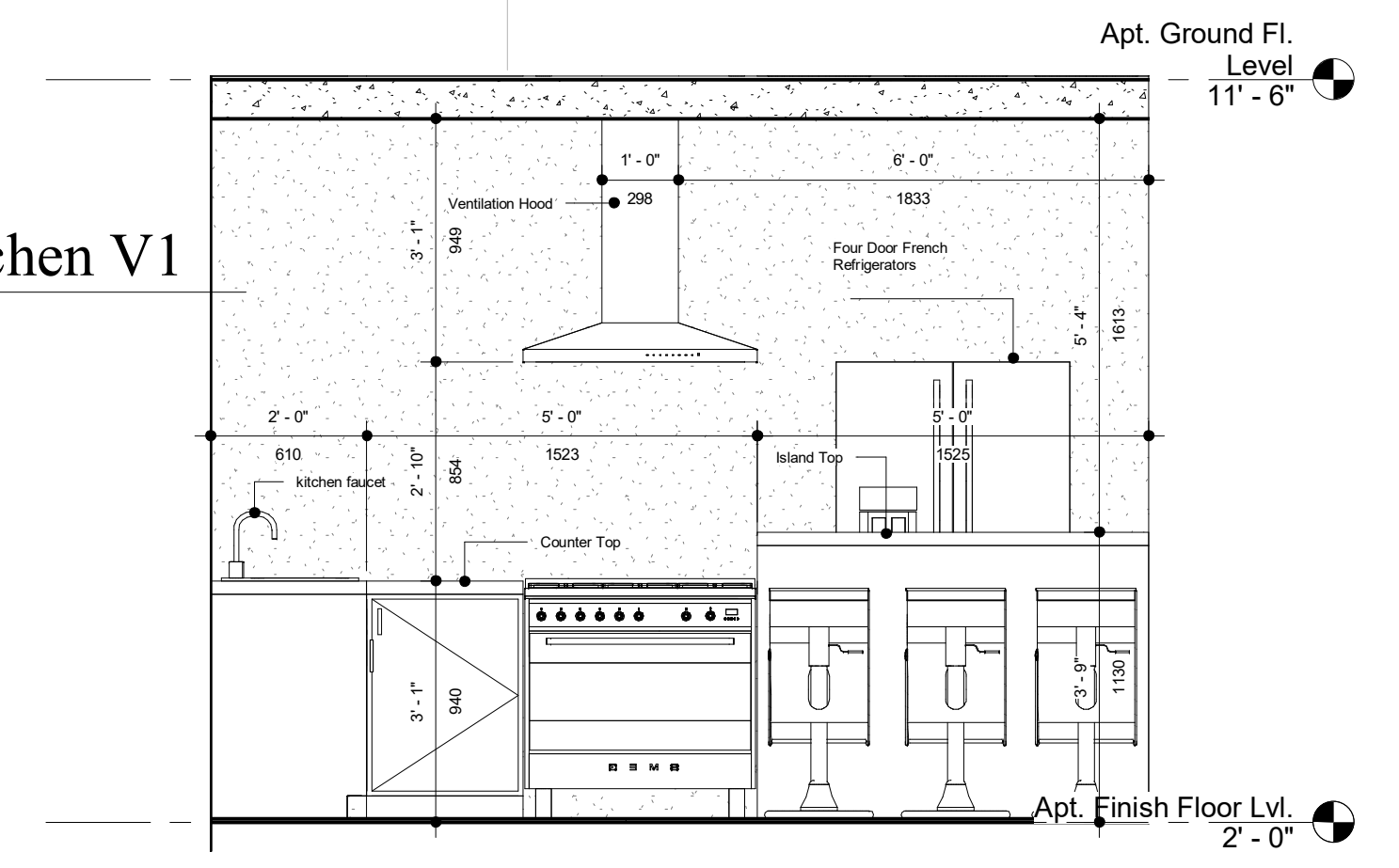
1 Proposed Plumbing Fixtures Layout Townhouse Kitchen
3/8" = 1'-0"



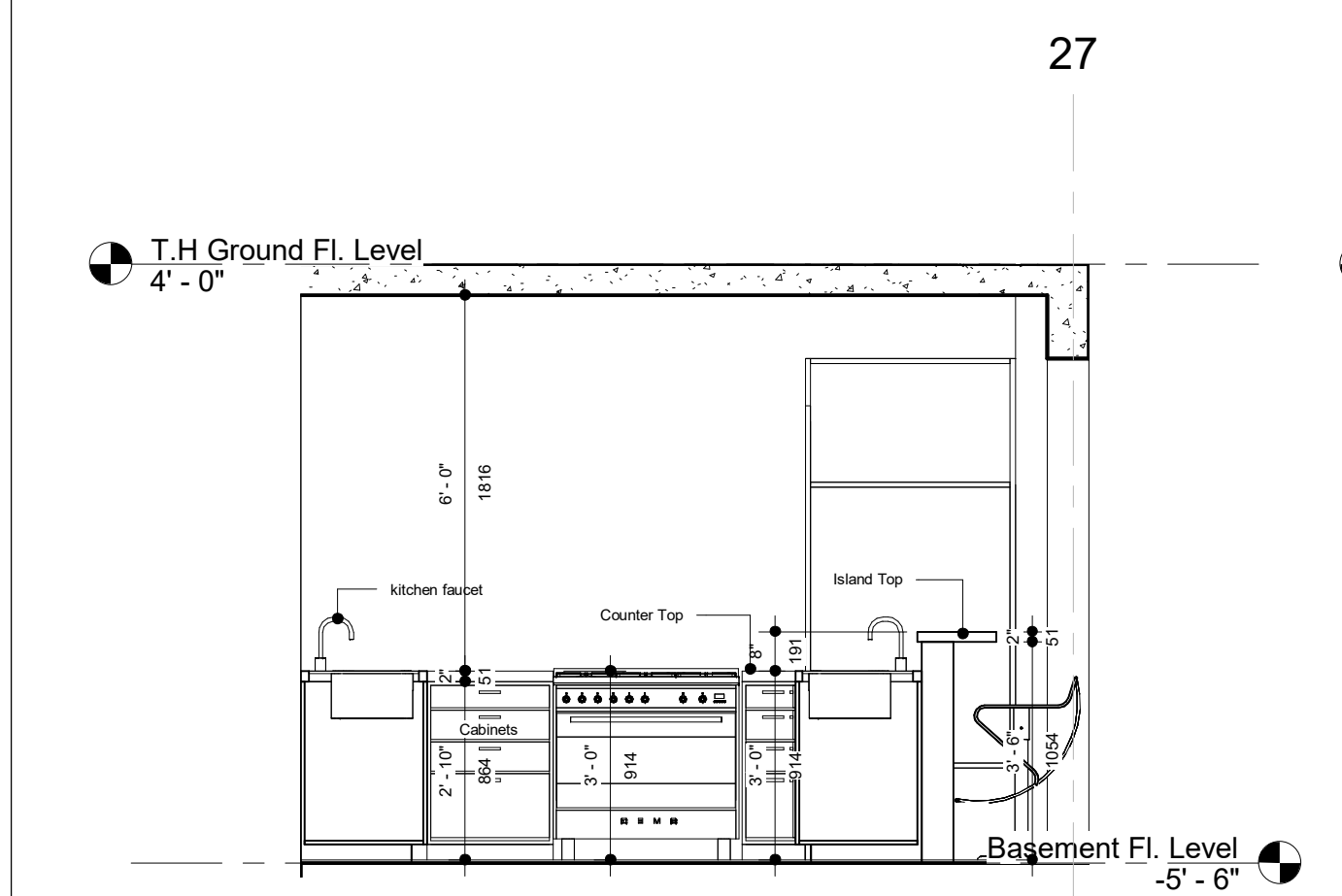
2 Proposed Plumbing Fixtures Layout Apt. Kitchen First Floor Plan
1:25



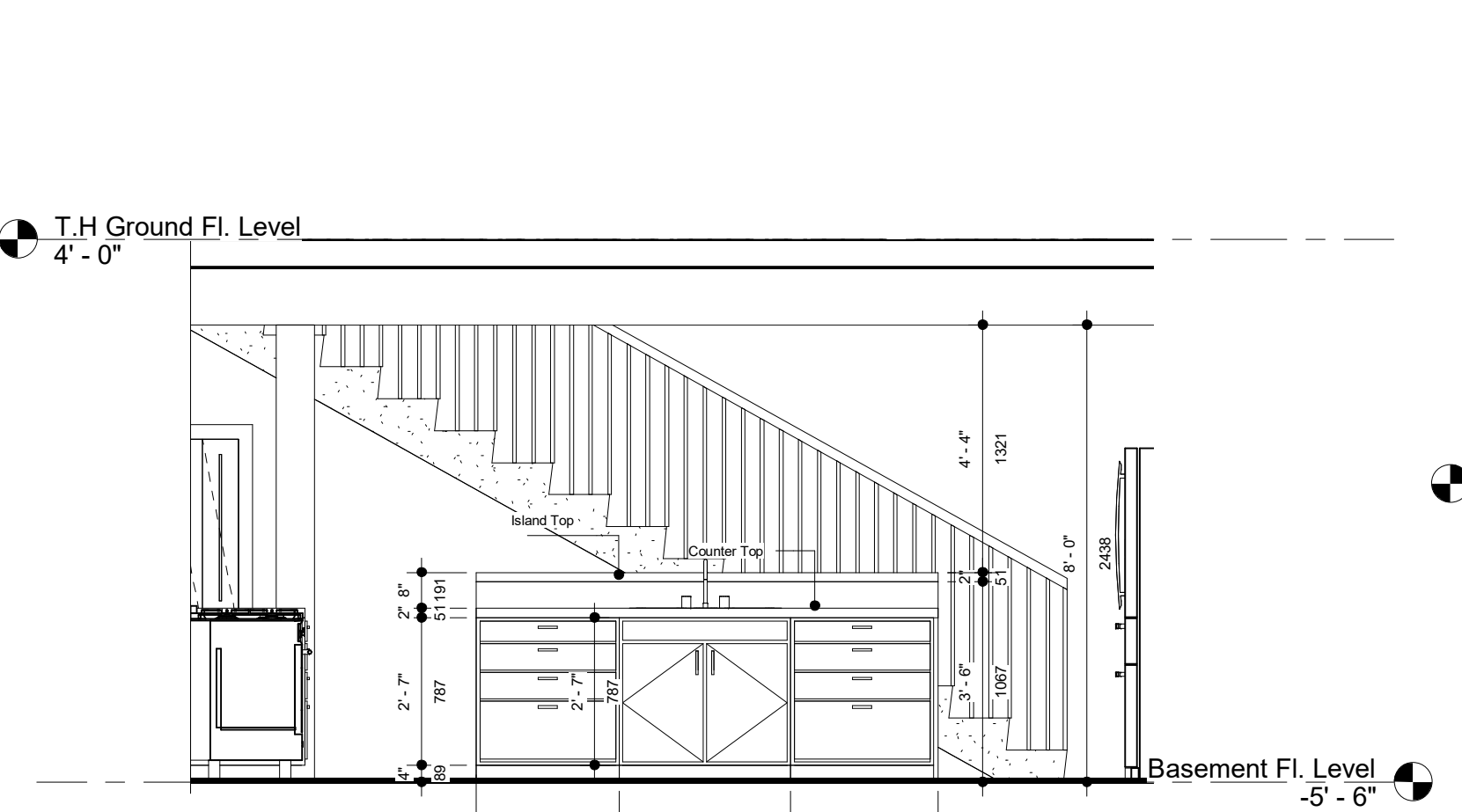
8 Proposed Plumbing Fixtures Layout Apt. Ground Floor Kitchen
1:25



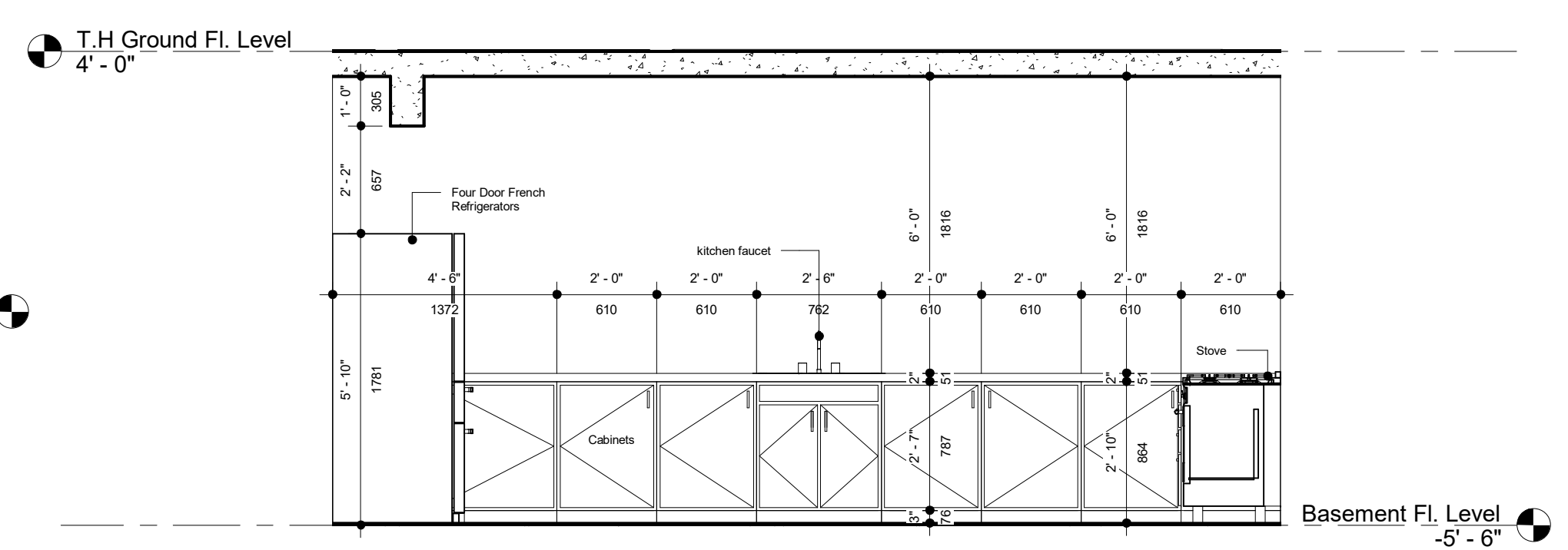
7 Proposed Apartment Kitchen V1
1:25



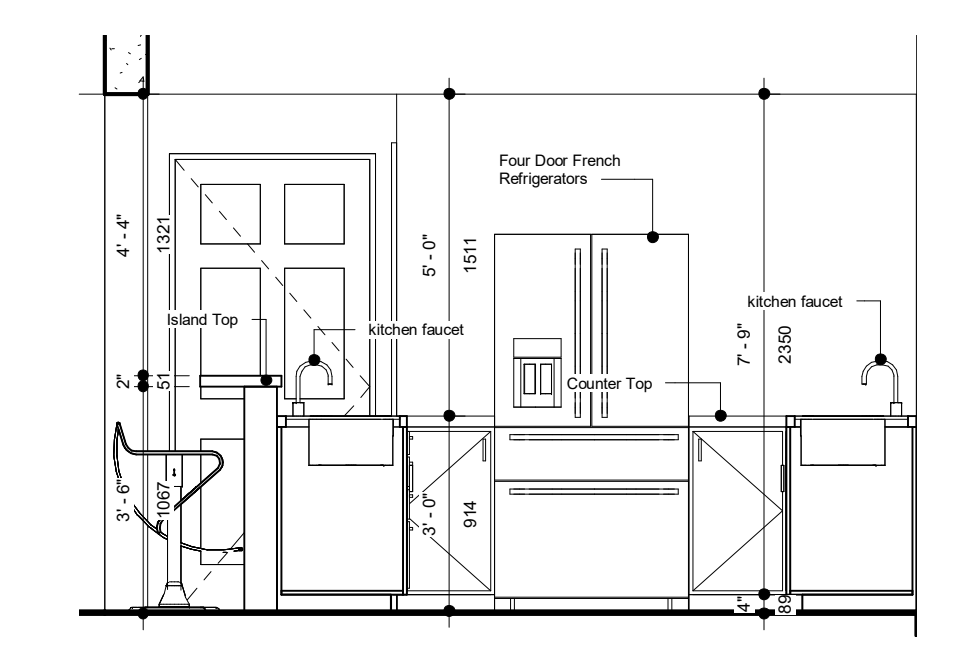
3 Proposed Townhouse Kitchen V1
3/8" = 1'-0"



4 Proposed Townhouse Kitchen V2
3/8" = 1'-0"



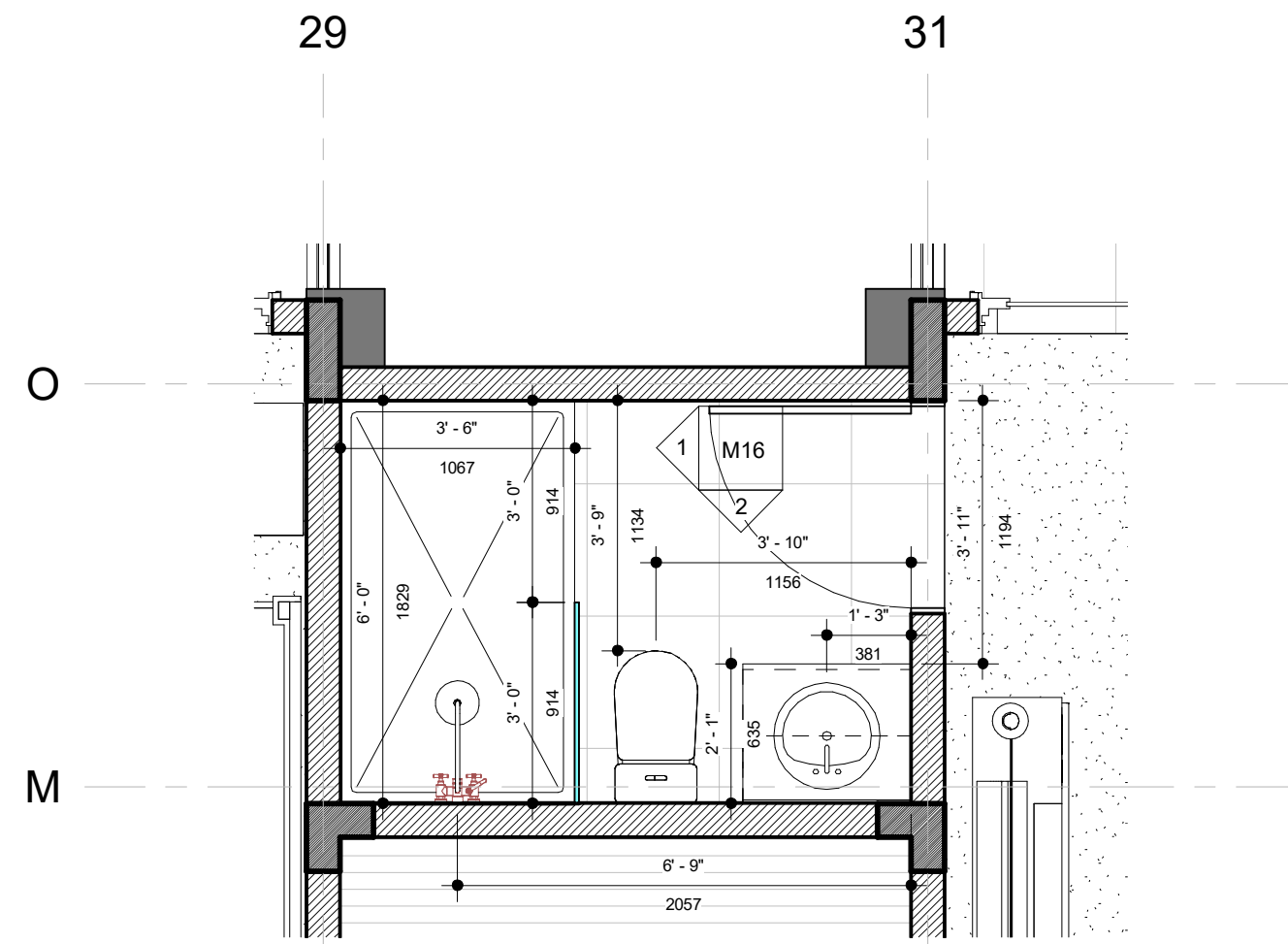
5 Proposed Townhouse Kitchen V3
3/8" = 1'-0"



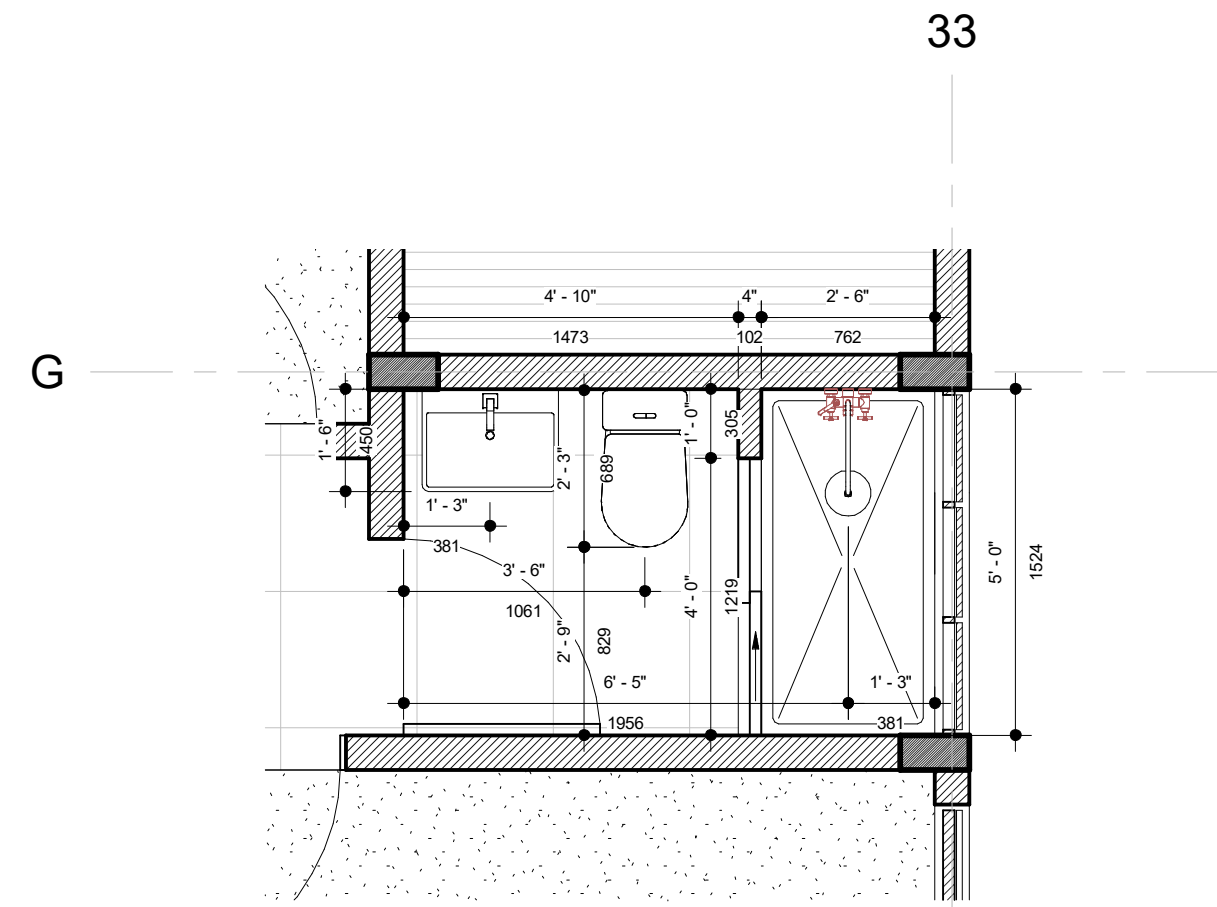
6 Proposed Townhouse Kitchen V4
3/8" = 1'-0"

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							Proposed Erection of a Townhouse & Apartment @ Lot 357 Ironshore	Plumbing Fixtures Layout & Elevations	McKoy Development	Kaydrian Kerr	K.D.S	November 24, 2022	As indicated	00000

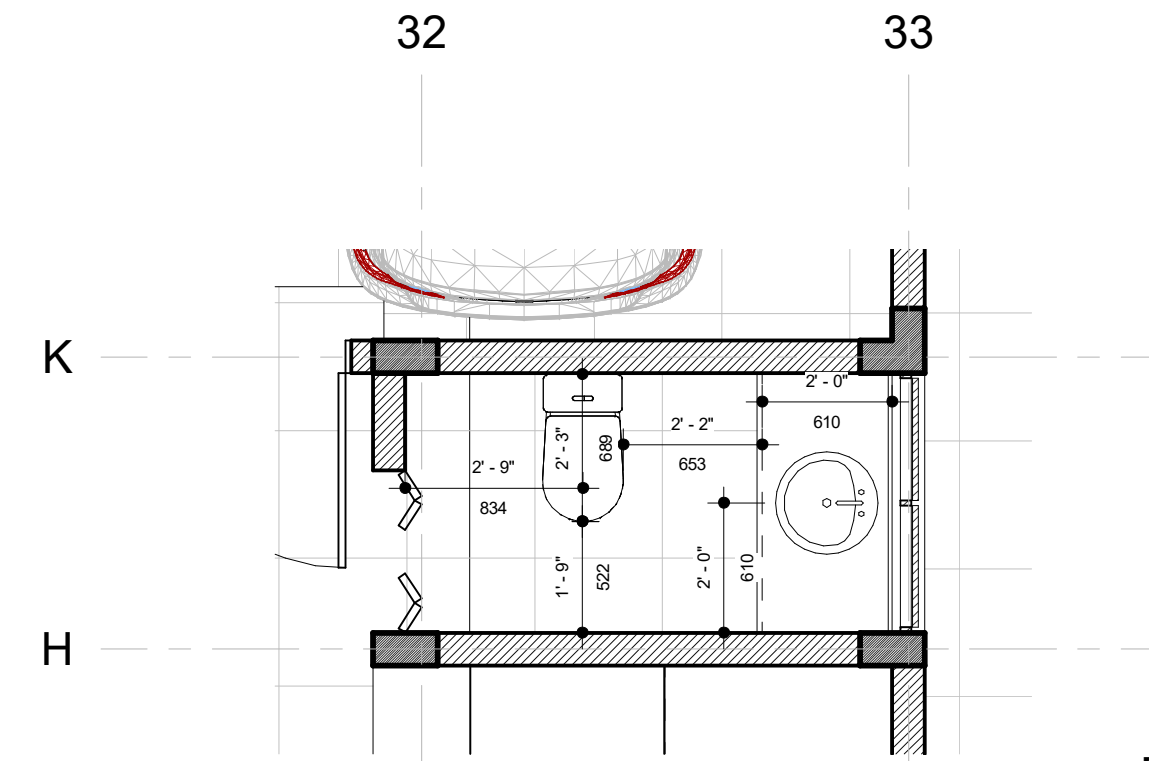
M14



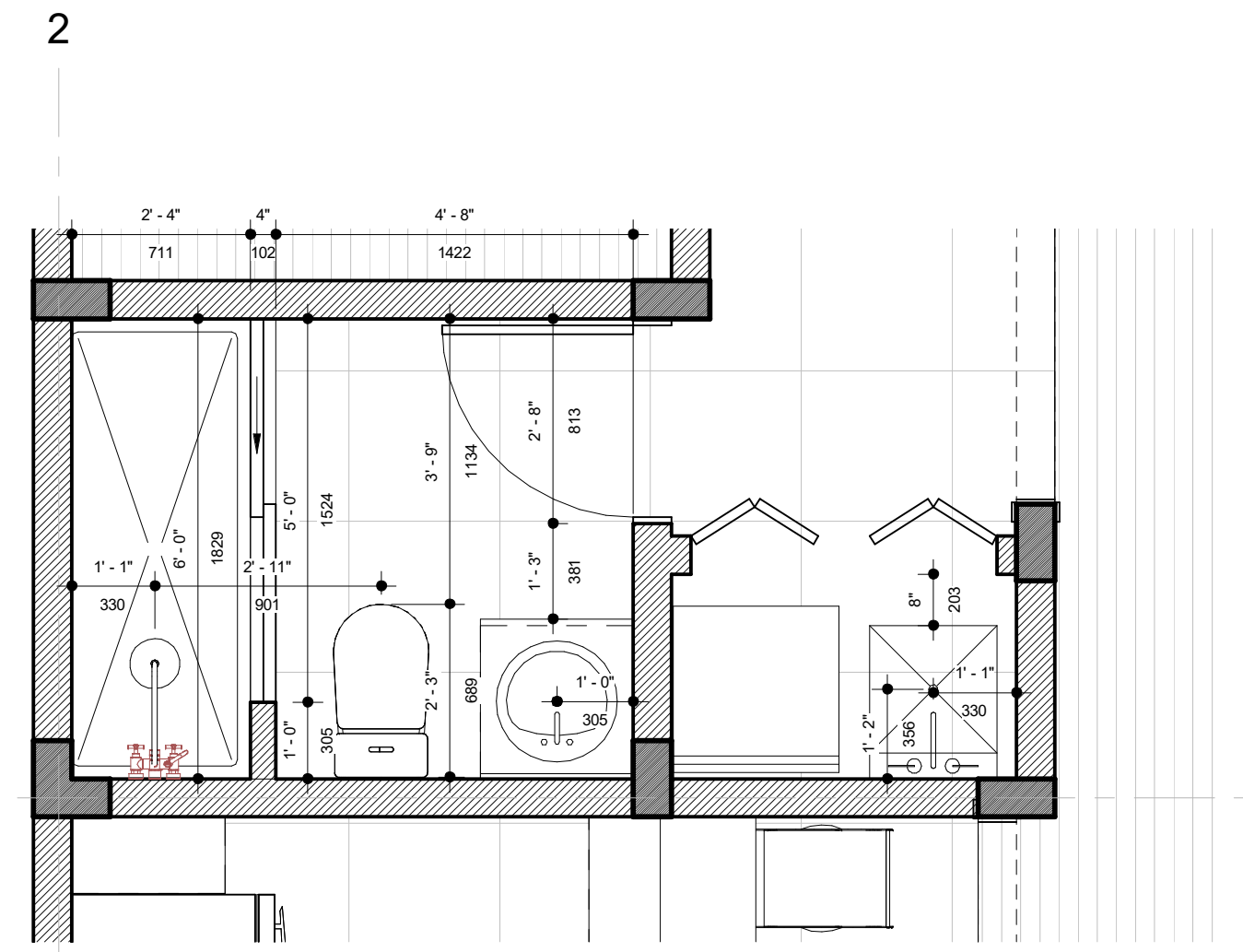
Proposed
1 Plumbing Fixtures Layout Townhouse Bathroom
 1 : 30



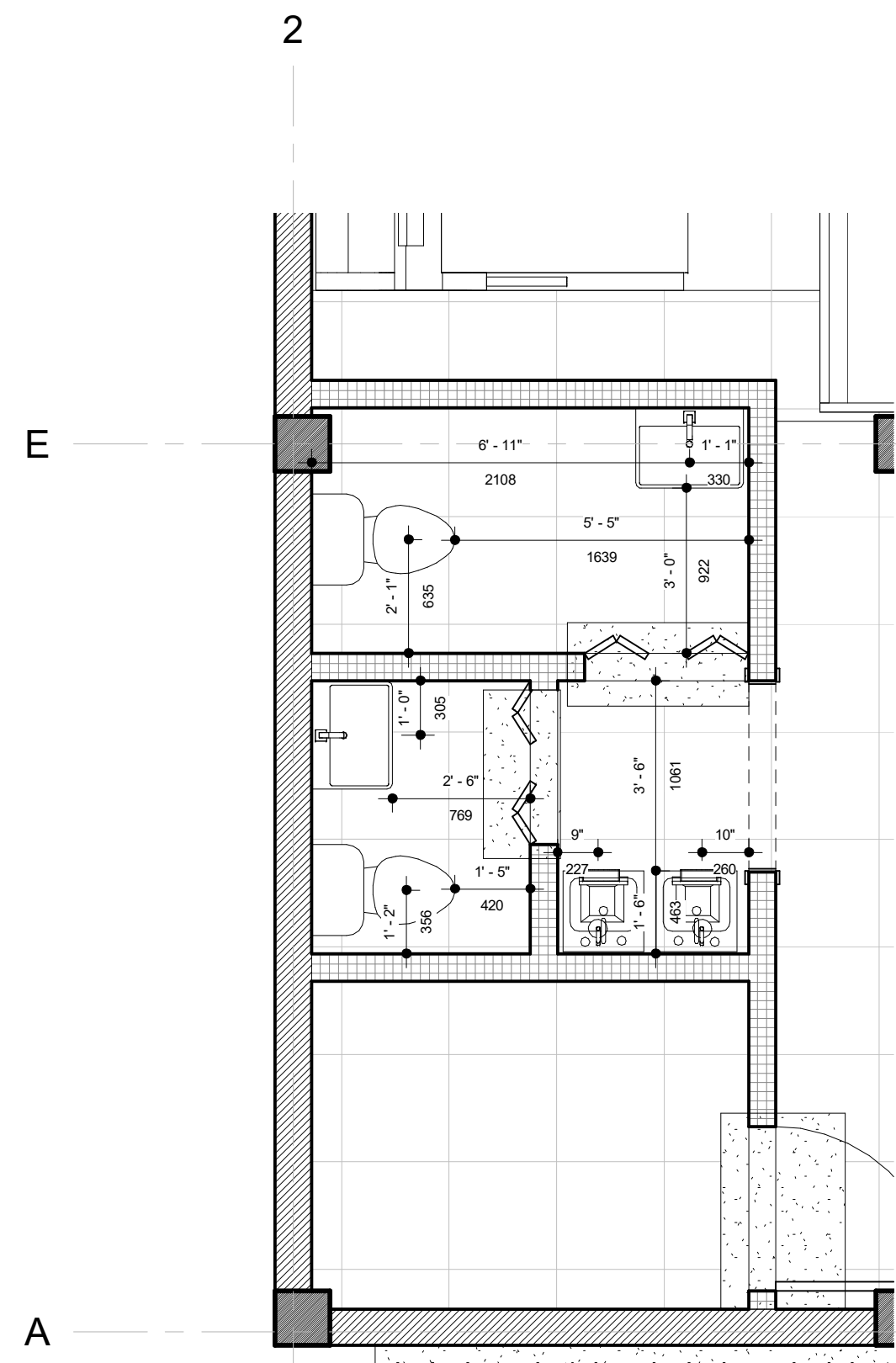
Proposed
2 Plumbing Fixtures Townhouse Share Bath.
 1 : 30



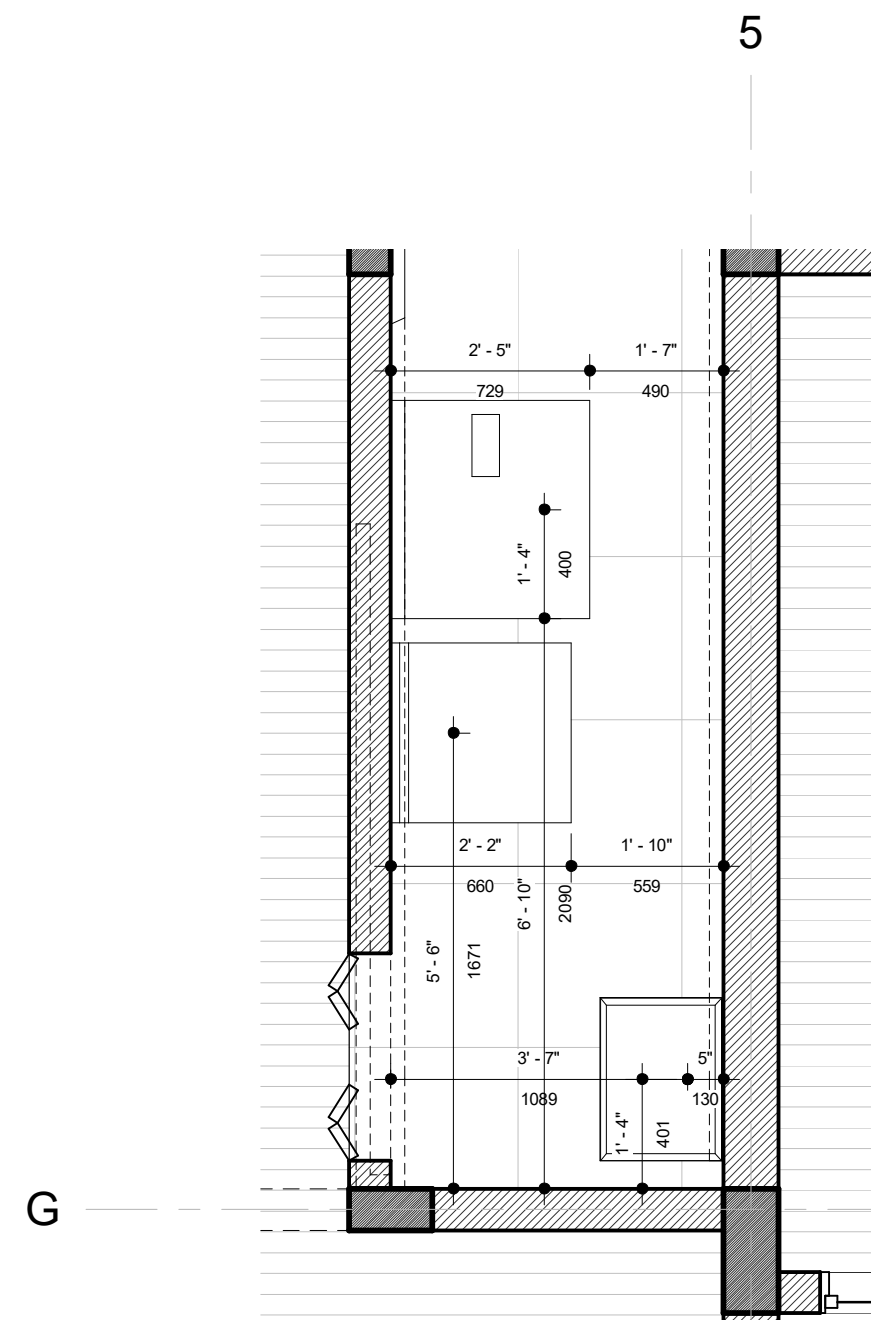
Proposed
3 Plumbing Fixtures Layout Half Bath
 3/8" = 1'-0"



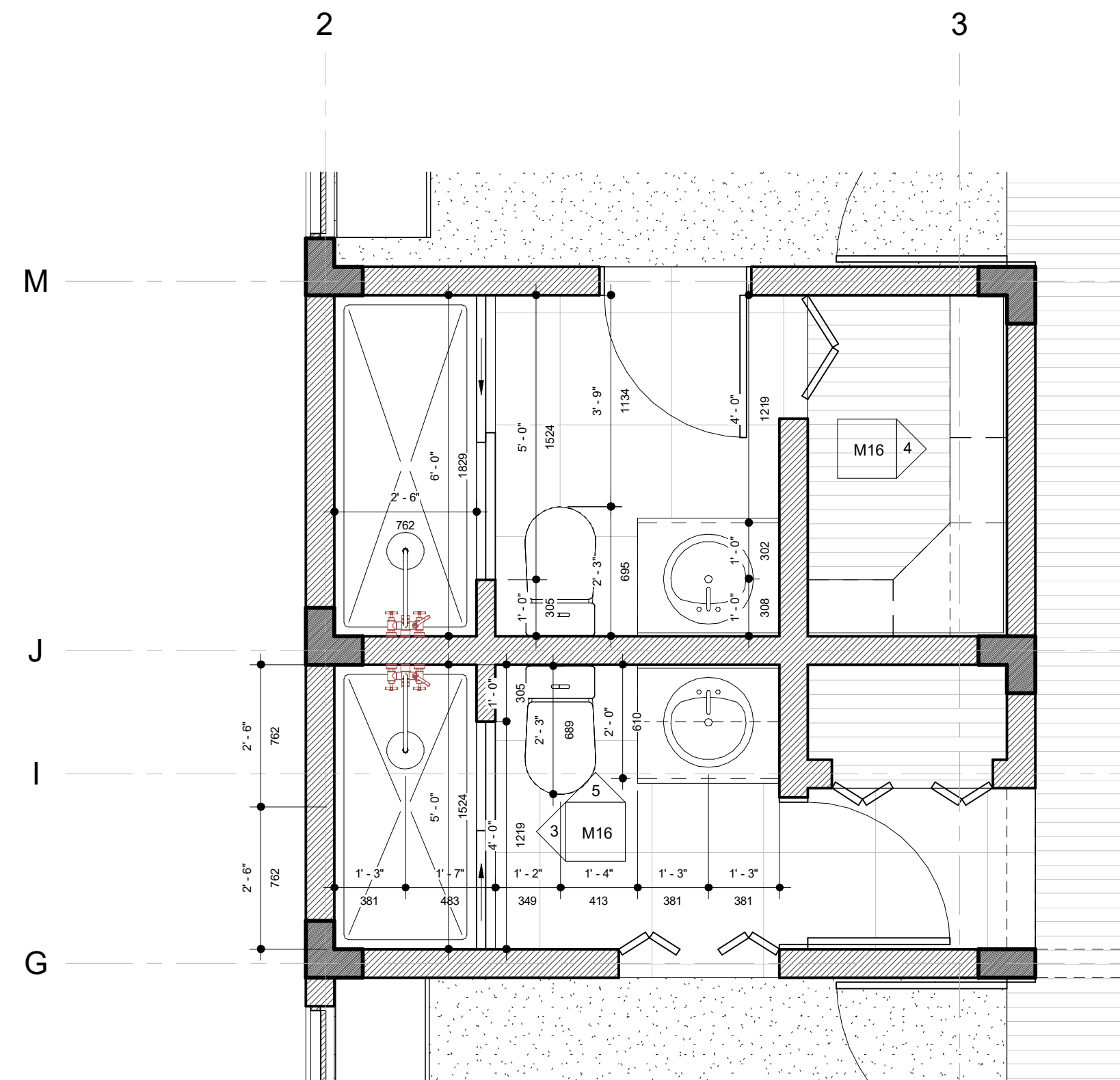
Proposed
7 Plumbing Fixtures Layout Apt. First Floor Share Bath. & Laundry
 1 : 25



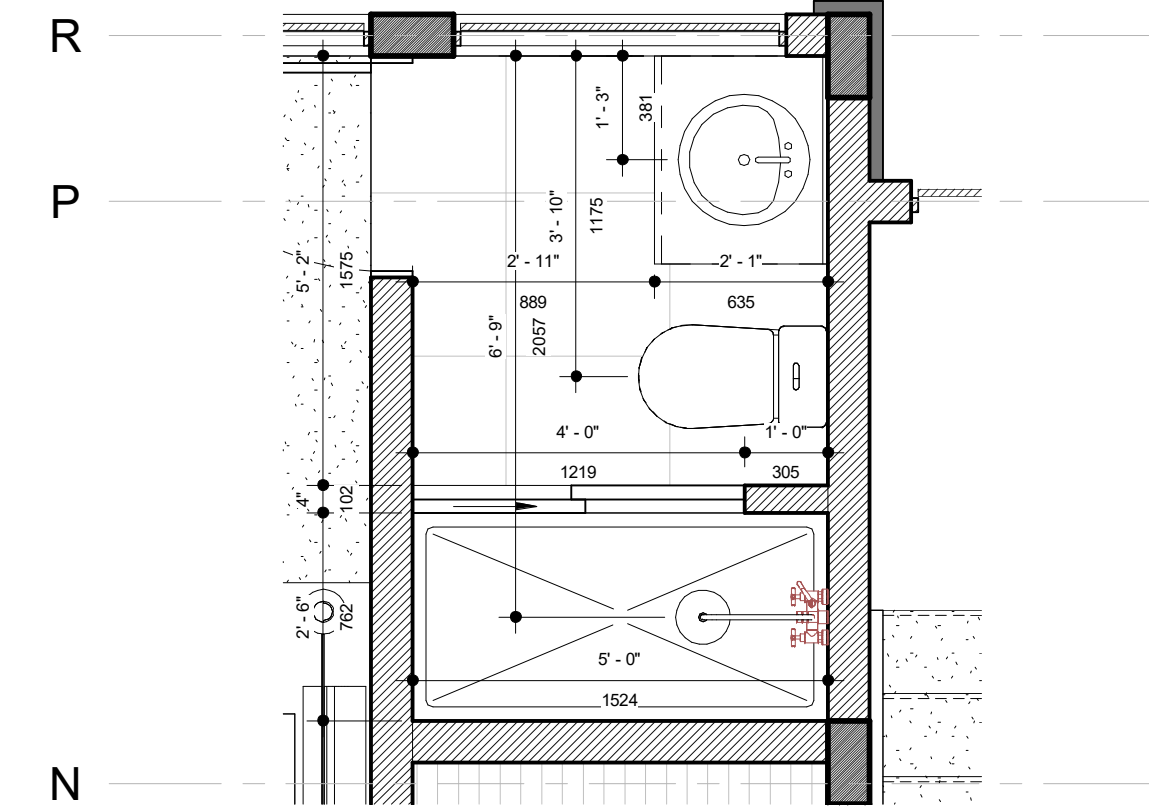
Proposed
4 Plumbing Fixtures Layout Gym
 3/8" = 1'-0"



Proposed
5 Plumbing Fixtures Layout Ground Laundry
 1 : 25



Proposed
6 Plumbing Fixtures layout Apt. Ground Floor Plan
 1 : 25



Proposed
8 Plumbing Fixtures Layout Apt. First Floor
 1 : 25



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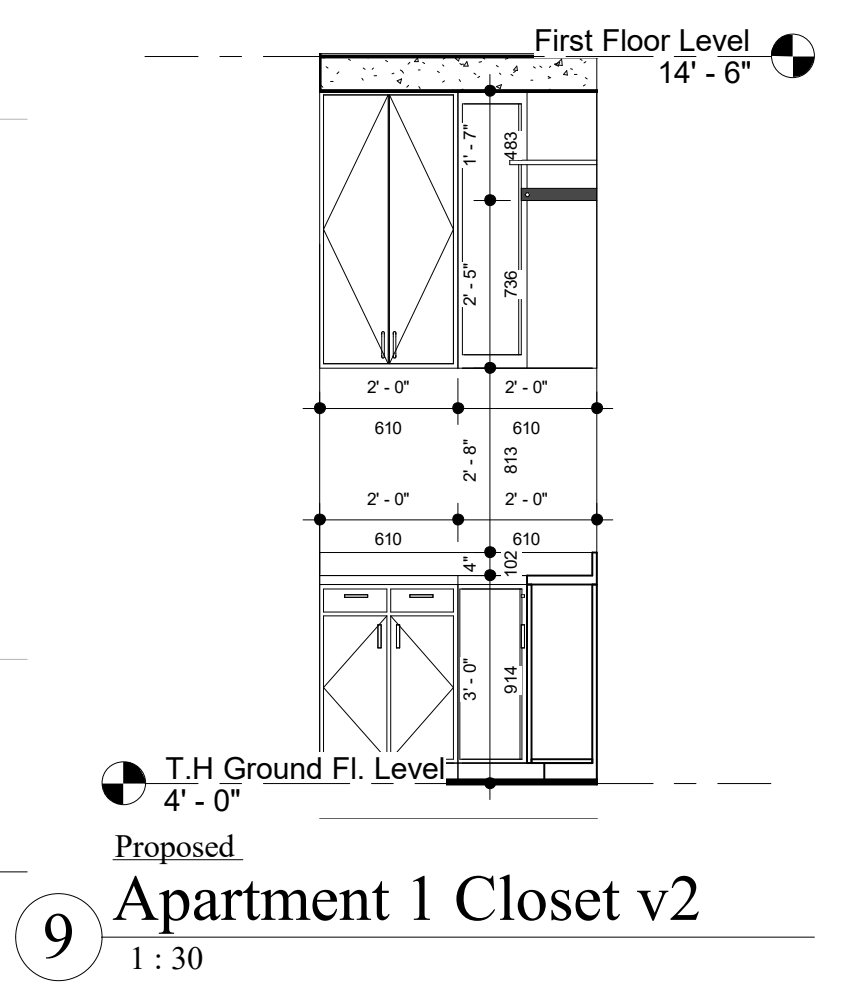
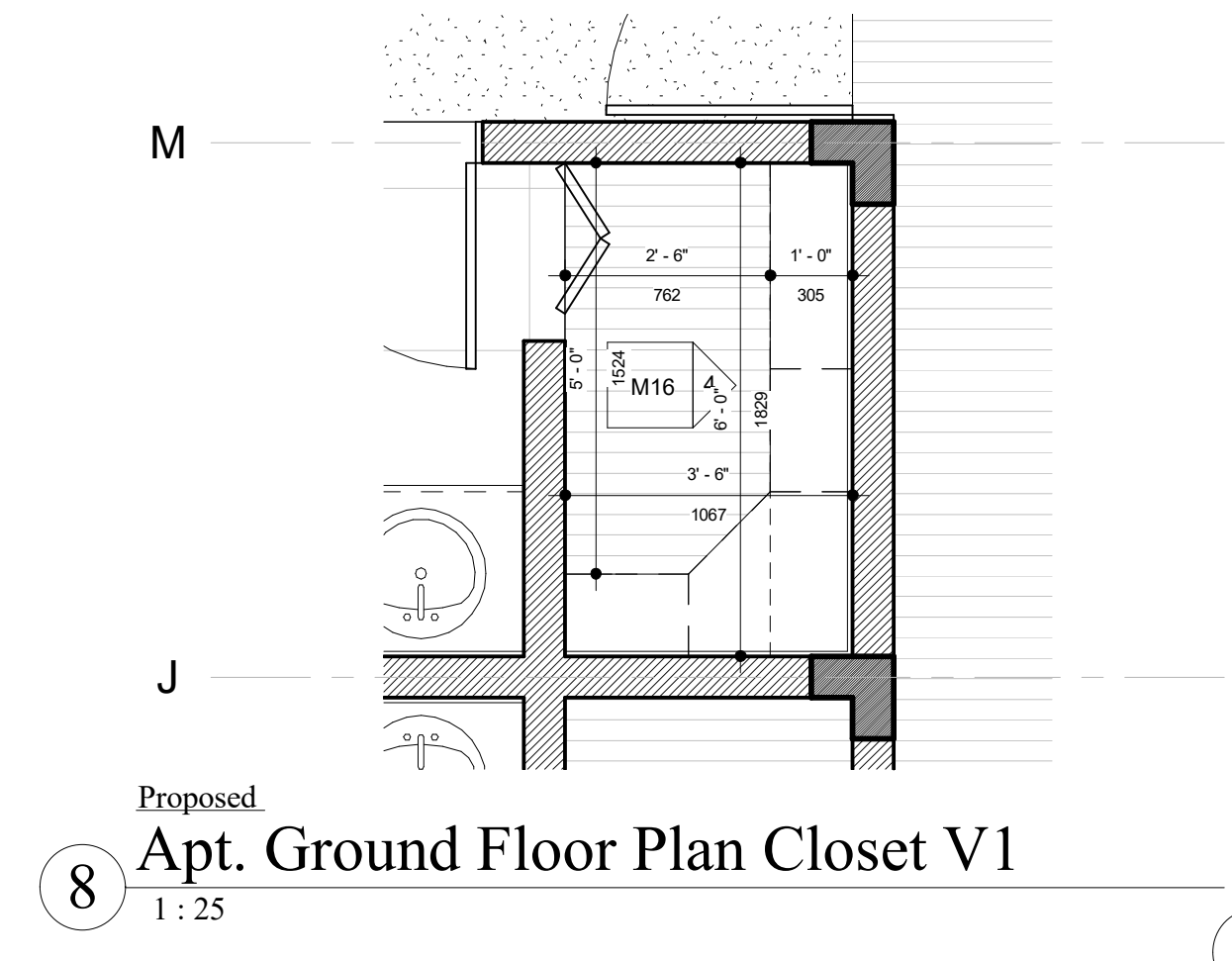
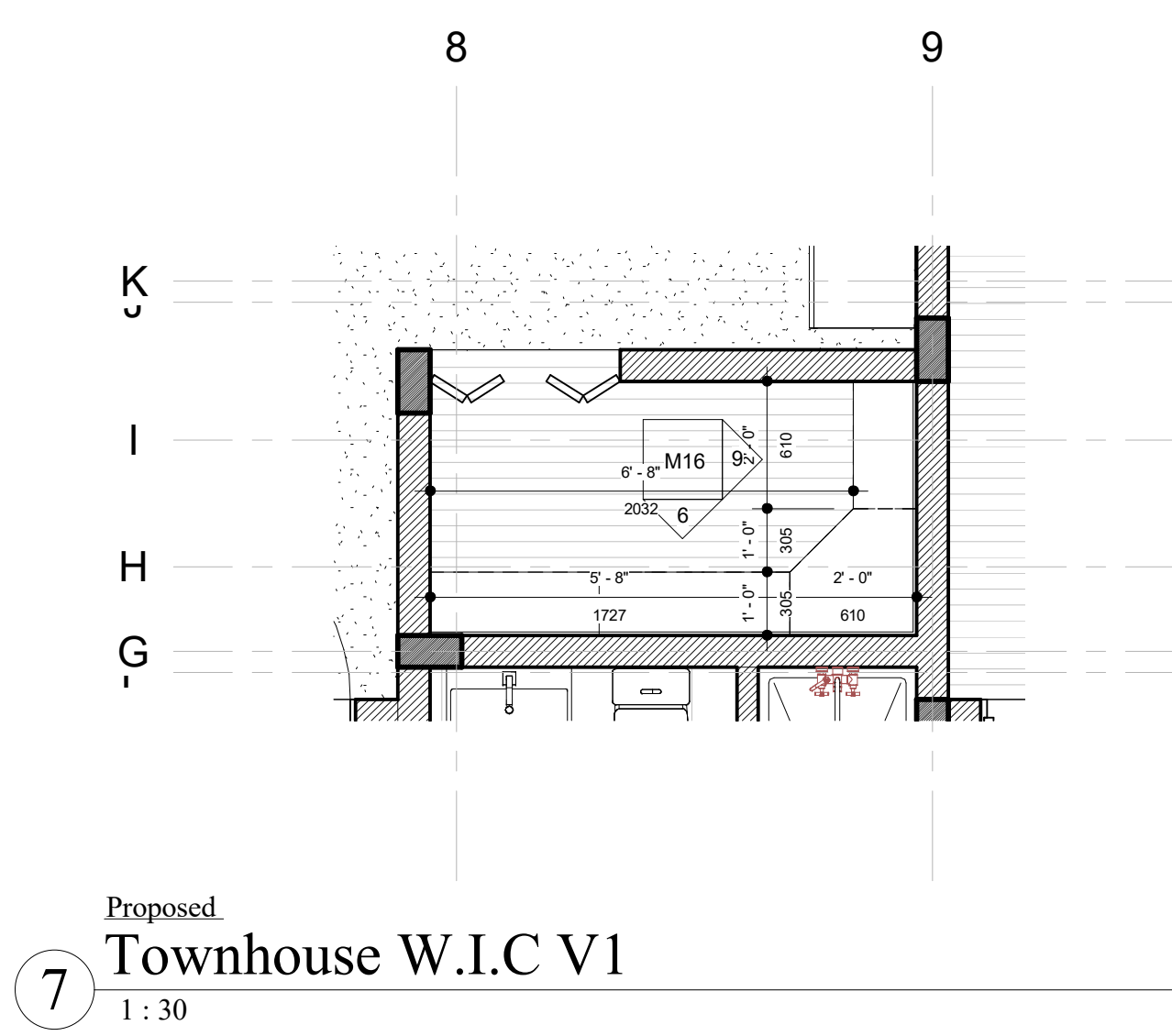
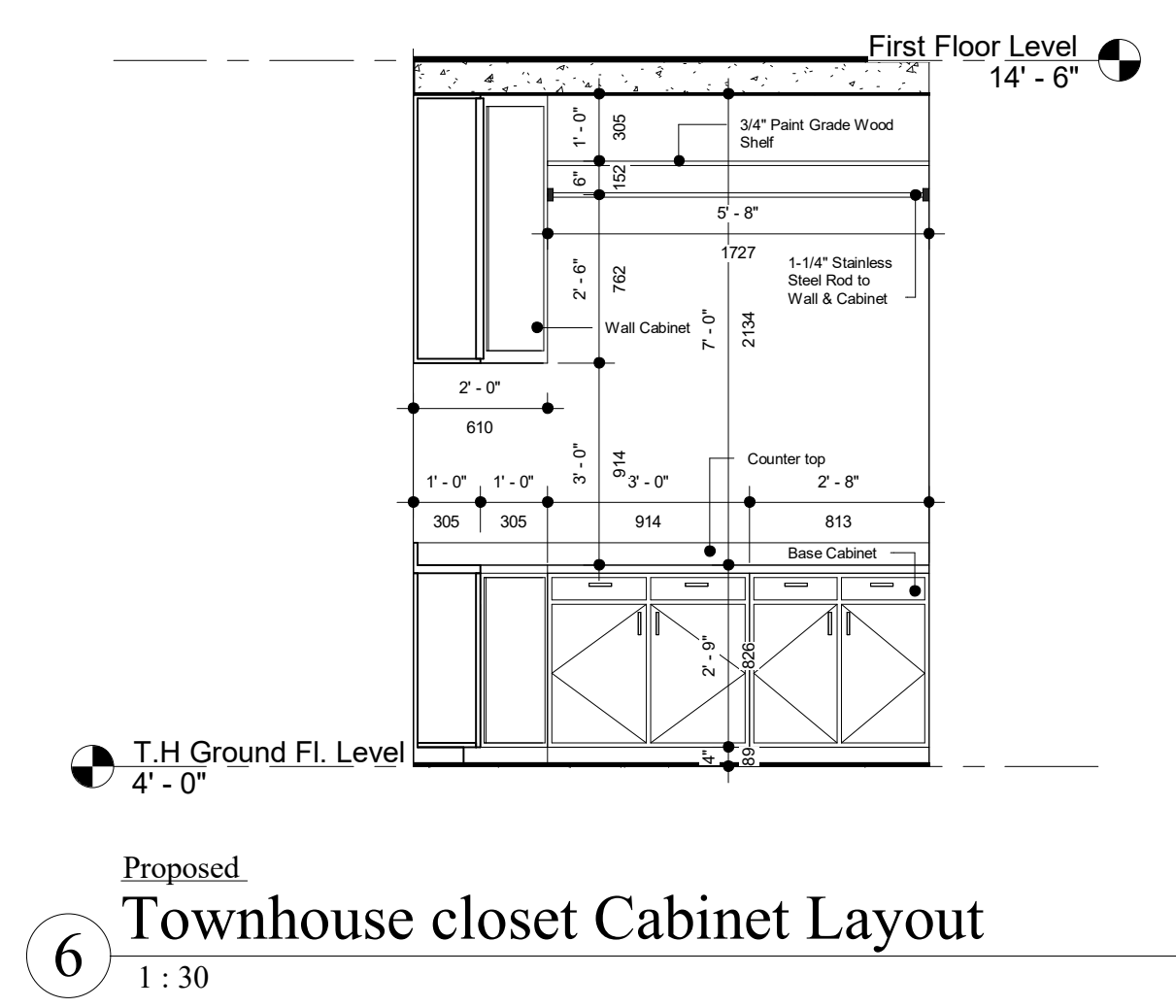
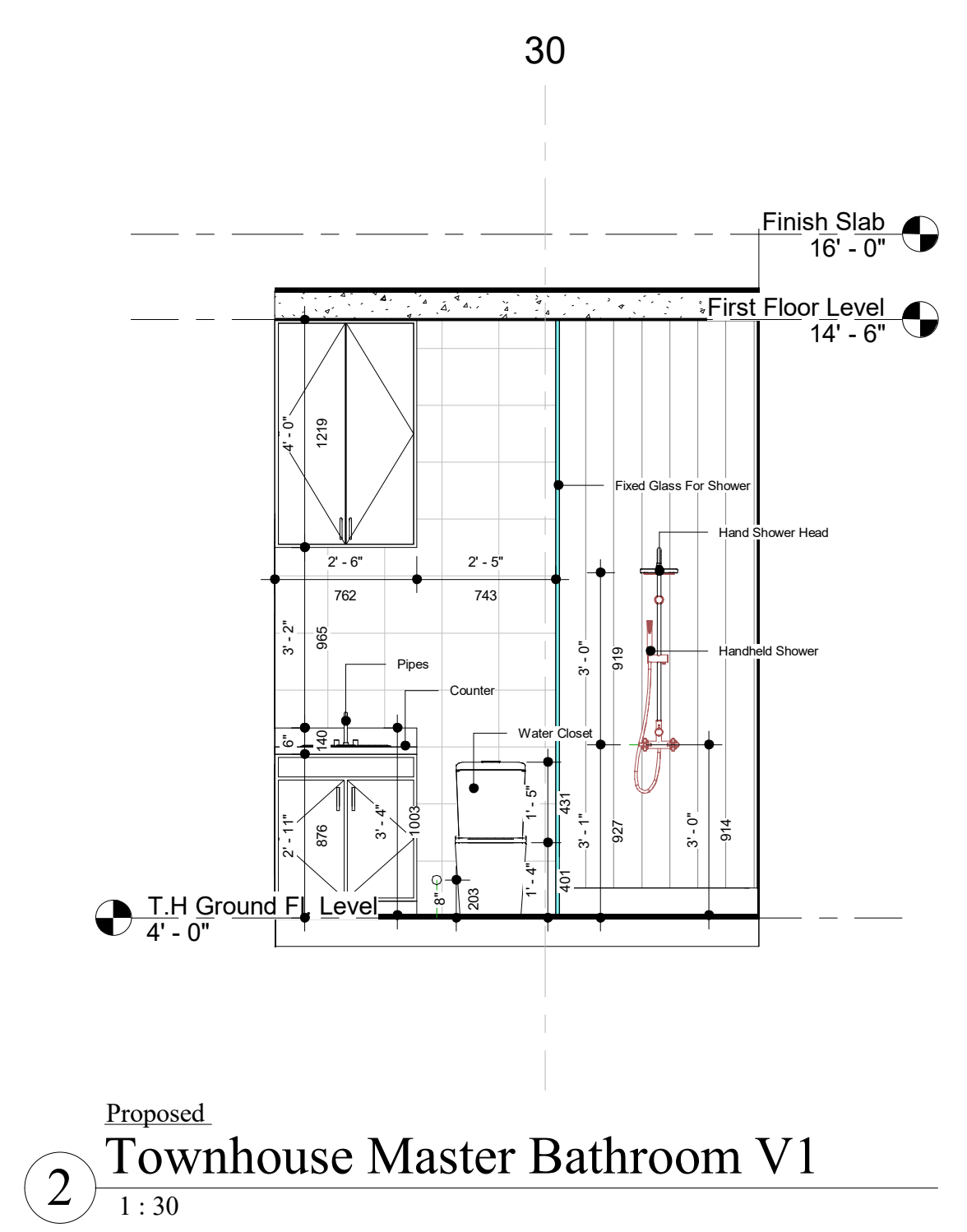
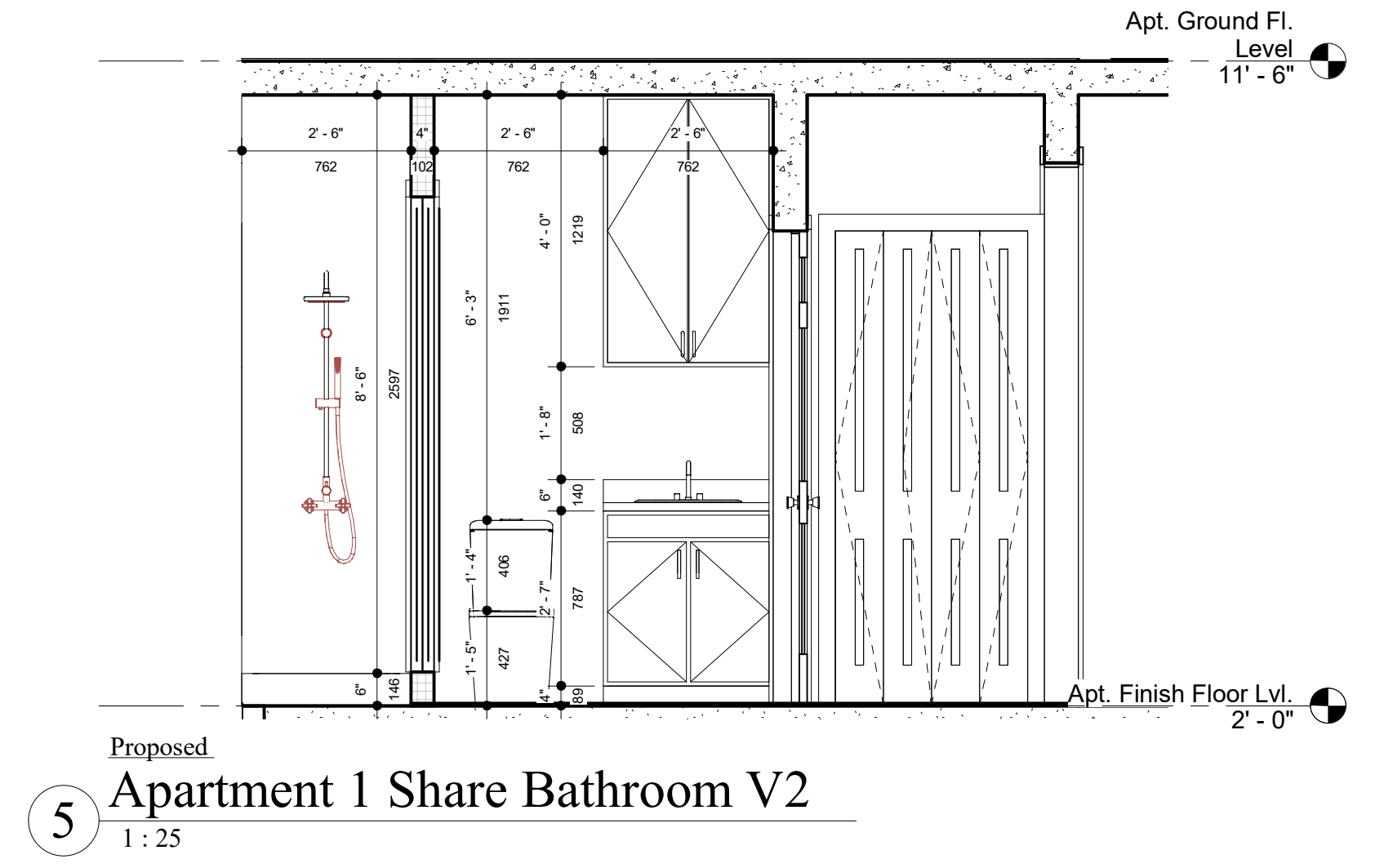
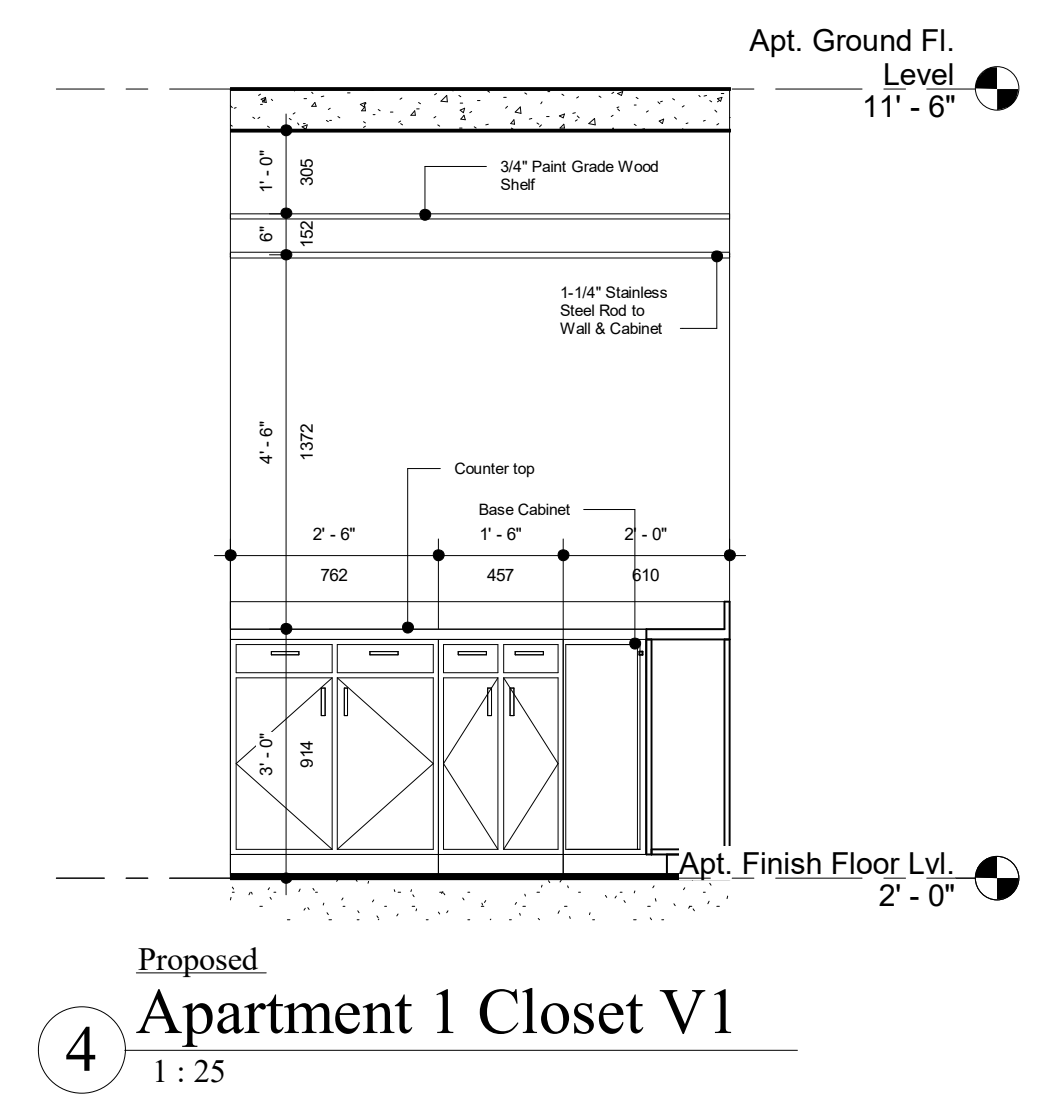
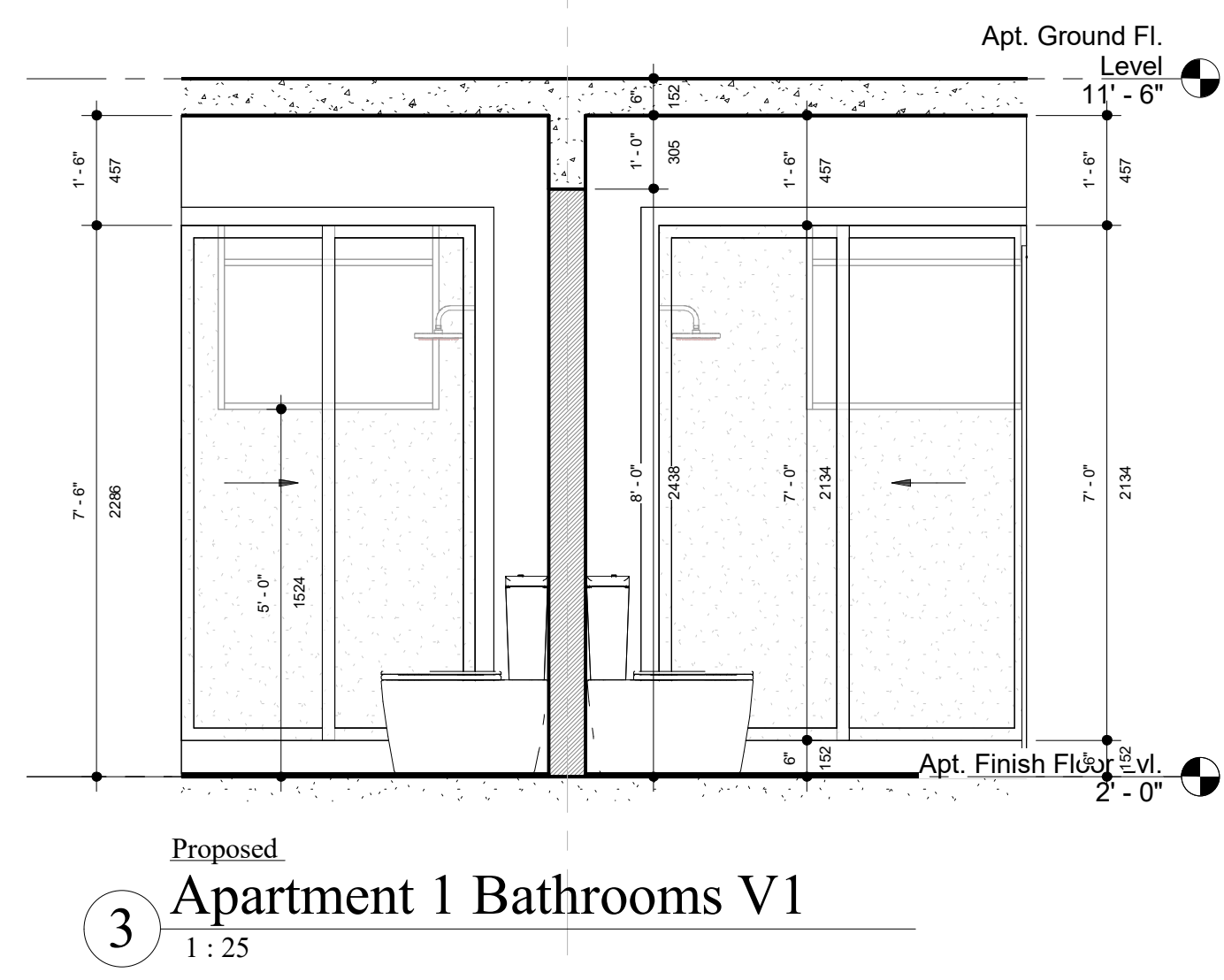
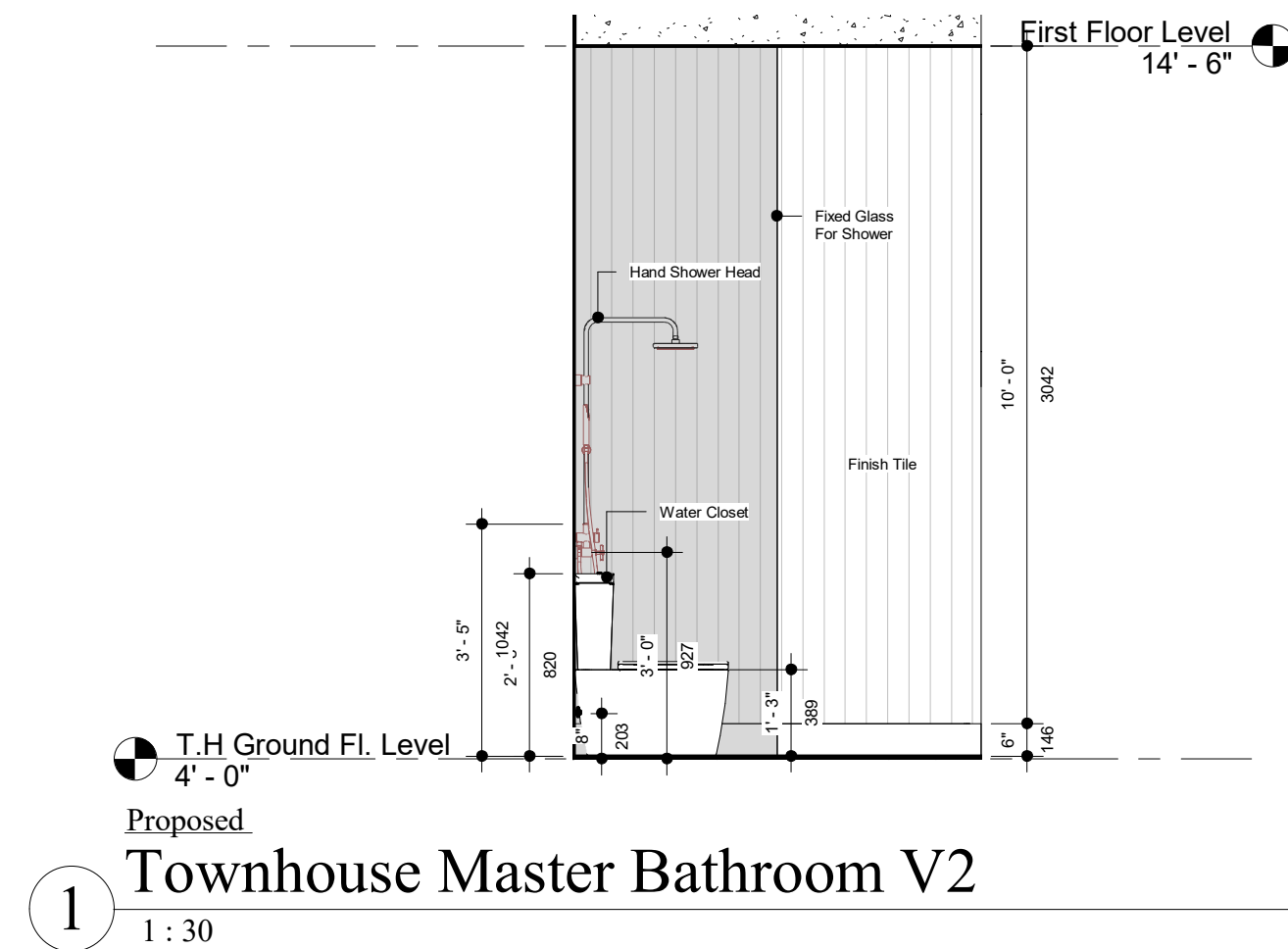
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			Proposed Erection of a Townhouse & Apartment @ Lot 357 Ironshore	Plumbing Fixtures Layout	McKoy Development	Kaydrian Kerr	K.D.S	November 24, 2022	As indicated	00000

Sheet No.:

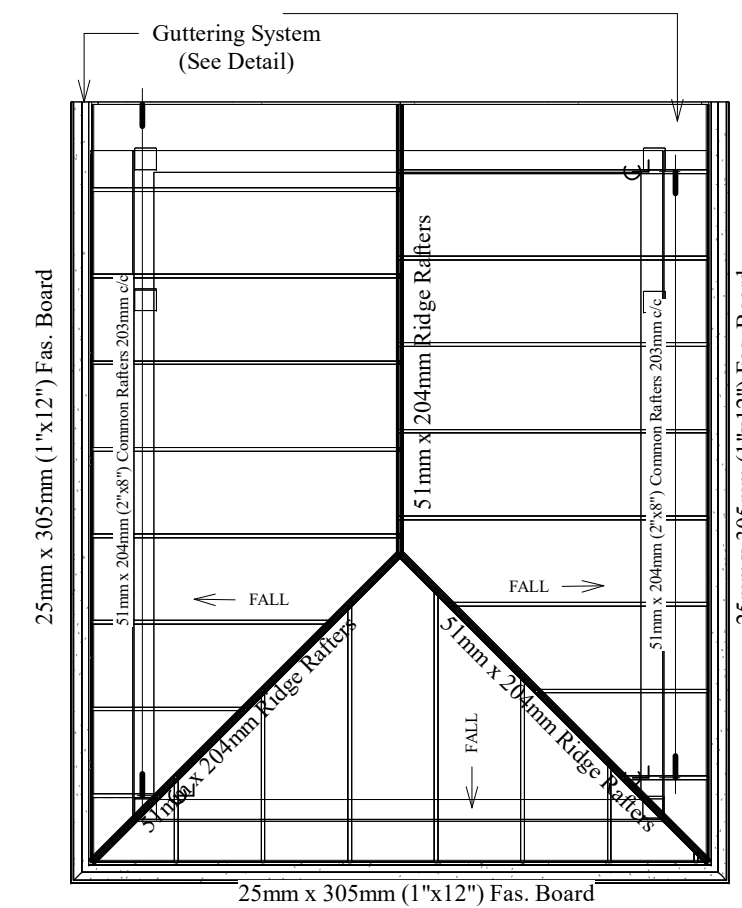
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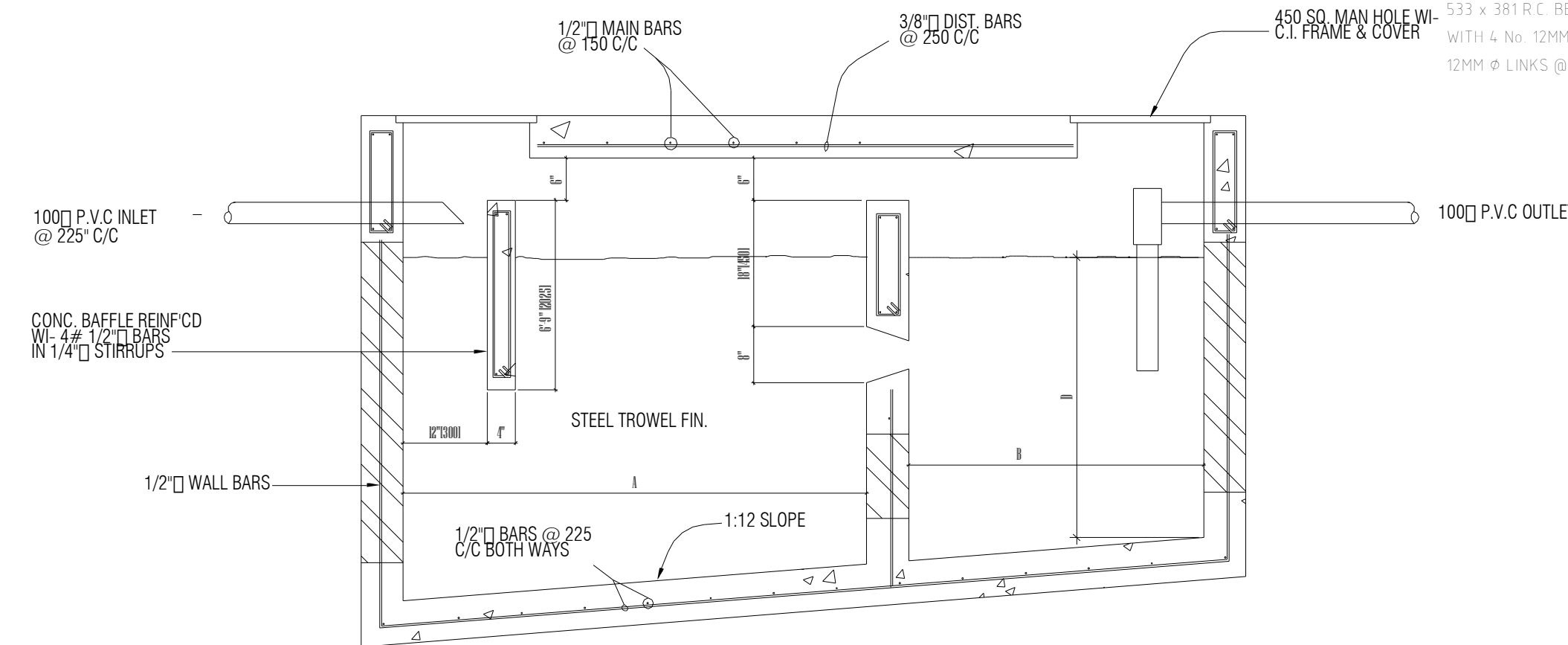
<p>KASH'S DRAFTING SERVICES Montego Bay P.O. # 1, St. James kashdraftingservice@gmail.com 876.861.8143/ 876.345.4263</p>	FIRE APPROVED STAMP:	ENGINEER STAMP:	M.C. APPROVED STAMP:	Job No.:	Drawing No.:	Revision:	Project Title:	Sheet Title:	Client:	Drawn:	Check:	Date:	Scale:	Job No.:
							<p>Proposed Erection of a Townhouse & Apartment @ Lot 357 Ironshore</p>	<p>Plumbing Fixtures Elevations</p>	<p>McKoy Development</p>	<p>Kaydrian Kerr</p>	<p>K.D.S</p>	<p>November 24, 2022</p>	<p>As indicated</p>	<p>00000</p>

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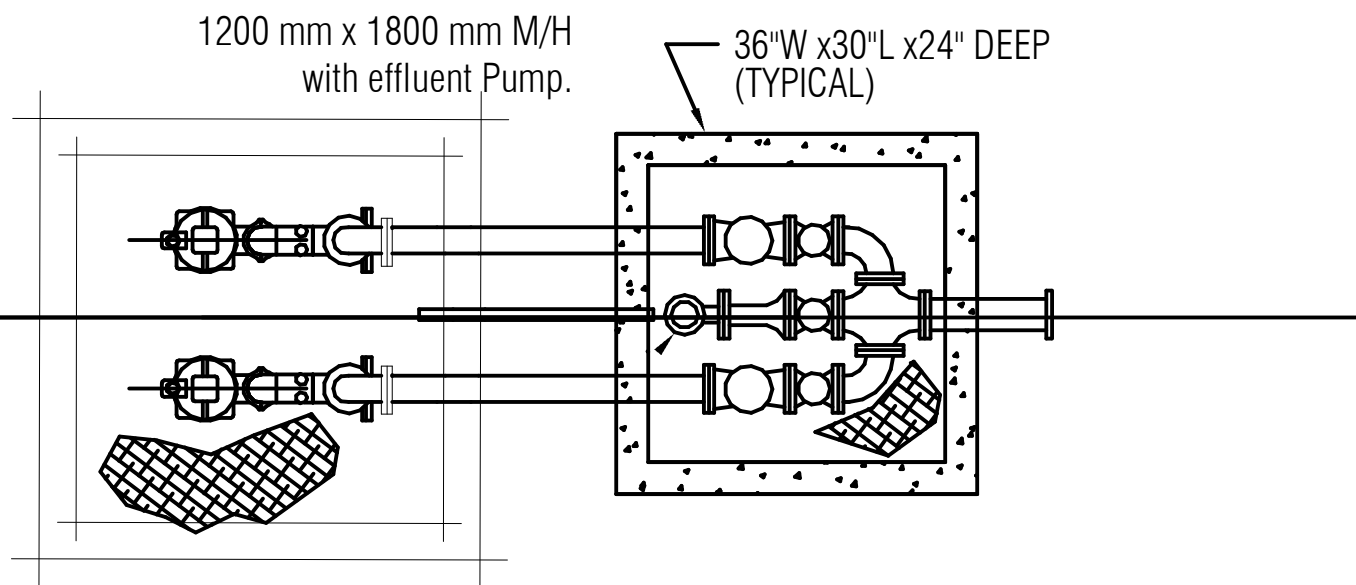
Metal Standing Seam Roofing on 30° felt on 51mm x 51mm wpp laths on 25mm x 152mm (1"X 6") wpp T&G sarking board secured to 51mm x 152mm (2"X 6") wpp rafters at 610mm (24") o/c, and wall plate Ex. 51mm x 152mm (2"X 6") wpl. pine finished with high gloss interior quality emulsion.



1 Proposed Gazebo Roof Plan
1/4" = 1'-0"



3 Proposed Septic Tank
1" = 4'-7"

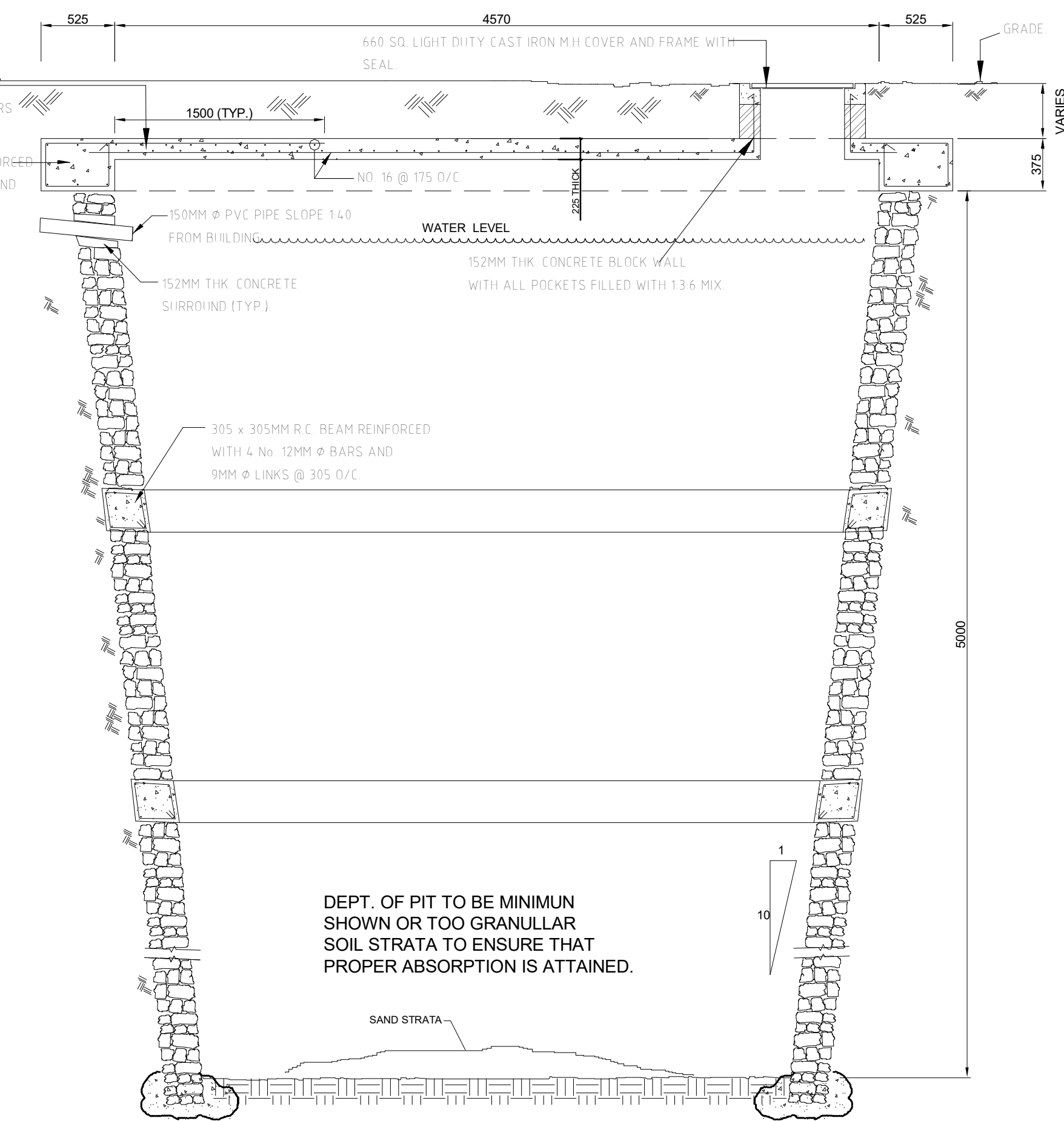


PLAN VIEW LIFT STATION

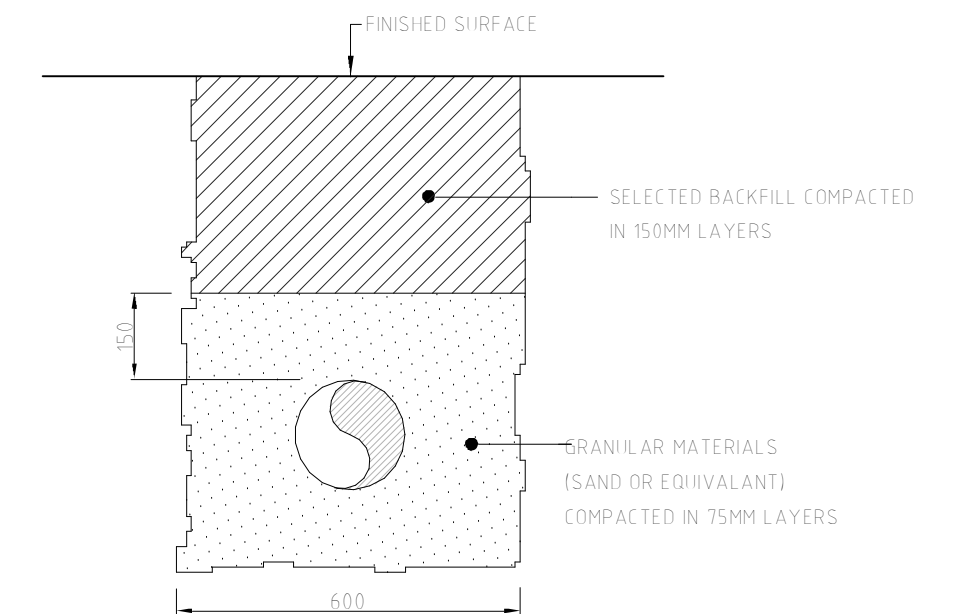
6 Proposed Effluent Pump Detail
1 : 20

MAX. NUMBER OF PEOPLE	NOMINAL LIQUID CAP. (GALS. & L)	RECOMMENDED DIMENSIONS			LIQUID DEPTH "D"
		WIDTH	LENGTH		
			A	B	
7	625[2841]	36"[900]	54"[1350]	33"[825]	54"[1350]
10	875[3977]	36"[900]	66"[1650]	42"[1050]	54"[1350]
15	1300[5909]	48"[1200]	6'-6"[1950]	48"[1200]	54"[1350]
30	2625[11933]	60"[1500]	10'[3000]	60"[1500]	66"[1650]
50	4375[19888]	66"[1650]	14'[4200]	7'[2100]	66"[1950]
60	5690[25866]	6'9"[2025]	14'[4200]	7'[2100]	66"[1950]

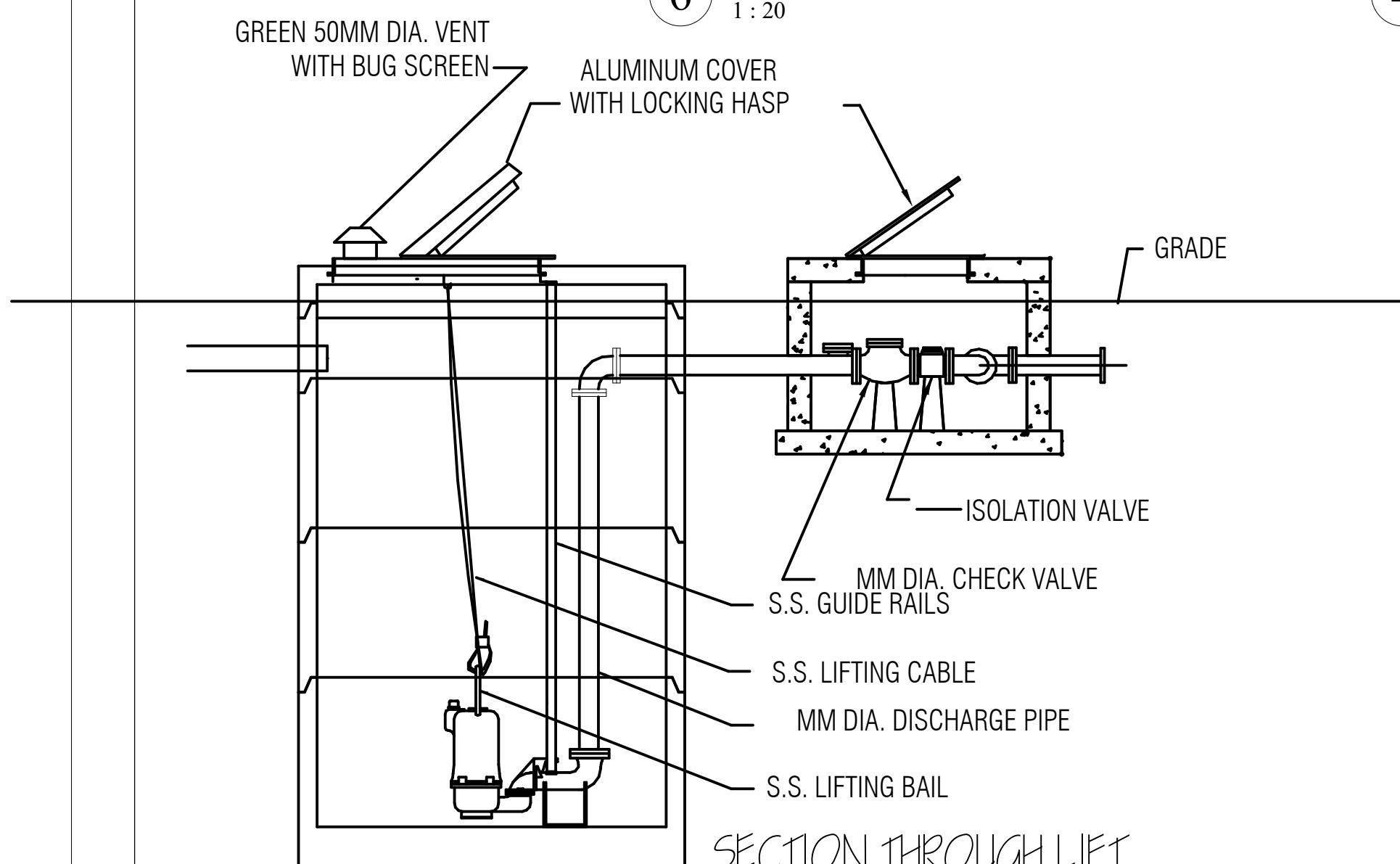
4 Proposed Septic Tank Dimensions
1 : 37



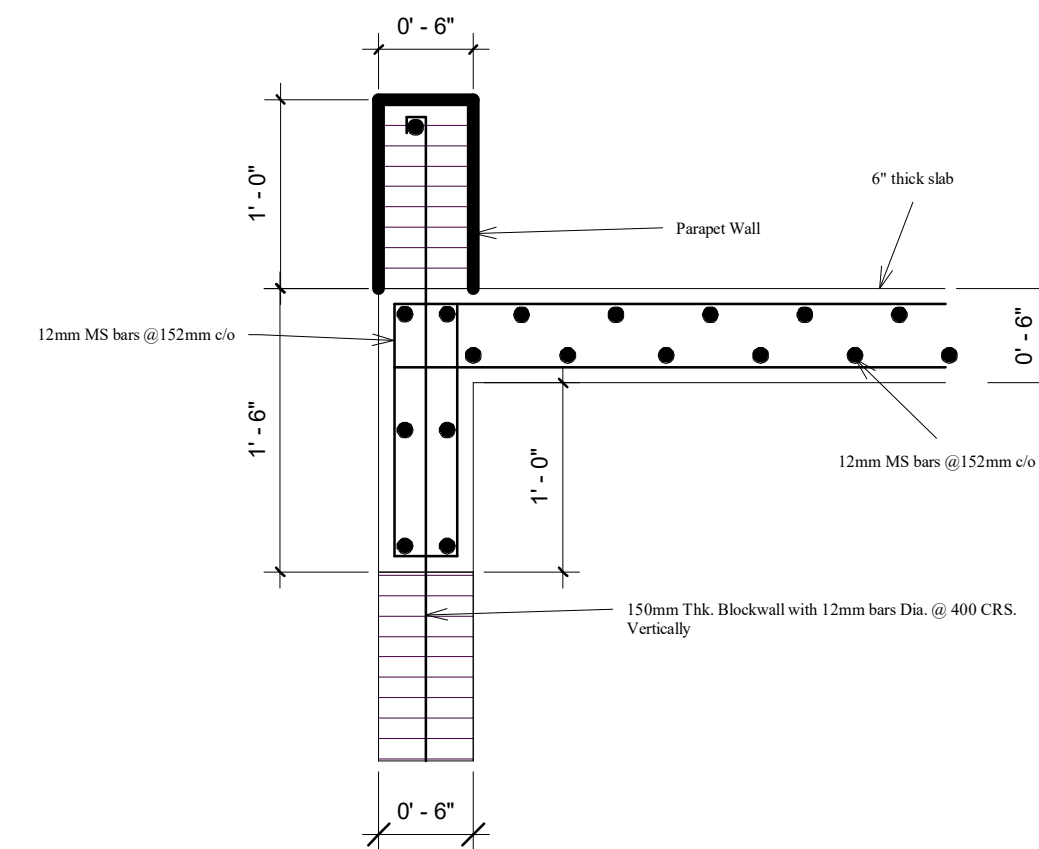
DETAIL OF SOAKAWAY PIT
1:25



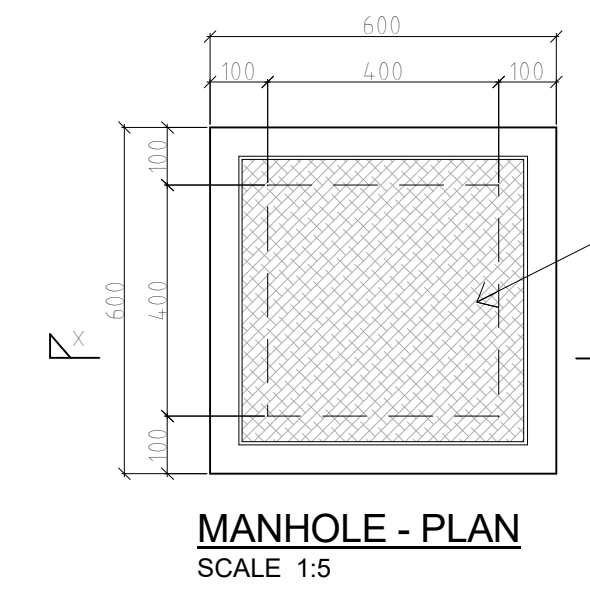
DRAIN PIPE BEDDING DETAIL



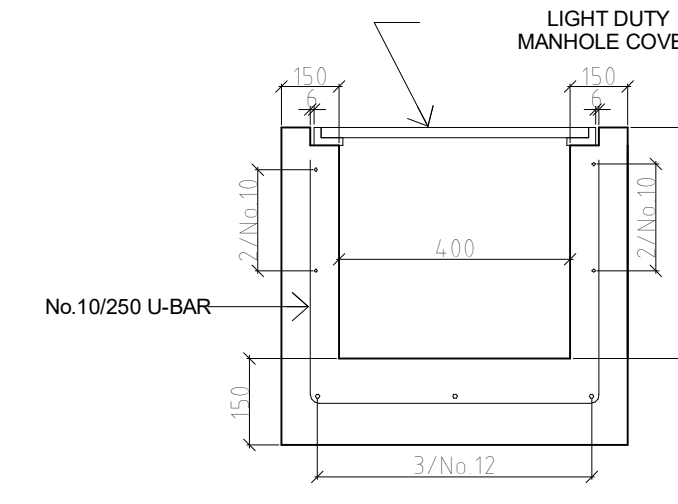
SECTION THROUGH LIFT STATION



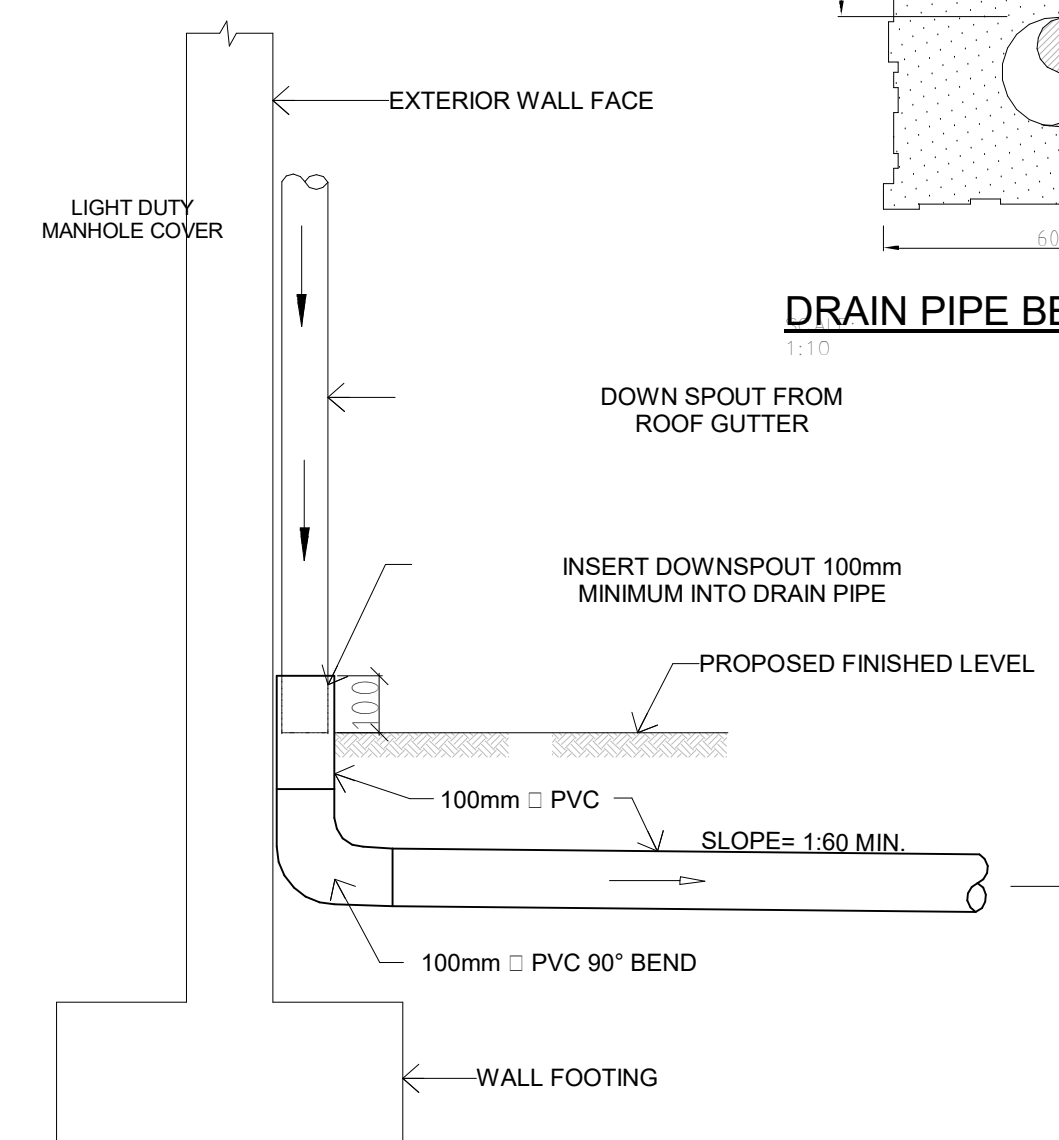
5 Proposed Parapet Wall Detail
1 : 11



MANHOLE - PLAN
SCALE 1:5



SECTION X-X DETAIL
SCALE 1:5



DOWNSPOUT TO COLLECTOR PIPE DETAIL-No.1
SCALE 1:10



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			Proposed Erection of a Townhouse & Apartment @ Lot 357 Ironshore	Roof & Details	McKoy Development	Kaydrian Kerr	K.D.S	November 24, 2022	As indicated	00000

Proposed Erection of a Townhouse & Apartment @ Lot 357 Ironshore

Roof & Details

McKoy Development

Kaydrian Kerr
K.D.S
November 24, 2022
As indicated
00000

Sheet No.: M17

