

**DRAW**  
DESIGNS

#211, 236 - 91 Street SW  
EDMONTON, ALBERTA

Phone: 780.490.0234

rafting@DRAWDesigns.ca  
www.DRAWDesigns.ca

DEVELOPED FOR:

## Okanagan Extreme Home Builders

**56 Eckhardt Ave NW  
Penticton, B.C.  
V2A 2B7  
Phone: 1.250.488.7312  
Email: #####**

PROJECT:

## Lot 22

### Panorama

**ADDRESS:**

**752 Hawthorn Dr.,  
Penticton**

LOT: 22  
BLOCK:  
PLAN:

**NOTES:**

THE CONTRACTOR SHALL CHECK  
AND VERIFY ALL DIMENSIONS AND OTHER DATA  
NOTED HEREIN WITH CONDITIONS ON SITE.

WRITTEN DIMENSIONS SHALL HAVE  
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TO NOTIFY THE DESIGNER IN THE EVENT OF  
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NO.	DATE	BY
008	Mar 12, 2021	KP
009	Mar 16, 2021	KP
010	Mar 31 2021	JJS
011	Apr 12, 2021	KP
012	April 20, 2021	KP
013	April 28, 2021	KP
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015	May 6, 2021	KP
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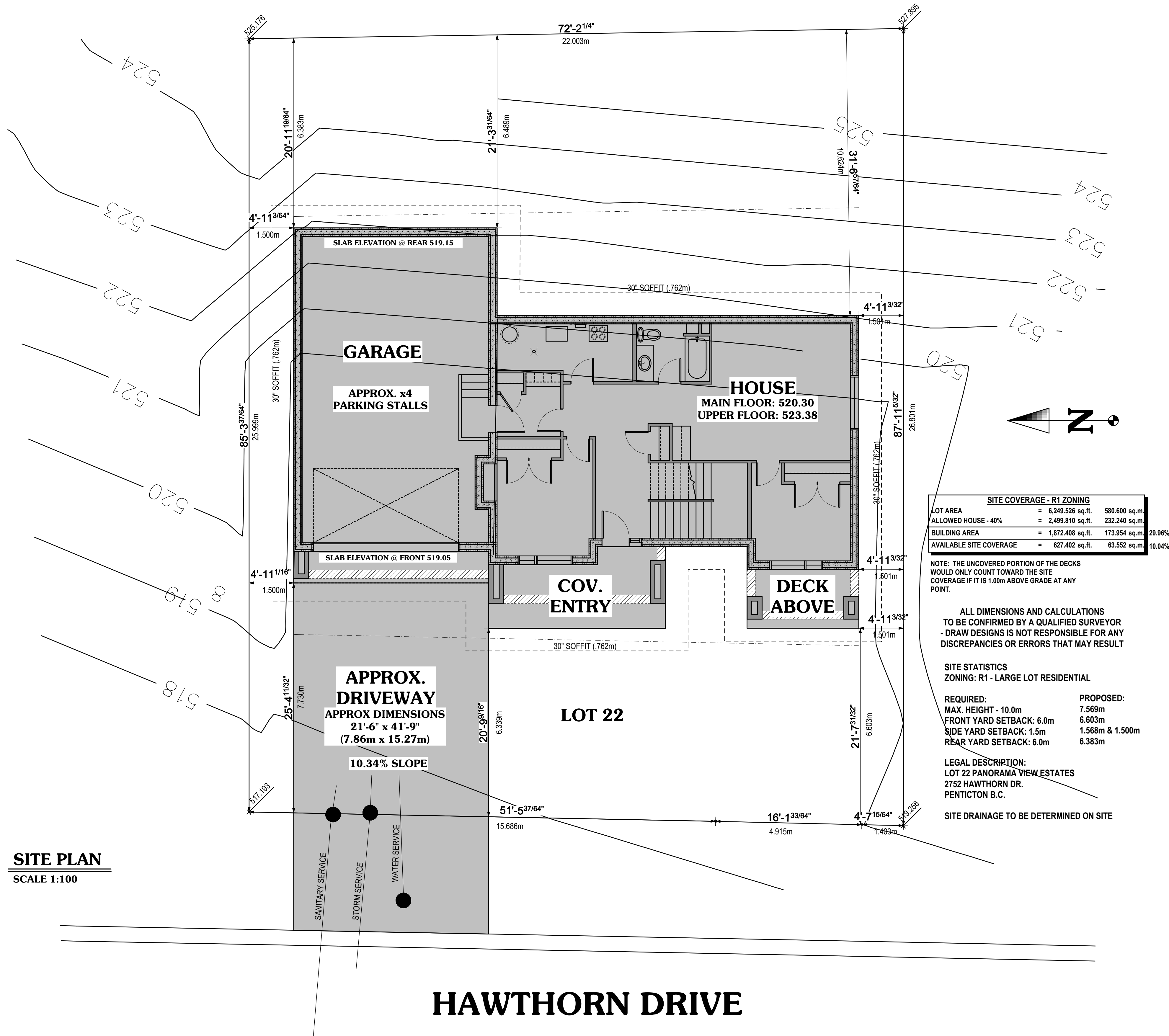
DESIGNED BY: JJS

DRAWN BY: JJS

DRAWING #:

1

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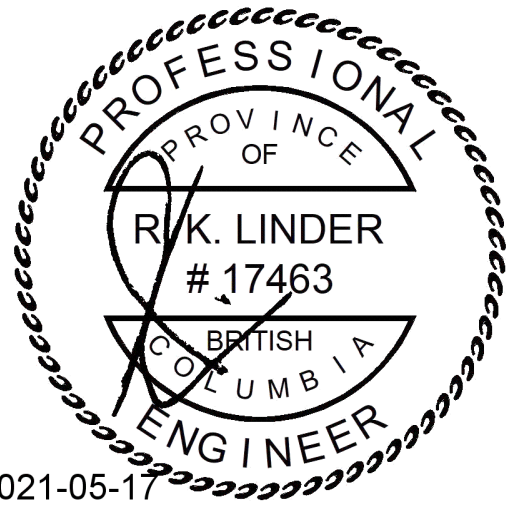
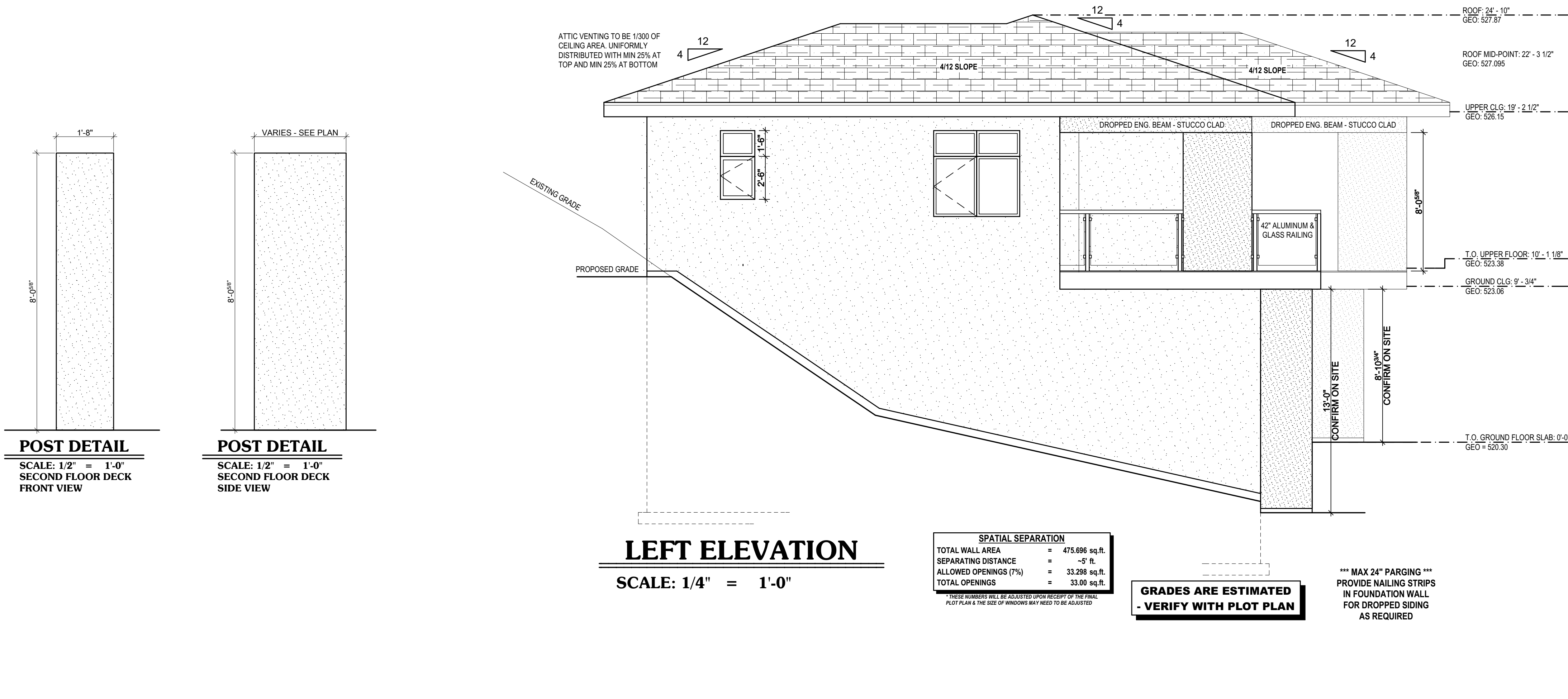
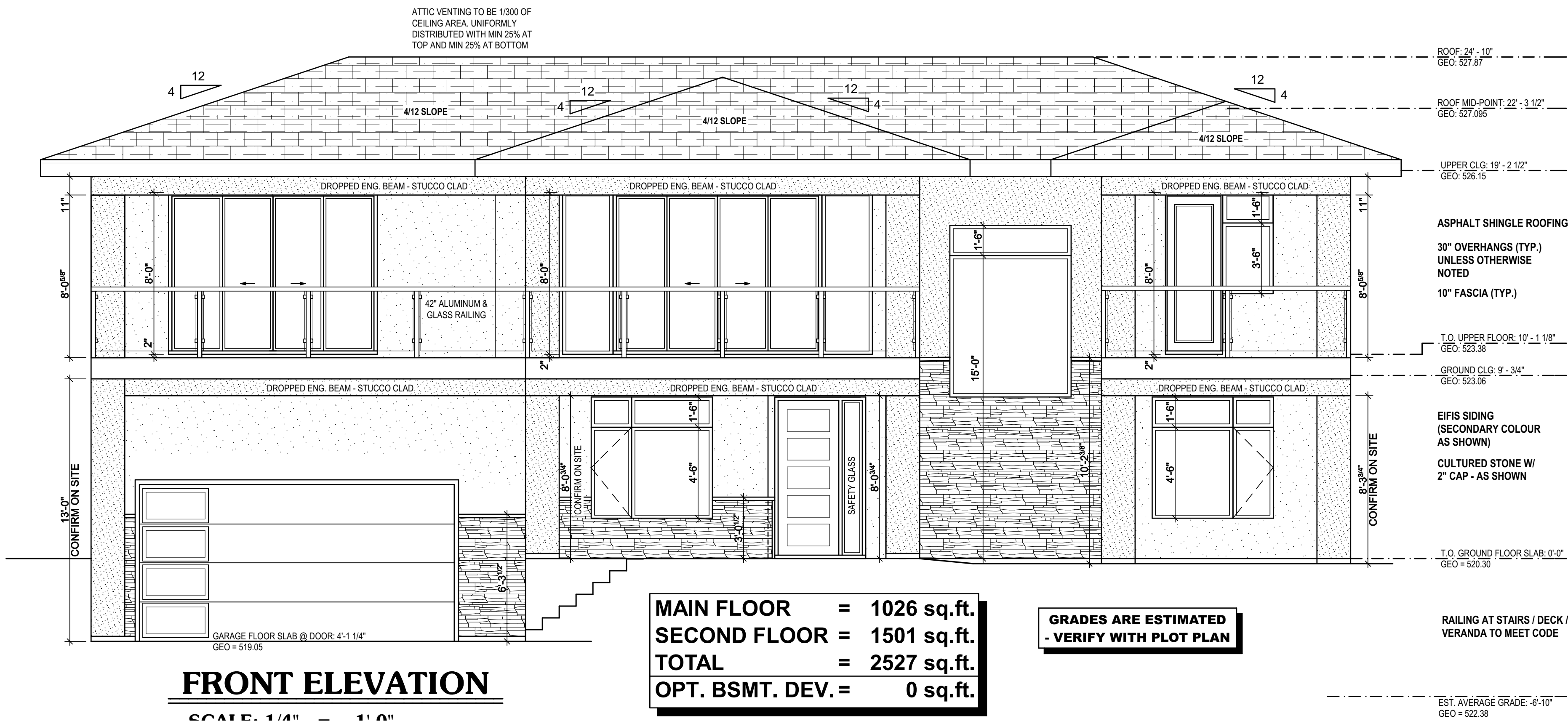
DRAWING #:

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GENERAL NOTES:  
- ALL CONSTRUCTION TO CONFORM TO LOCAL  
BYLAWS AND THE NATIONAL BUILDING CODE 3.7.2.1.  
- DESIGN IS BASED ON AN ENGINEERED FLOOR  
JOIST SYSTEM - SEE ENGINEER'S DESIGN  
- DESIGN IS BASED ON AN ENGINEERED ROOF  
TRUSS SYSTEM - SEE ENGINEER'S DESIGN  
- EXTERIOR WALLS ARE SHOWN AS 8" THICK AND  
INCLUDE AN ALLOWANCE FOR 1/2" OF SHEATHING  
ON THE EXTERIOR  
- INTERIOR WALLS ARE SHOWN AS 3 1/2" - 5 1/2" OR 7 1/2"  
THICK - WALLBOARD REDUCES THE ROOM SIZES  
- ALL DIMENSIONS ARE TAKEN TO THE FACE OF  
INTERIOR STUDS AND OUTSIDE FACE OF SHEATHING  
ON EXTERIOR WALLS AND OUTSIDE FACE OF  
CONCRETE WALLS  
- ALL BEAMS (ENGINEERED OR DIMENSIONAL)  
TO BE SIZED / VERIFIED BY SUPPLIER  
- ALL WINDOWS SUBJECT TO LOCAL BYLAWS AND  
MUST MEET CODE FOR GLASS IN REQUIRED ROOMS  
- WINDOW SIZES SHOWN ARE APPROXIMATE  
AND SHOULD BE VERIFIED WITH THE BUILDER /  
CONTRACTOR / OWNER PRIOR TO ORDERING /  
INSTALLATION - INCLUDING ROUGH OPENINGS  
/ STYLE / TYPE / GRILLS  
- ALL OVERHANGS SUBJECT TO LOCAL BYLAWS  
- WEEPING TILE TO BE INSTALLED AROUND ALL  
STRIP FOOTINGS AND TIED TO DRAINAGE SYSTEM  
- ALL WALLS / CEILINGS / FLOORS / DOORS THAT  
ARE COMMON TO HOUSE AND GARAGE TO BE  
FIRE-RATED AND GAS-PROOFED TO MEET CODE  
- GARAGE PILE LAYOUT (IF REQUIRED) TO BE  
DESIGNED AND VERIFIED BY A QUALIFIED  
STRUCTURAL ENGINEER  
- ATTIC ACCESSIBLE TO BE MINIMUM 21 1/2" x 23" AS PER  
N.B.C. c/w WEATHERSTRIPPING AND INSULATION  
- ROOF VENTS TO BE PROVIDED TO MEET CODE  
- INSULATION STOPS TO BE INSTALLED AS REQUIRED  
- SMOKE DETECTORS AND CARBON MONOXIDE  
DETECTORS TO BE PROVIDED TO MEET CODE  
- FLASHING TO BE INSTALLED TO MEET CODE AND  
LOCAL REQUIREMENTS  
- GRADE LINES ARE ESTIMATED ONLY AND SHOULD BE  
VERIFIED WITH A QUALIFIED SURVEYOR - ENTRY  
STEPS TO BE ADJUSTED ACCORDINGLY  
- MAIN FLOOR ELEVATION TO FRONT OF GARAGE  
SLAB ELEVATION TO BE VERIFIED WITH A  
QUALIFIED SURVEYOR  
- MINIMUM 2" CLEARANCE TO BE MAINTAINED  
AROUND FURNACE AND FIREPLACE FLUES  
- ALL GLASS SHOWER DOORS / WALLS MUST BE  
TEMPERED GLASS  
- DRYER VENT TO BE 4" DIAMETER c/w HOOD  
- ALL EXHAUST FANS TO VENT TO EXTERIOR  
- ALL WINDOWS 8'-0" AND OVER TO HAVE LINTEL SIZED  
BY SUPPLIER  
- INTERIOR DOOR FRAMING HEIGHT TO BE 83" FOR 6'-8"  
DOOR, 90" FOR 8'-0" DOOR  
- DECK SLOPE = MIN. 1/4" PER 12", MAX. 1/2" PER 12"  
- ALL CONSTRUCTION TO ADHERE TO ENERGY EFFICIENCY  
DETAILS & EFFECTIVE THERMAL RESISTANCE  
CALCULATIONS (RSI) SHOWN ON LATER PAGES OF  
THESE DRAWINGS IF BUILDING TO PRESCRIPTIVE PATH

NOTES:  
- PRELIMINARY DESIGN DRAWINGS ARE  
FOR ILLUSTRATION PURPOSES -  
ERRORS, OMISSIONS AND  
DISCREPANCIES MAY OCCUR  
- THE CONTRACTOR SHALL CHECK  
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OTHER DATA NOTED HEREIN WITH  
CONDITIONS ON SITE  
- WRITTEN DIMENSIONS SHALL HAVE  
PRECEDENCE OVER SCALED  
DIMENSIONS  
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DESIGNER IN THE EVENT OF  
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2021-05-17





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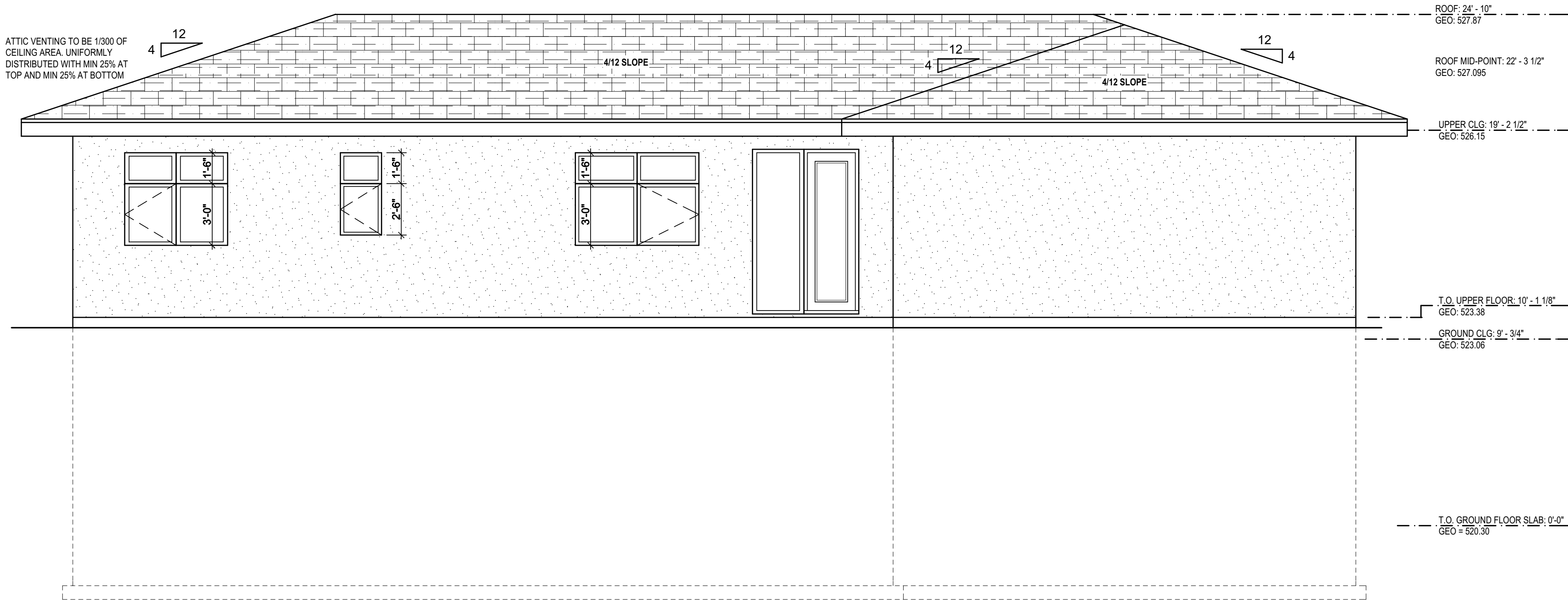
DESIGNED BY: JJS

DRAWN BY: JJS

DRAWING #:

3

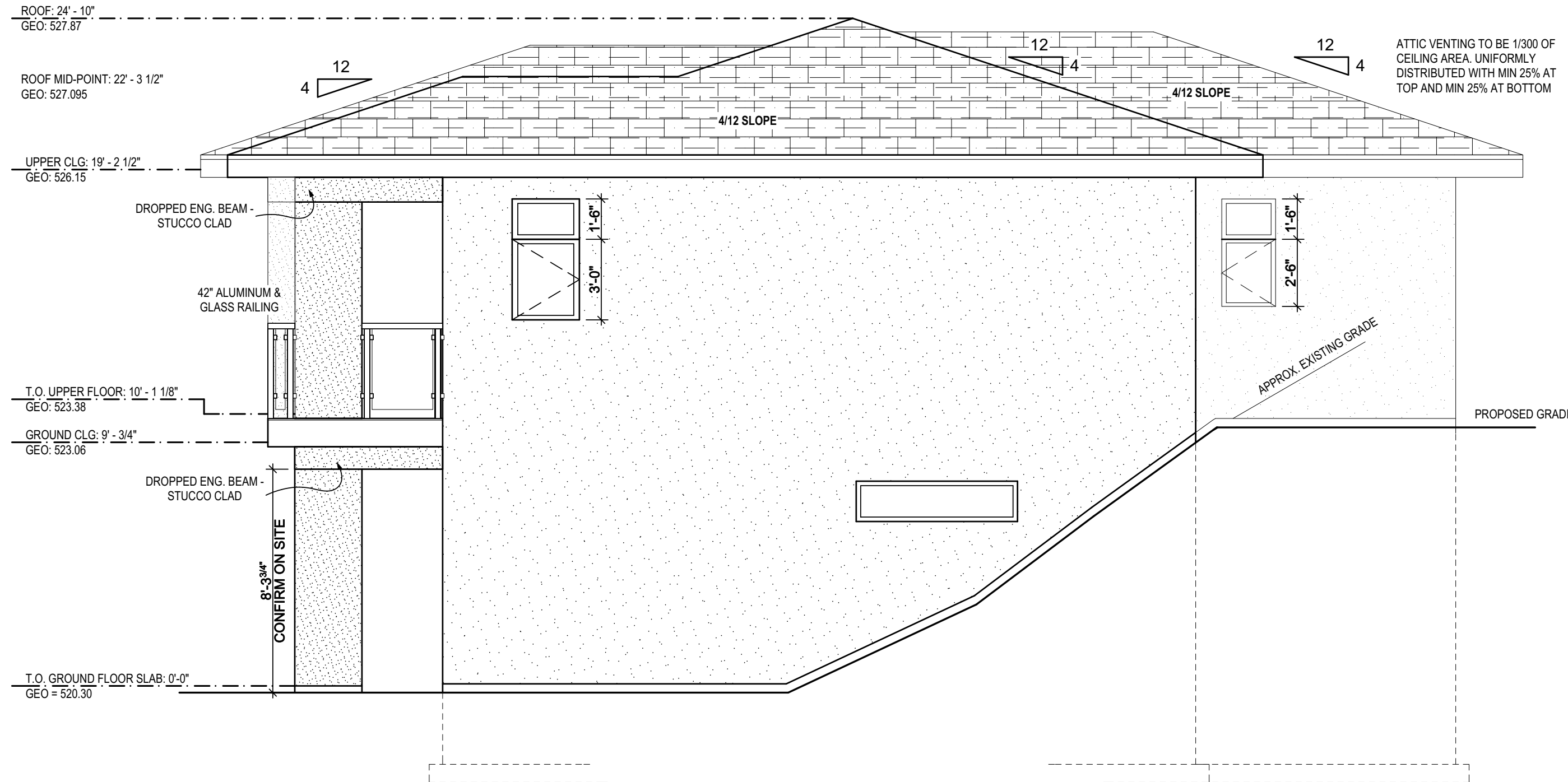
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## REAR ELEVATION

SCALE: 1/4" = 1'-0"

\*\*\* MAX 24" PARGING \*\*\*  
PROVIDE NAILING STRIPS  
IN FOUNDATION WALL  
FOR DROPPED SIDING  
AS REQUIRED



## RIGHT ELEVATION

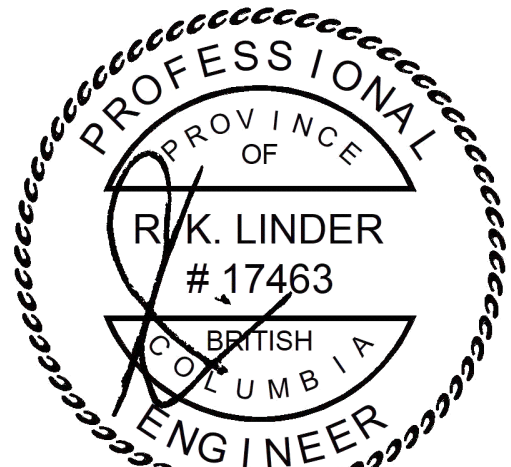
SCALE: 1/4" = 1'-0"

SPATIAL SEPARATION	
TOTAL WALL AREA	= 473.702 sq.ft.
SEPARATING DISTANCE	= ~5' ft.
ALLOWED OPENINGS (7%)	= 33.159 sq.ft.
TOTAL OPENINGS	= 20.25 sq.ft.

\* THESE NUMBERS WILL BE ADJUSTED UPON RECEIPT OF THE FINAL  
PLOT PLAN & THE SIZE OF WINDOWS MAY NEED TO BE ADJUSTED

**GRADES ARE ESTIMATED  
- VERIFY WITH PLOT PLAN**

\*\*\* MAX 24" PARGING \*\*\*  
PROVIDE NAILING STRIPS  
IN FOUNDATION WALL  
FOR DROPPED SIDING  
AS REQUIRED



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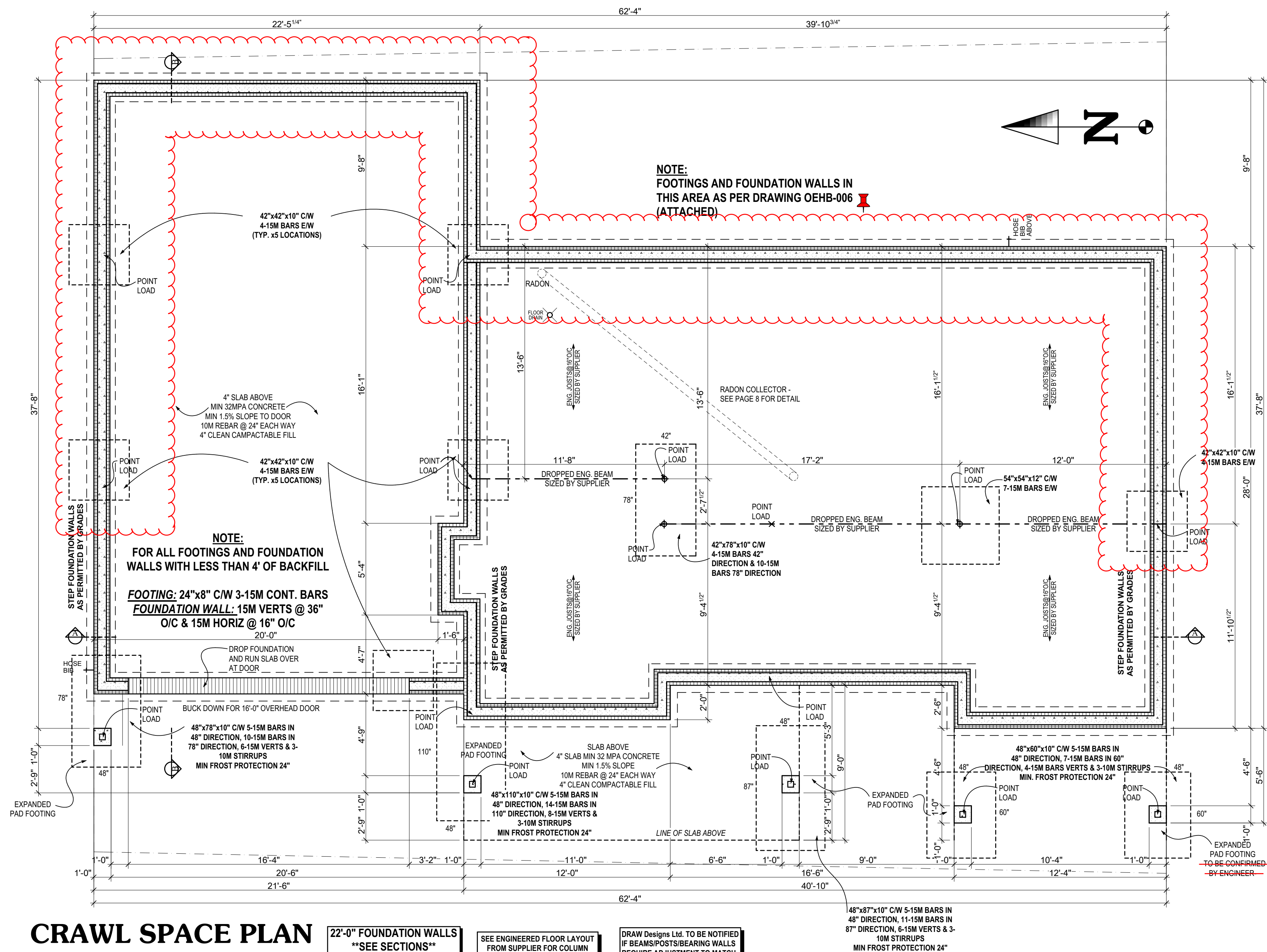
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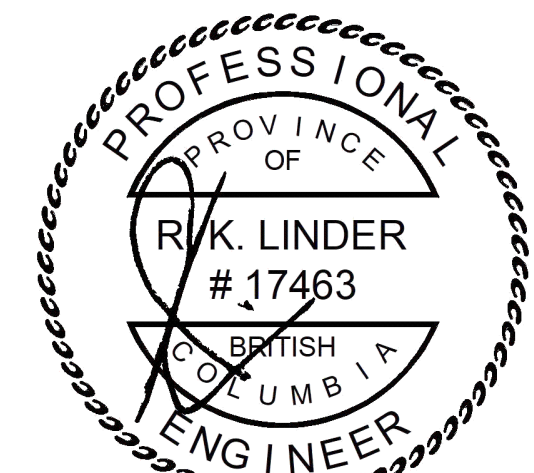
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**CRAWL SPACE PLAN**

SCALE: 1/4" = 1'-0"

22'-0" FOUNDATION WALLS  
\*\*SEE SECTIONS\*\*SEE ENGINEERED FLOOR LAYOUT  
FROM SUPPLIER FOR COLUMN  
AND PAD SIZINGDRAW DESIGNS LTD. TO BE NOTIFIED  
IF BEAMS/POSTS/BEARING WALLS  
REQUIRE ADJUSTMENT TO MATCH  
ENGINEER'S DESIGN

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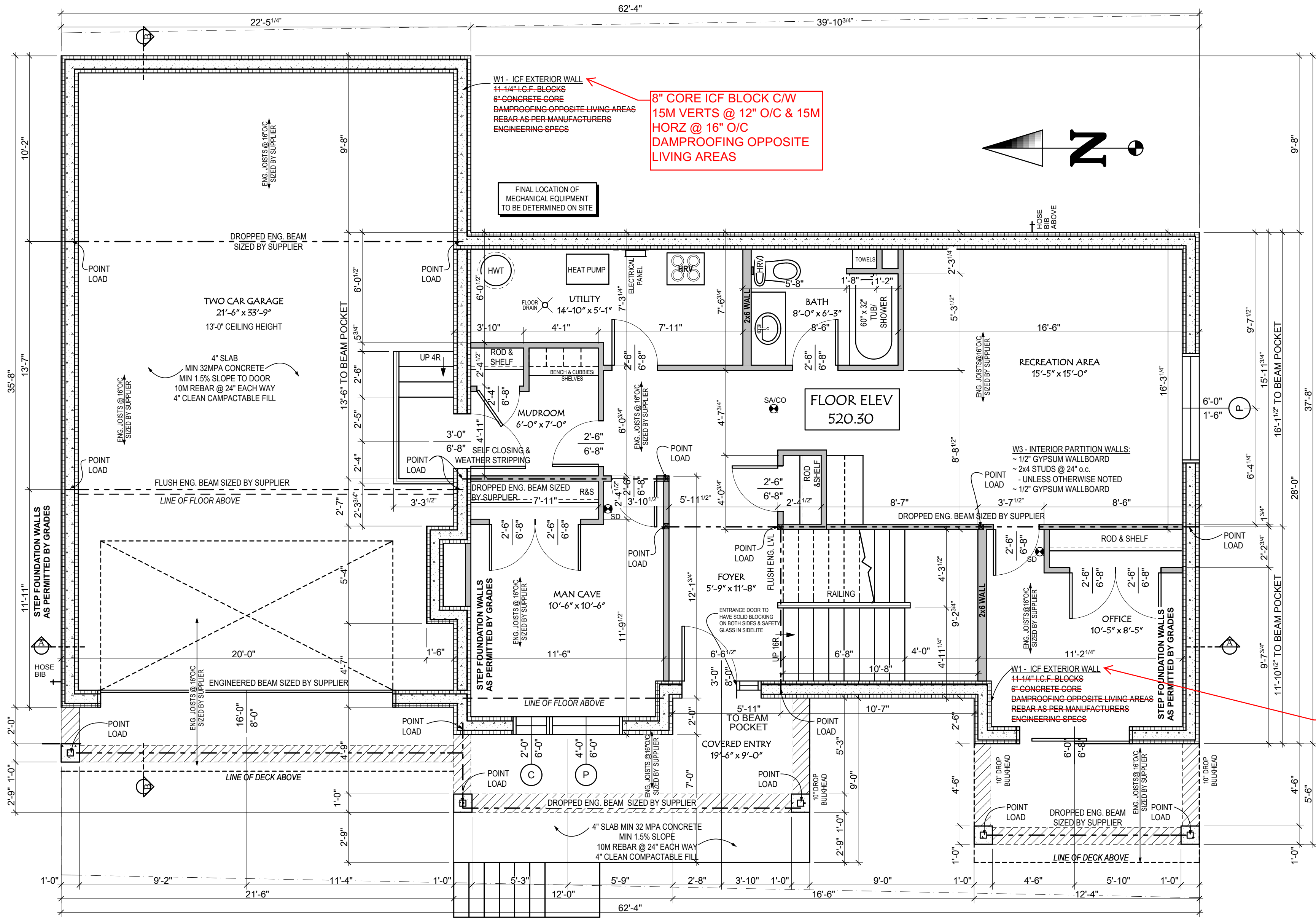
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## GROUND FLOOR PLAN

1026 sq.ft. SCALE: 1/4" = 1'-0"

9'-3/4" MAIN FLOOR WALLS  
- TOP OF WINDOWS @ 8'-0"  
(UNLESS NOTED)

ALL UNSUPPORTED WALLS  
OVER 11'-10" IN TOTAL  
HEIGHT TO BE ENGINEERED

ALL ANGLED WALLS  
ARE AT 45 DEGREES  
UNLESS NOTED

ALL CABINETS TO BE  
DESIGNED & CONFIRMED  
WITH SUPPLIER

CANTILEVERS WITHIN 1.2m OF THE  
PROPERTY LINE MUST USE NON-  
COMBUSTIBLE CLADDING OR MUST HAVE  
12.7mm THICK EXTERIOR GYPSUM BOARD  
UNDER CLADDING & MAINTAIN A 45  
MINUTE FIRE-RESISTANCE RATING FOR  
WALL ASSEMBLY - N.B.C. - A.E. 9.10.15.5(7).

CANTILEVERS WITHIN 1.2m OF THE  
PROPERTY LINE & WITH THE UNDERSIDE  
OF THE CANTILEVER MORE THAN 0.8 METRES  
ABOVE GRADE MUST BE PROTECTED IN THE  
SAME WAY AS PROJECTING SOFFITS  
- N.B.C. - A.E. 3.2.3.6.5b & 9.10.15.5(8)  
& 9.10.15.5(10)

CANTILEVERS WITHIN 1.2m OF THE  
PROPERTY LINE MUST HAVE FLUSH  
ROOF OVERHANGS ON ALL SIDES

GARAGE WALLS TO BE INSULATED,  
VAPOUR BARRIER APPLIED & MINIMUM  
12.7mm DRYWALL TO MEET  
N.B.C. - A.E. 9.35.4.1 & 9.35.4.4

SOFFITS WITHIN 1.2m OF PROPERTY  
LINE TO BE 0.44mm NON-VENTED ALUMINUM  
- VENTING TO BE MADE UP IN OTHER  
LOCATIONS - 25% OF VENTILATION TO STILL  
COME FROM BOTTOM PORTION OF ROOF  
N.B.C. - A.E. 3.2.3.6(5b) & 9.10.15.5(8)  
& 9.10.15.5(10)

8" CORE ICF BLOCK C/W  
15M VERTS @ 12" O/C & 15M  
HORZ @ 16" O/C  
DAMPPOOFING OPPOSITE  
LIVING AREAS

8" CORE ICF BLOCK C/W  
15M VERTS @ 12" O/C &  
15M HORZ @ 16" O/C  
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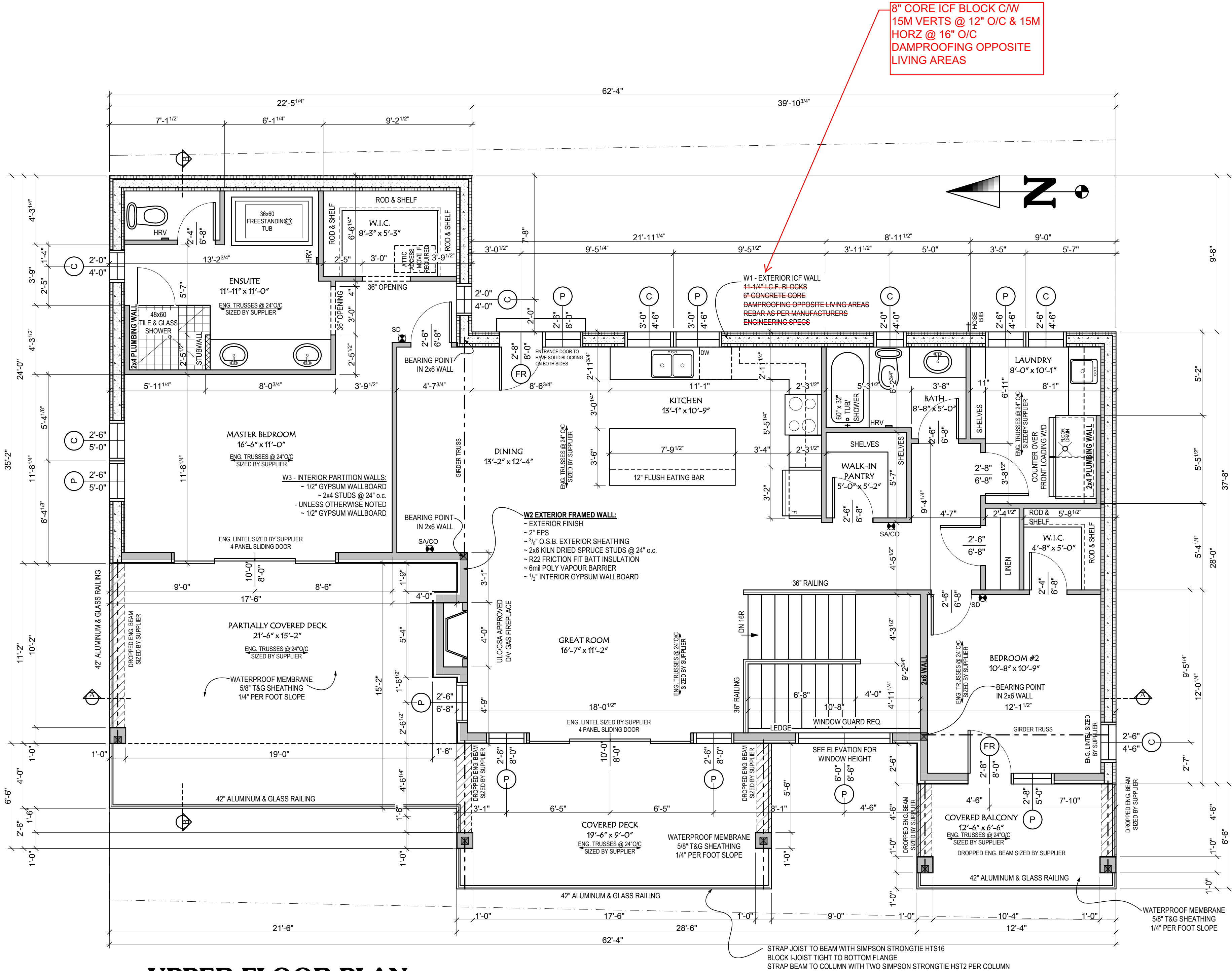
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2021-05-17



## UPPER FLOOR PLAN

1501 sq.ft. SCALE: 1/4" = 1'-0"

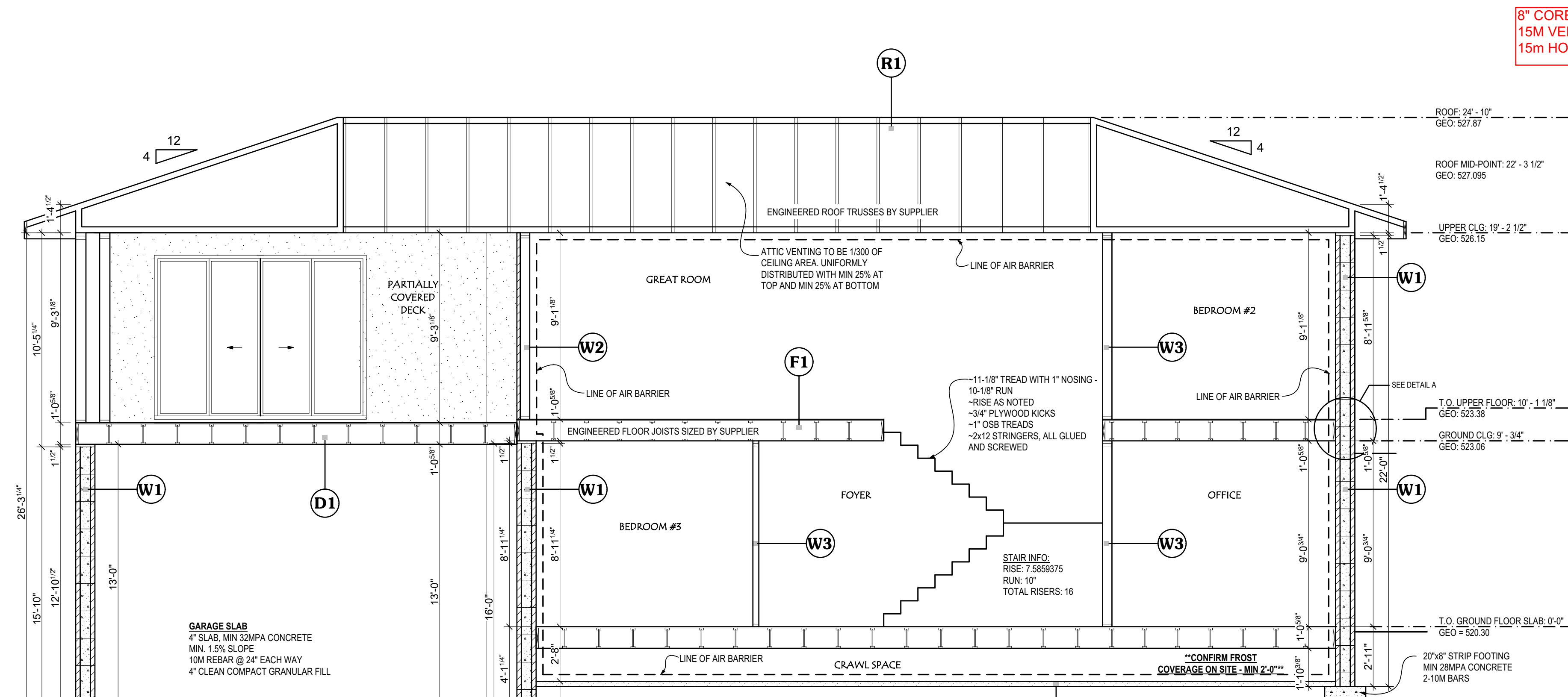
9'-1 1/8" SECOND FLOOR  
WALLS - TOP OF WINDOWS  
@ 8'-0" UNLESS NOTED

ALL UNSUPPORTED WALLS  
OVER 11'-10" IN TOTAL  
HEIGHT TO BE ENGINEERED

STRAP JOIST TO BEAM WITH SIMPSON STRONGTIE HTS16  
BLOCK JOIST TIGHT TO BOTTOM FLANGE  
STRAP BEAM TO COLUMN WITH TWO SIMPSON STRONGTIE HST2 PER COLUMN

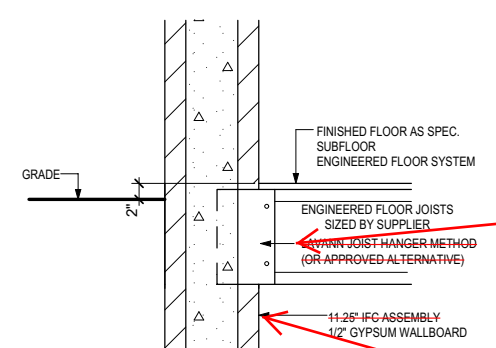


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## CROSS SECTION A

SCALE: 1/4" = 1'-0"


 DETAIL A (HOUSE FLOOR AT EXTERIOR)  
SCALE: 1/2" = 1'-0"

 AS PER DRAWING  
OEHB-002 (ATTACHED)

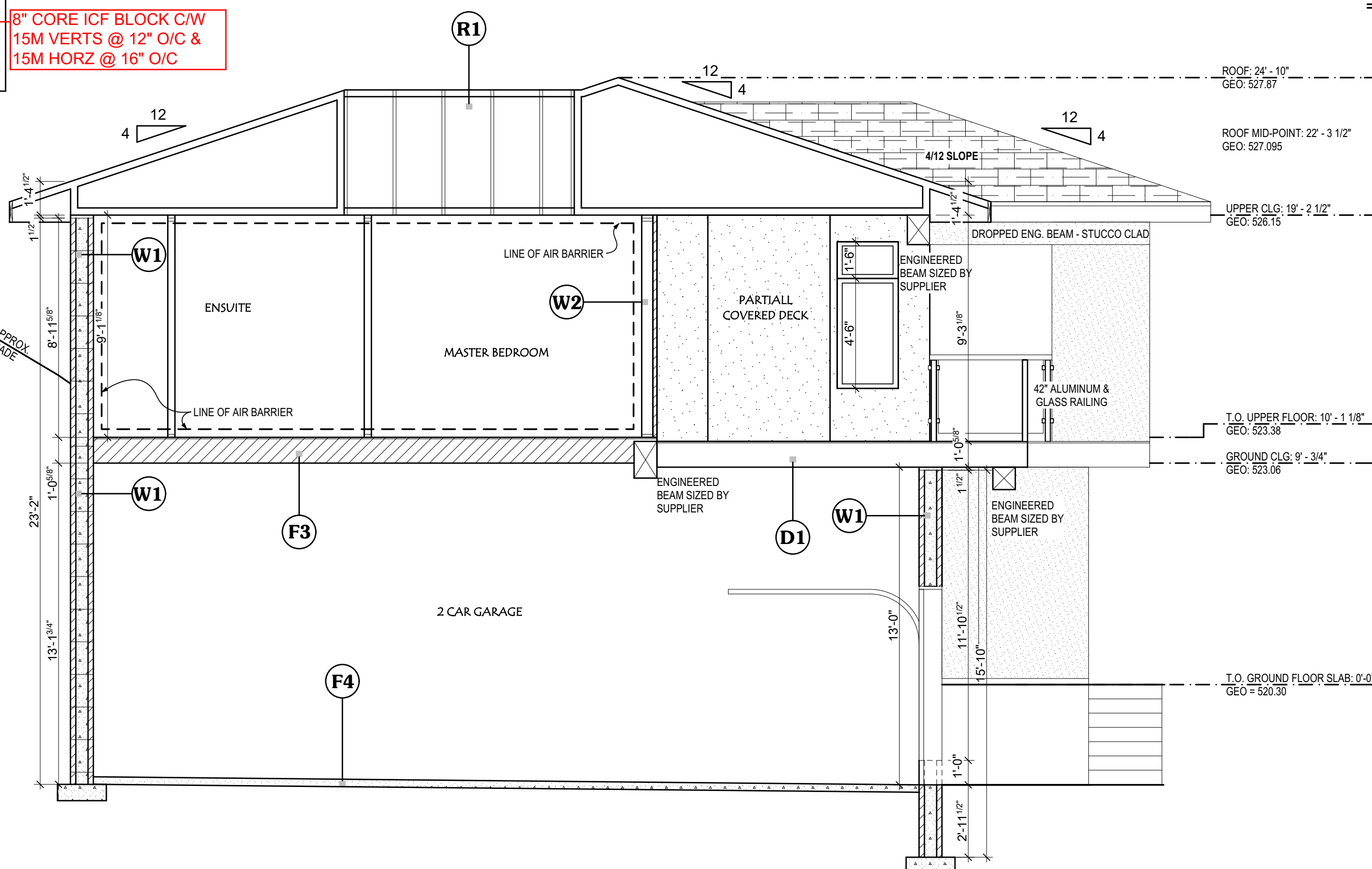
 8" CORE ICF BLOCK C/W  
15M VERTS @ 12" O/C &  
15M HORZ @ 16" O/C

## GENERAL NOTES:

- ENTRANCE DOORS TO BE SOLID CORE IN ACCORDANCE WITH NATIONAL BUILDING CODE 9.7.2.1.
- FINISH WOOD RAILINGS - PICKETS MAXIMUM 4" O.C.
- PRECAST CONCRETE STEPS OR CAST IN PLACE AS PER PLAN UNLESS OTHERWISE SHOWN.
- TOP OF FIREPLACE FLUE SHALL BE 3'-0" ABOVE HIGHEST POINT AT WHICH IT COMES IN CONTACT WITH THE ROOF 2'-0" ABOVE ROOF SURFACE WITHIN A HORIZONTAL DISTANCE OF 10'-0" FROM FLUE.
- ULC RATED CLASS "B" VENT 2'-0" HIGH FROM POINT IN CONTACT W/ ROOF FOR SLOPES UP TO 9/12 & 4'-0" FOR SLOPES GREATER THAN 9/12 - MINIMUM 2" CLEARANCE AIR SPACE AROUND FLUE.
- PROVIDE FRESH AIR INTAKES FOR ALL FURNACES & FIREPLACES.
- COMBUSTION AIR FOR THE FIREPLACE MUST BE SUPPLIED BY AIR INTAKES OTHER THAN A DOOR OR A WINDOW.
- PROVIDE FLASHING ABOVE ALL EXTERIOR DOORS, WINDOWS & OPENINGS.
- STAIR SUPPORT TO BE MINIMUM OF 3" DIAMETER STEEL TELEPOST ON 24"x24"x8" CONCRETE FOOTING REINFORCED W/ 10M REBAR @ 8" o.c. BOTH WAYS - SEE ENG. FLOOR LAYOUT.
- PROVIDE SELF-CLOSING GARAGE/HOUSE DOOR w/ WEATHERSTRIPPING.
- NON-HARDENING CAULKING COMPOUND TO BE USED OVER & AROUND ALL EXTERIOR OPENINGS.
- PLUMBING ACCESS OF MINIMUM 15"20" TO BE PROVIDED FOR EACH TUB & SHOWER.
- ALL WORKMANSHIP TO BE A STANDARD EQUAL OR BETTER IN ALL RESPECTS TO GOOD BUILDING PRACTICE IN ACCORDANCE WITH THE NATIONAL BUILDING CODE.
- PROVIDE 30" DIAMETER SUMP PIT w/ PUMP, PUMP COVER & POWER SUPPLY - LOCATE NEAR OUTSIDE BASEMENT WALL w/ DISCHARGE LINE & SPLASH PAD - CONNECT WEeping TILE & FLOOR DRAIN (w/ BACK WATER VALVE) TO PIT - CONNECT DISCHARGE LINE TO STORM SEWERS WHERE REQUIRED.
- ALL DIMENSIONS TO BE TAKEN TO FACE OF INTERIOR STUDS & OUTSIDE FACE OF SHEATHING ON EXTERIOR WALLS & OUTSIDE FACE OF CONCRETE WALLS.
- IN ANY INSTANCE OF DISCREPANCIES BETWEEN THIS PLAN & THE NATIONAL BUILDING CODE, THE NATIONAL BUILDING CODE WILL OVERRIDE UNLESS THE PLAN IS DESIGNED ABOVE THE REQUIREMENTS OF THE NATIONAL BUILDING CODE.

## NOTES:

- ALL CONSTRUCTION TO CONFORM TO LOCAL BYLAWS AND THE NATIONAL BUILDING CODE.
- DESIGN IS BASED ON AN ENGINEERED FLOOR SYSTEM - SEE ENGINEER'S LAYOUT.
- TRUSS SYSTEM - SEE ENGINEER'S LAYOUT.
- ALL BEAMS TO BE DESIGNED BY SUPPLIER - SEE ENGINEER'S LAYOUT.
- ALL WINDOWS SUBJECT TO LOCAL BYLAWS AND THE NATIONAL BUILDING CODE.
- ALL OVERHANGS SUBJECT TO LOCAL BYLAWS.
- WEeping TILE TO BE INSTALLED AROUND ALL STRIP FOOTINGS AND TIED TO DRAINAGE.
- ALL WALLS / CEILING / FLOORS THAT ARE COMMON TO HOUSE AND GARAGE TO BE 1HR. FIRE RATED AND GASPROOFED.
- GARAGE PILE LAYOUT TO BE DESIGNED AND VERIFIED BY AN ENGINEER.
- ATTIC ACCESS TO BE MINIMUM 21 1/2" x 23" AS PER CODE w/ WEATHERSTRIPPING AND INSULATION.
- ROOF VENTS TO BE PROVIDED AS PER CODE.
- INSULATION STOPS AS REQUIRED.
- SMOKE / CARBON MONOXIDE DETECTORS TO BE PROVIDED AS PER CODE.
- WINDOW SIZES SHOWN ARE APPROXIMATE AND SHOULD BE VERIFIED WITH OWNER PRIOR TO ORDERING / INSTALLATION - INCLUDING ROUGH OPENING, STYLE AND TYPE.
- FLASHING TO BE PROVIDED AS PER CODE.
- GRADE LINES ARE SUGGESTED ONLY AND SHOULD BE VERIFIED WITH PLOT PLAN AND/OR GRADES ON SITE - STEPS TO BE ADJUSTED ACCORDINGLY.
- MAIN FLOOR HEIGHT TO FRONT OF GARAGE SLAB HEIGHT TO BE VERIFIED WITH SURVEYOR.
- MINIMUM 2" CLEARANCE AROUND FURNACE AND FIREPLACE FLUES.
- SHOWER DOORS MUST BE TEMPERED GLASS.
- ALL EXHAUST FANS TO VENT TO EXTERIOR.
- ALL WALLS 11'-10" OR TALLER REQUIRE AN ENGINEER'S APPROVAL/DETAIL.
- INTERIOR DOOR FRAMING HEIGHT TO BE 82 1/2" FOR 6'-8" DOOR, 86 1/2" FOR 8'-0" DOOR.
- DECK SLOPE = MIN. 1/4" PER 12", MAX. 1/4" PER 12".
- ALL WINDOWS 8'-0" AND OVER TO HAVE LINTEL SIZED BY SUPPLIER.



## HOUSE DESIGN INCLUDES HRV

## W1 - ICF EXTERIOR WALL

- 14-1/4" I.C.F. BLOCKS, 6" CONCRETE CORE, DAMPROOFING OPPOSITE LIVING AREAS.
- REBAR AS PER MANUFACTURER'S ENGINEERING SPECS.
- CONCRETE STRIP FOOTING AS PER ICF MANUFACTURER'S SPECIFICATION AND SUBJECT TO ENGINEER'S SOIL REPORT.
- FOOTING TO BE PLACED ON UNDISTURBED OR COMPACTED SOIL.
- ENSURE MIN. 2" FROST COVERAGE.
- ALL CONCRETE TO BE MINIMUM OF 25 MPa - TYPE 10 c/w 25mm AGGREGATE.

## W2 - EXTERIOR FRAMED WALL:

- EXTERIOR FINISH
- 2" EPS
- 3/4" O.S.B. EXTERIOR SHEATHING
- 2x6 KILN DRIED SPRUCE STUDS @ 24" o.c.
- R22 FRICTION FIT BATT INSULATION
- 6mil POLY VAPOUR BARRIER
- 1/2" INTERIOR GYPSUM WALLBOARD

## W3 - INTERIOR PARTITION WALLS:

- 1/2" GYPSUM WALLBOARD
- 2x4 STUDS @ 24" o.c.
- UNLESS OTHERWISE NOTED
- 1/2" GYPSUM WALLBOARD

## D1 - FRAMED FLOOR @ DECK:

- WATERPROOF MEMBRANE
- 5/8" T&G SHEATHING
- 11-7/8" ENGINEERED FLOOR JOISTS AT 16" O.C.
- BLOCKING AS SPEC'D BY MANUFACTURER
- 1/4" PER FOOT SLOPE TO EDGE

## F1 - FRAMED FLOOR:

- FINISH FLOORING 3/4" T&G SHEATHING
- 11-7/8" ENGINEERED FLOOR JOISTS AT 16" O.C.
- BLOCKING AS SPEC'D BY MANUFACTURER
- 1/2" DRYWALL OVER FINISHED SPACES

## F2 - CONCRETE SLAB:

- MINIMUM 3" THICK 20MPa TYPE 10 CONCRETE c/w 25mm AGGREGATE
- DRAIN ROCK OR OTHER CLEAN MATERIAL SUITABLE FOR THE MOVEMENT OF RADON GAS
- 6mil POLY VAPOUR BARRIER

## F3 - FLOOR ABOVE GARAGE SPACE:

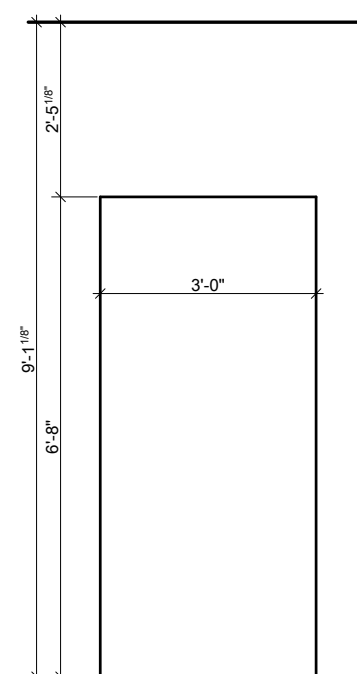
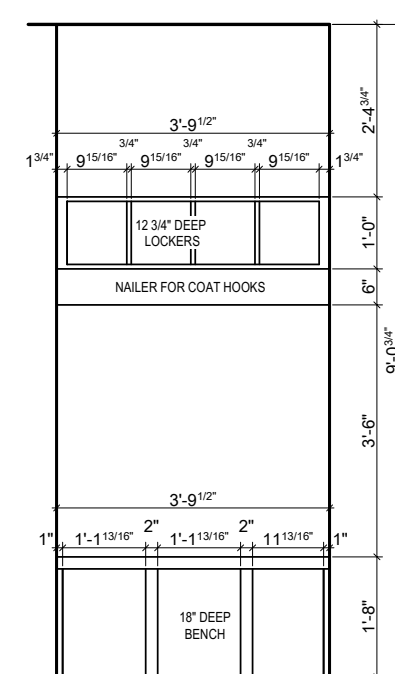
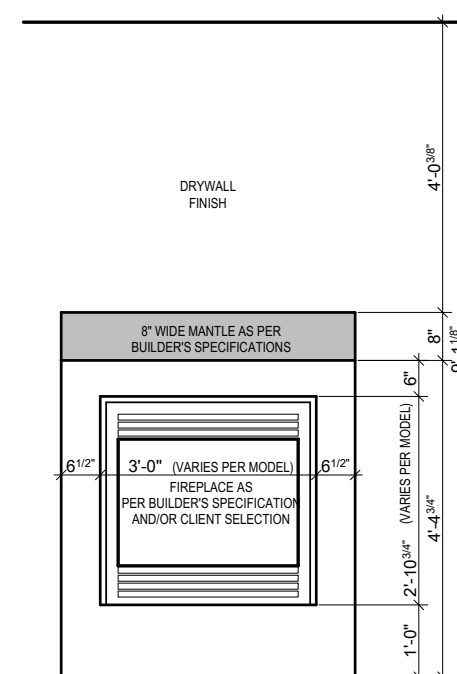
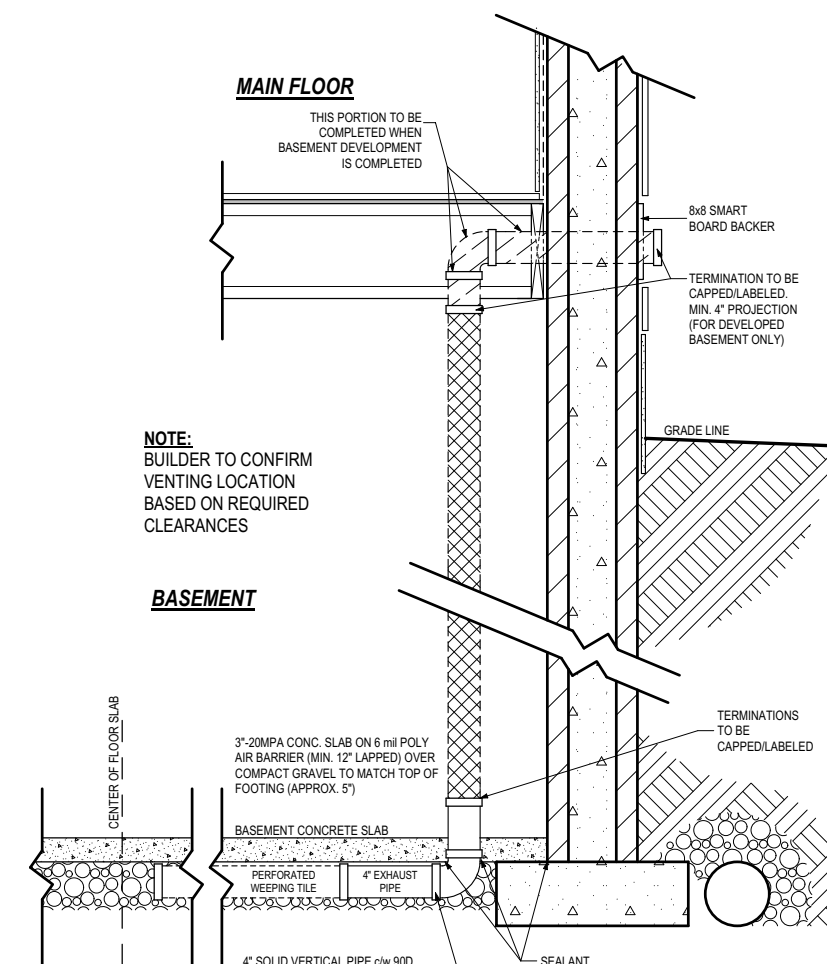
- FINISH FLOORING
- 3/4" T&G SHEATHING
- 11-7/8" JOISTS @ 16" O.C.
- MIN. R32 SPRAY FOAM INSULATION
- BLOCKING AS SPEC'D BY MANUFACTURER
- 1/2" DRYWALL

## F4 - GARAGE SLAB

- 4" SLAB, MIN 32MPa CONCRETE
- MIN. 1.5% SLOPE
- 10M REBAR @ 24" EACH WAY
- 4" CLEAN COMPACT GRANULAR FILL

## R1 - ROOF ASSEMBLY:

- ASPHALT SHINGLES
- ROOFING FELT
- 1/2" O.S.B. SHEATHING c/w H-CLIPS
- ENGINEER APPROVED TRUSSES @ 24" o.c.
- UNLESS OTHERWISE SPECIFIED
- 1x4 SPRUCE TRUSS BRACING @ 7'-0" o.c.
- NAILED TO BOTTOM CHORD
- MINIMUM R50 BLOWN IN INSULATION
- INSULATION c/w INSULATION STOPS
- 6mil POLY VAPOUR BARRIER
- 1/2" CD DRYWALL w/ CEILING FINISH
- PROVIDE EAVE PROTECTION TO MEET OR EXCEED THE NATIONAL BUILDING CODE
- ALUMINUM EAVESTROUGH
- 10" ALUMINUM FASCIA ON 2x10 WOOD BACKING
- UNLESS OTHERWISE SPECIFIED
- VENTED ALUMINUM SOFFITS


 OPENING DETAIL  
SCALE: 3/8" = 1'-0"

 BENCH/LOCKER DETAIL  
SCALE: 3/8" = 1'-0"

 FIREPLACE DETAIL  
SCALE: 3/8" = 1'-0"


## RADON MITIGATION DETAIL

SCALE: 1/2" = 1'-0"

 SECTION TO BE COMPLETED BY  
CUSTOMER AFTER POSSESSION
