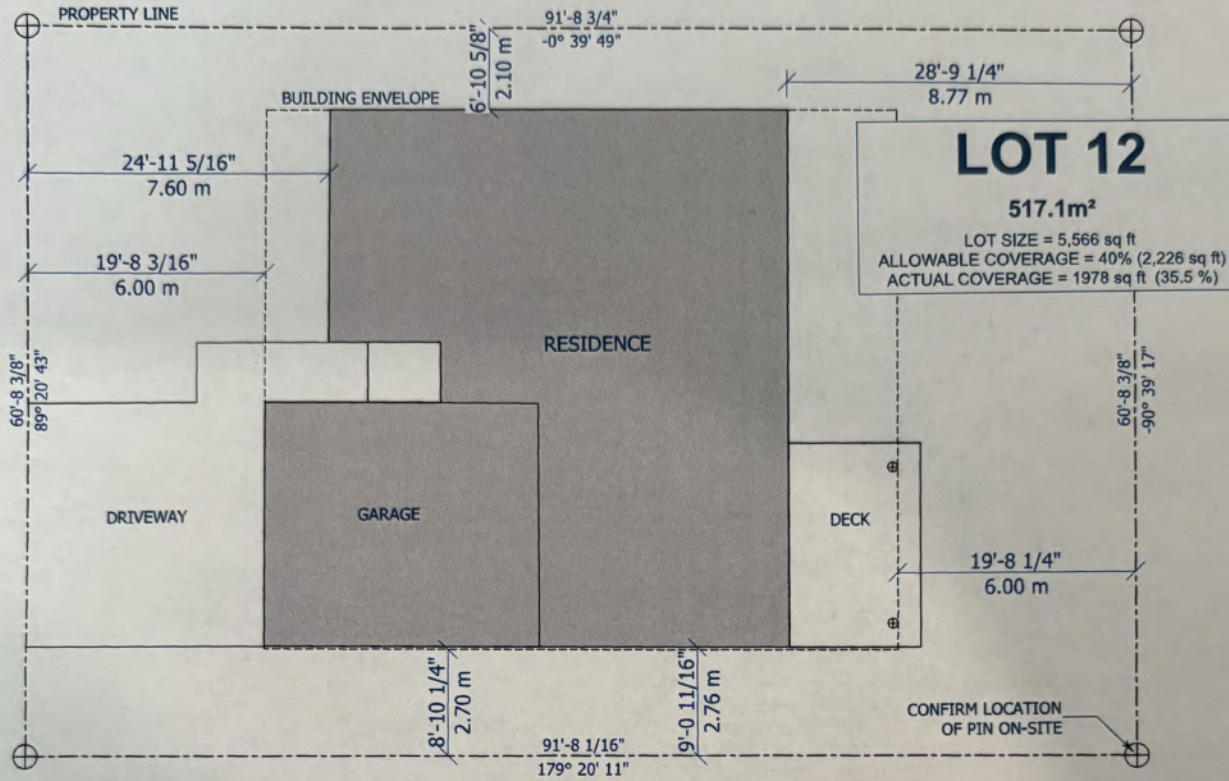
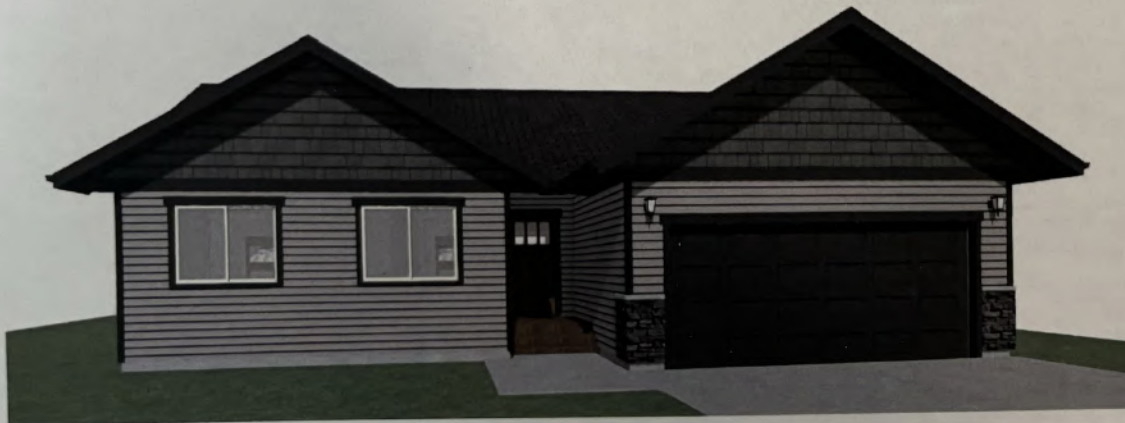


STREET



① SITE PLAN

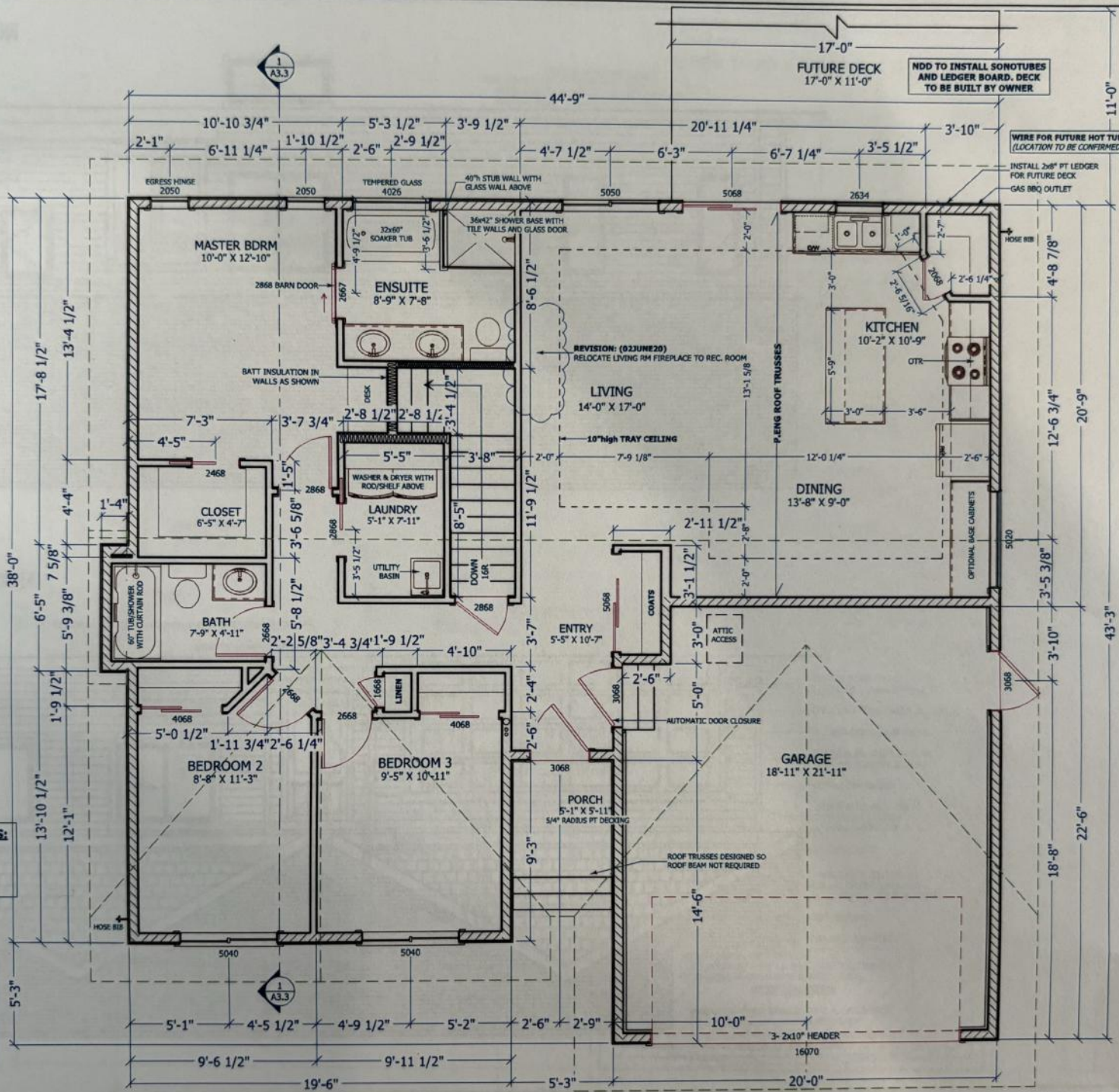


② EXTERIOR PERSPECTIVE

REVISED 03-JUNE-20

ISSUE FOR CONSTRUCTION

THE DRAWING PURPORTS TO BE USED FOR THE DESIGN OF THIS PROJECT
5
4
3
2
1
No
1524
Crane
Civic
Legal
Drawn
Project
Date: 03-
Scale: NC



LIVING AREA
1278 sq ft

DIMENSION NOTE:
ALL EXTERIOR DIMENSIONS TO OUTSIDE OF 7/16" SHEATHING

WINDOW NOTES:

- BASEMENT WINDOWS TO BE INSTALLED 92 3/4"
- MAIN FLOOR WINDOWS TO BE INSTALLED 83 3/8"
- WINDOW WELLS TO BE INSTALLED AS PER THE BCBC
- ALL WINDOW SIZES ARE APPROXIMATE. REFER TO WINDOW MANUFACTURER SUPPLIED ROUGH OPENING SIZES

OWNER TO SUPPLY THE FOLLOWING:

- PLUMBING FIXTURES
- FLOORING
- CLOSET SHELVING
- CEDAR SHAKE SIDING (FROM YARD)
- FRONT DOOR NIC JAMB (FROM YARD)
- BATH HARDWARE
- ENSUITE BARN DOOR
- DOOR HARDWARE

GENERAL DOOR ROUGH OPENING NOTES:

- SWING DOOR R.O. = width + 2.5", height + 2.5"
- BIFOLD DOOR R.O. = width + 1.5", height + 2"
- SLIDING BYPASS DOOR R.O. = width + 2", height + 4.5"
- POCKET DOOR R.O. = width x2 + 1", height + 2"
- BARN DOOR R.O. = width - 2", height - 1"

MECHANICAL & ELECTRICAL NOTES:

- 200amp ELECTRICAL SERVICE (INSTALL IN UTILITY ROOM)
- VARIABLE SPEED GAS FURNACE WITH HRV
- 50gal POWER VENT HOT WATER TANK
- GAS BBQ OUTLET ON REAR DECK
- GAS FIREPLACE IN REC. ROOM (REVISED 03JUNE20)
- WIRE FOR STANDARD & SMART TV'S IN REC ROOM (ABOVE FIREPLACE), LIVING ROOM, AND MASTER BEDROOM
- WIRE FOR CAT 5 IN UTILITY ROOM AND DINING ROOM
- NO PHONE JACKS TO BE INSTALLED
- ROUGH-IN HOT TUB AT BACK OF HOUSE (LOCATION TO BE CONFIRMED)
- 2 HOSE BIBS AND IRRIGATION ROUGH-IN

REVISION 03JUNE20
 ISSUE FOR CONSTRUCTION

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No	REVISION	DATE	BY
5	REVISED BASEMENT FIREPLACE LOCATION	03 JUNE	KT
4	ISSUE FOR CONSTRUCTION	09 APR	KT
3	ISSUE FOR PERMIT	11 MAR	KT
2	ISSUE FOR TENDER	09 MAR	KT
1	ISSUE FOR REVIEW	04 MAR	KT



NEW DAWN DEVELOPMENTS

1524 Industrial Rd. #2 Cranbrook, BC V1C 0R2 Phone: 250-489-1519 Fax: 250-426-6235

OSBORNE RESIDENCE

Site Address: LOT 12 EAGLE RIDGE CRES. CRANBROOK, BC

Legal Address:

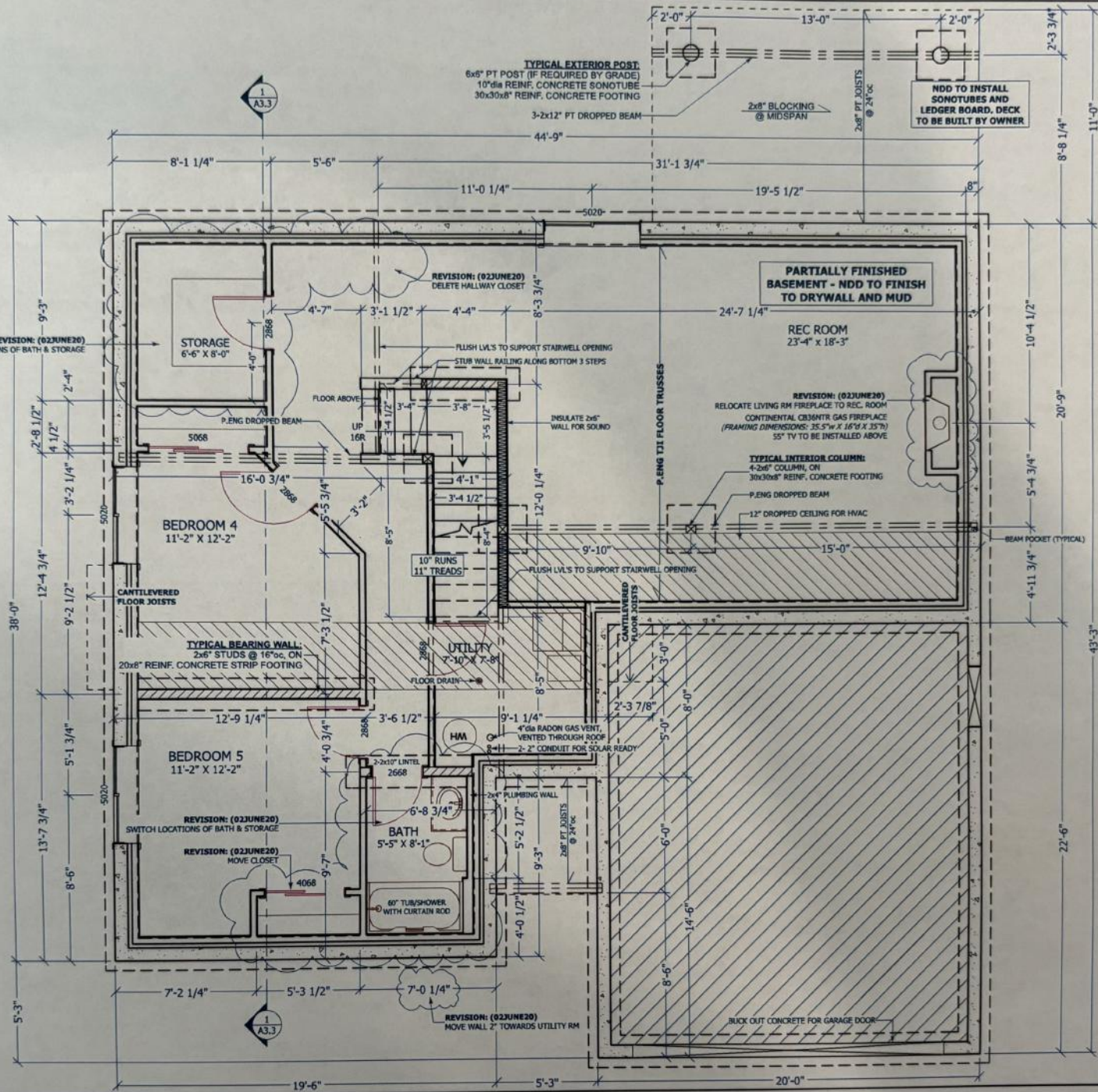
Drawn: MAIN FLOOR PLAN

Project No: 1211

Date: 03-JUNE-20

Scale: 3/16" = 1'-0"

A2.2



LIVING AREA
1312 sq ft

DIMENSION NOTE:
ALL EXTERIOR DIMENSIONS TO OUTSIDE OF 7/16" SHEATHING

WINDOW NOTES:

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- MAIN FLOOR WINDOWS TO BE INSTALLED 83 3/8"
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- ALL WINDOW SIZES ARE APPROXIMATE. REFER TO WINDOW MANUFACTURER SUPPLIED ROUGH OPENING SIZES

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- FLOORING
- CLOSET SHELVING
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- BATH HARDWARE
- ENCLITE BARN DOOR
- DOOR HARDWARE

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MECHANICAL & ELECTRICAL NOTES:

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- VARIABLE SPEED GAS FURNACE WITH HRV
- 50gal POWER VENT HOT WATER TANK
- GAS BBQ OUTLET ON REAR DECK
- GAS FIREPLACE IN REC. ROOM (REVISED 03JUNE20)
- WIRE FOR STANDARD & SMART TVS IN REC ROOM (ABOVE FIREPLACE), LIVING ROOM, AND MASTER BEDROOM
- WIRE FOR CAT 6 IN UTILITY ROOM AND DINING ROOM
- NO PHONE JACKS TO BE INSTALLED
- ROUGH-IN HOT TUB AT BACK OF HOUSE (LOCATION TO BE CONFIRMED)
- 2 HOSE BIBS AND IRRIGATION ROUGH-IN

TYPICAL EXTERIOR POST:
6x6" PT POST (IF REQUIRED BY GRADE)
10" dia REINF. CONCRETE SONOTUBE
30x30x8" REINF. CONCRETE FOOTING

NDD TO INSTALL SONOTUBES AND LEDGER BOARD, DECK TO BE BUILT BY OWNER

PARTIALLY FINISHED BASEMENT - NDD TO FINISH TO DRYWALL AND MUD

REVISION: (02JUNE20)
RELOCATE LIVING RM FIREPLACE TO REC. ROOM
CONTINENTAL CBSNTR GAS FIREPLACE
(FRAMING DIMENSIONS: 35.5" W X 16" D X 25" H)
55" TV TO BE INSTALLED ABOVE

TYPICAL INTERIOR COLUMN:
4-2x6" COLUMN, ON 30x30x8" REINF. CONCRETE FOOTING
P-ENG DROPPED BEAM
12" DROPPED CEILING FOR HVAC

TYPICAL BEARING WALL:
2x6" STUDS @ 16" OC, ON 20x8" REINF. CONCRETE STRIP FOOTING

REVISION: (02JUNE20)
MOVE WALL 2" TOWARDS UTILITY RM

ISSUE FOR CONSTRUCTION 03JUNE20 REVISED

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NEW DAWN DEVELOPMENTS

1524 Industrial Rd, #2 Phone: 250-489-1519
Cranbrook, BC V1C 6R2 Fax: 250-426-6235

OSBORNE RESIDENCE

City Address: LOT 12 EAGLE RIDGE CRES.
CRANBROOK, BC
Legal Address:

Drawing: **BASEMENT PLAN**

Project No: 1211

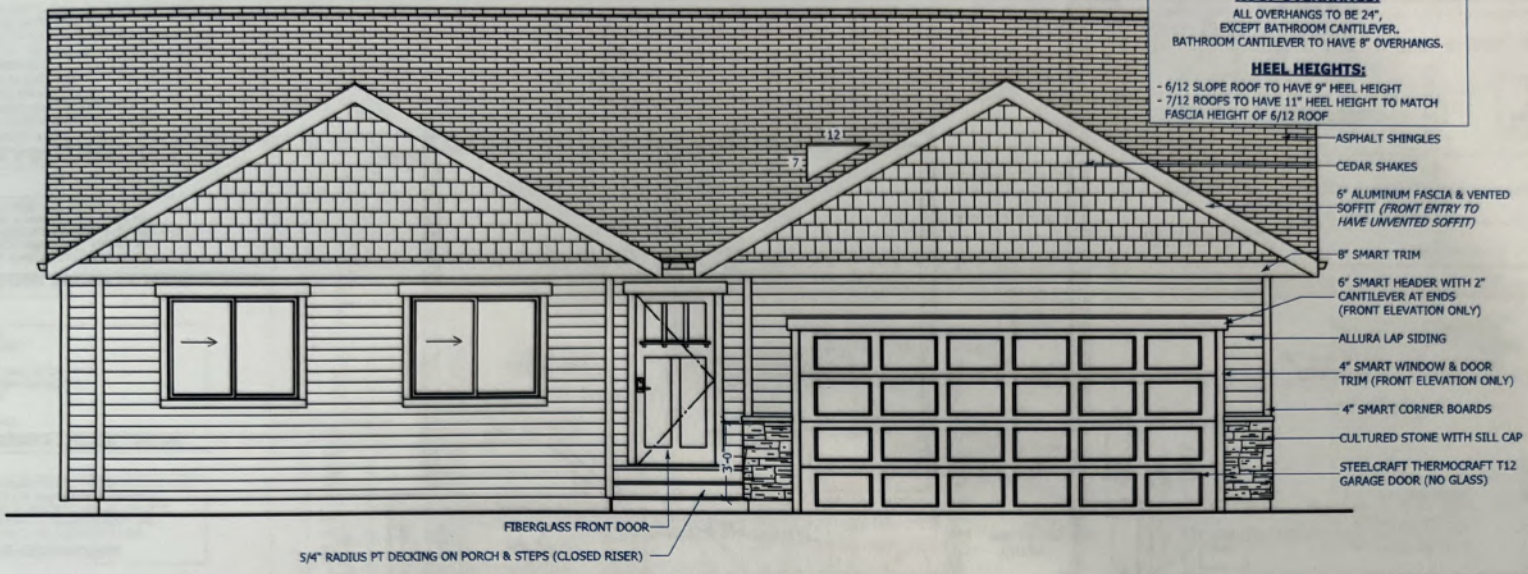
Date: 03-JUNE-20

Scale: 3/16" = 1'-0"

A2.1

ROOF OVERHANGS:
 ALL OVERHANGS TO BE 24",
 EXCEPT BATHROOM CANTILEVER,
 BATHROOM CANTILEVER TO HAVE 8" OVERHANGS.

HEEL HEIGHTS:
 - 6/12 SLOPE ROOF TO HAVE 9" HEEL HEIGHT
 - 7/12 ROOFS TO HAVE 11" HEEL HEIGHT TO MATCH
 FASCIA HEIGHT OF 6/12 ROOF



- ASPHALT SHINGLES
- CEDAR SHAKES
- 6" ALUMINUM FASCIA & VENTED SOFFIT (FRONT ENTRY TO HAVE UNVENTED SOFFIT)
- 8" SMART TRIM
- 6" SMART HEADER WITH 2" CANTILEVER AT ENDS (FRONT ELEVATION ONLY)
- ALLURA LAP SIDING
- 4" SMART WINDOW & DOOR TRIM (FRONT ELEVATION ONLY)
- 4" SMART CORNER BOARDS
- CULTURED STONE WITH SILL CAP
- STEELCRAFT THERMO-CRAFT T12 GARAGE DOOR (NO GLASS)

① FRONT ELEVATION



② REAR ELEVATION

REVISED 03JUNE20
 ISSUE FOR CONSTRUCTION

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OSBORNE RESIDENCE

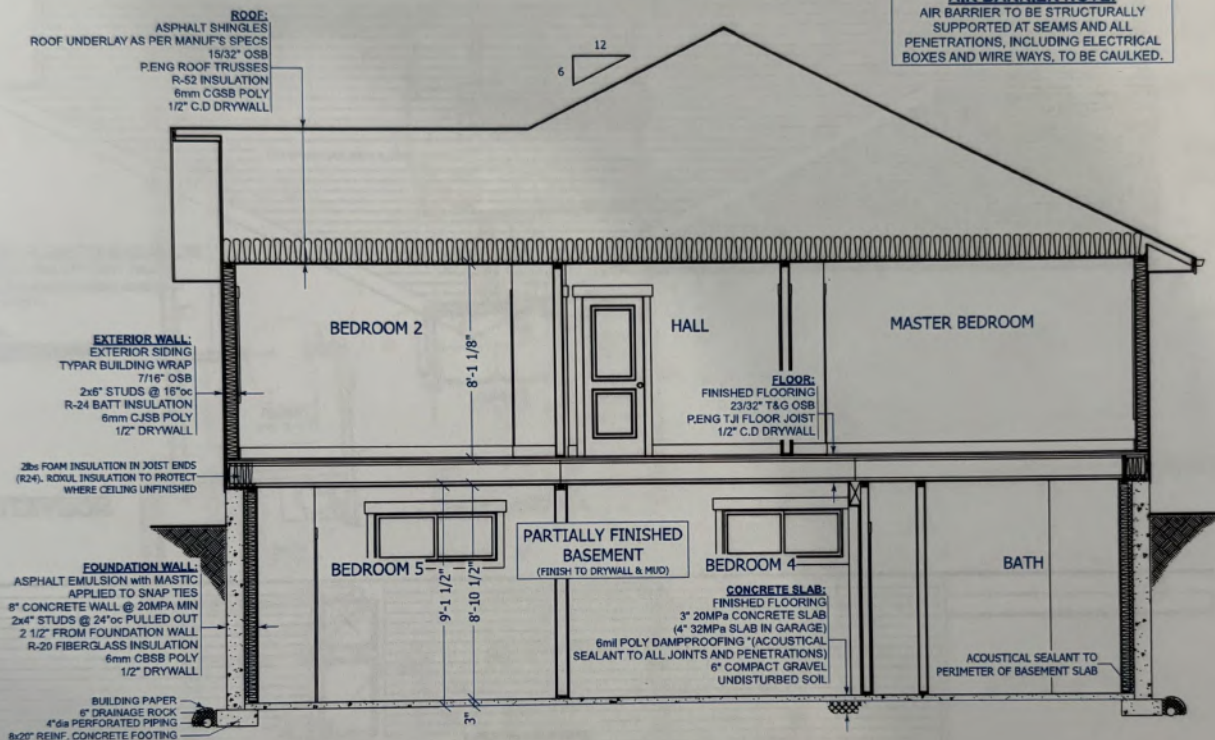
Civic Address: LOT 12 EAGLE RIDGE CRES. CRANBROOK, BC

Legal Address:

Drawing: FRONT & REAR ELEVATIONS

Project No: 1211
 Date: 03-JUNE-20
 Scale: 3/16" = 1'-0"

A3.1



1 BUILDING SECTION

REVISION 03JUNE20
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OSBORNE RESIDENCE

Site Address:
 LOT 12 EAGLE RIDGE CRES. CRANBROOK, BC

Legal Address:

Drawing:
BUILDING SECTION

Project No:
 1211

Date:
 03-JUNE-20

Scale:
 3/16" = 1'-0"

A3.3