

NOTES:  
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1402 2ND AVE  
4-PLEX

ADDRESS AND LEGAL:

1402 2ND AVE  
CANMORE, ALBERTA

LOT:  
BLOCK:  
PLAN:

1  
91  
1095F

NO.	REVISION	DATE	BY
R1	ISSUED FOR CONSTRUCTION	2023.03.27	CM
R1	ISSUED FOR CONSTRUCTION	2023.04.25	CM

REVISION:

R2

DATE: 2023.04.25

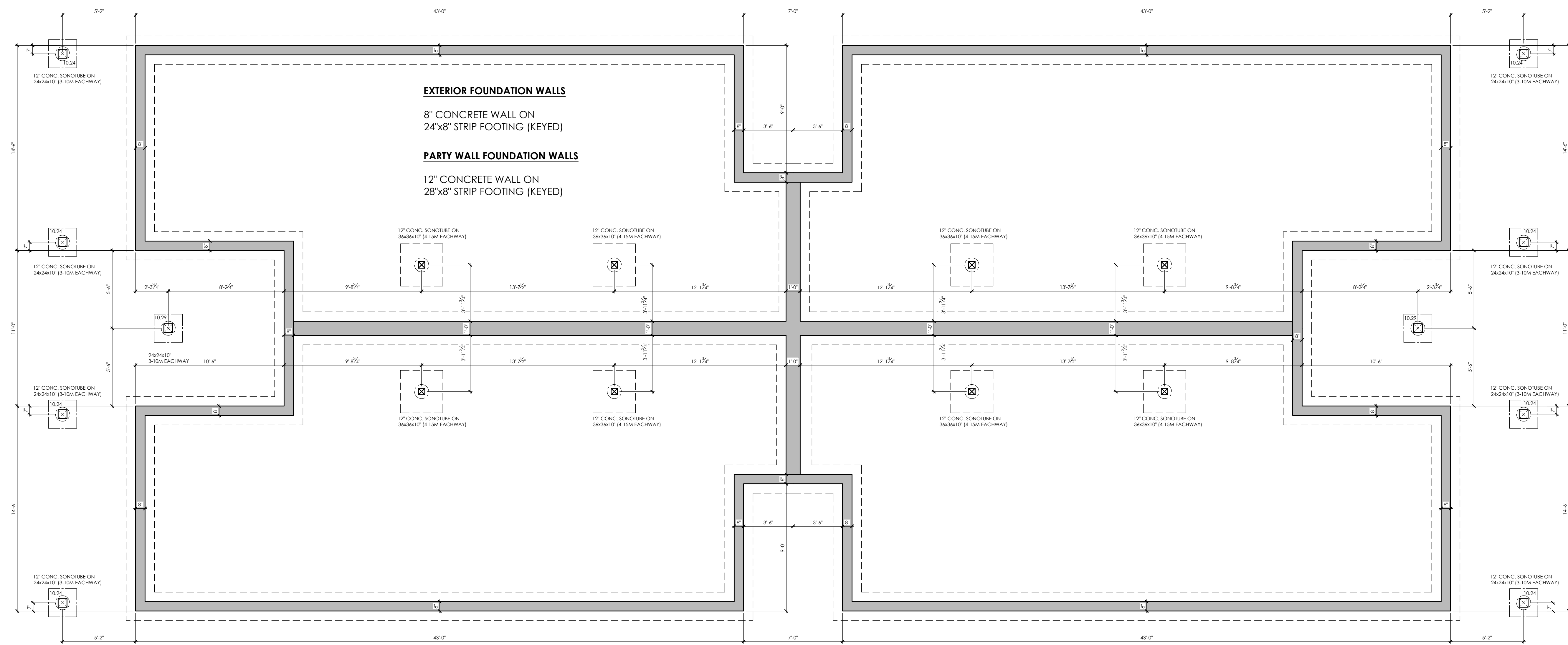
SCALE: AS NOTED

DRAWN BY: CHASE MULLEN

DRAWING TITLE:  
FOUNDATION PLAN

SHEET NO.

A2.0



1 FOUNDATION PLAN  
A2.0 1/4" = 1'-0"

KOVA Homes Inc.  
CHASE MULLEN  
403.679.1399  
chase@kovahomes.ca

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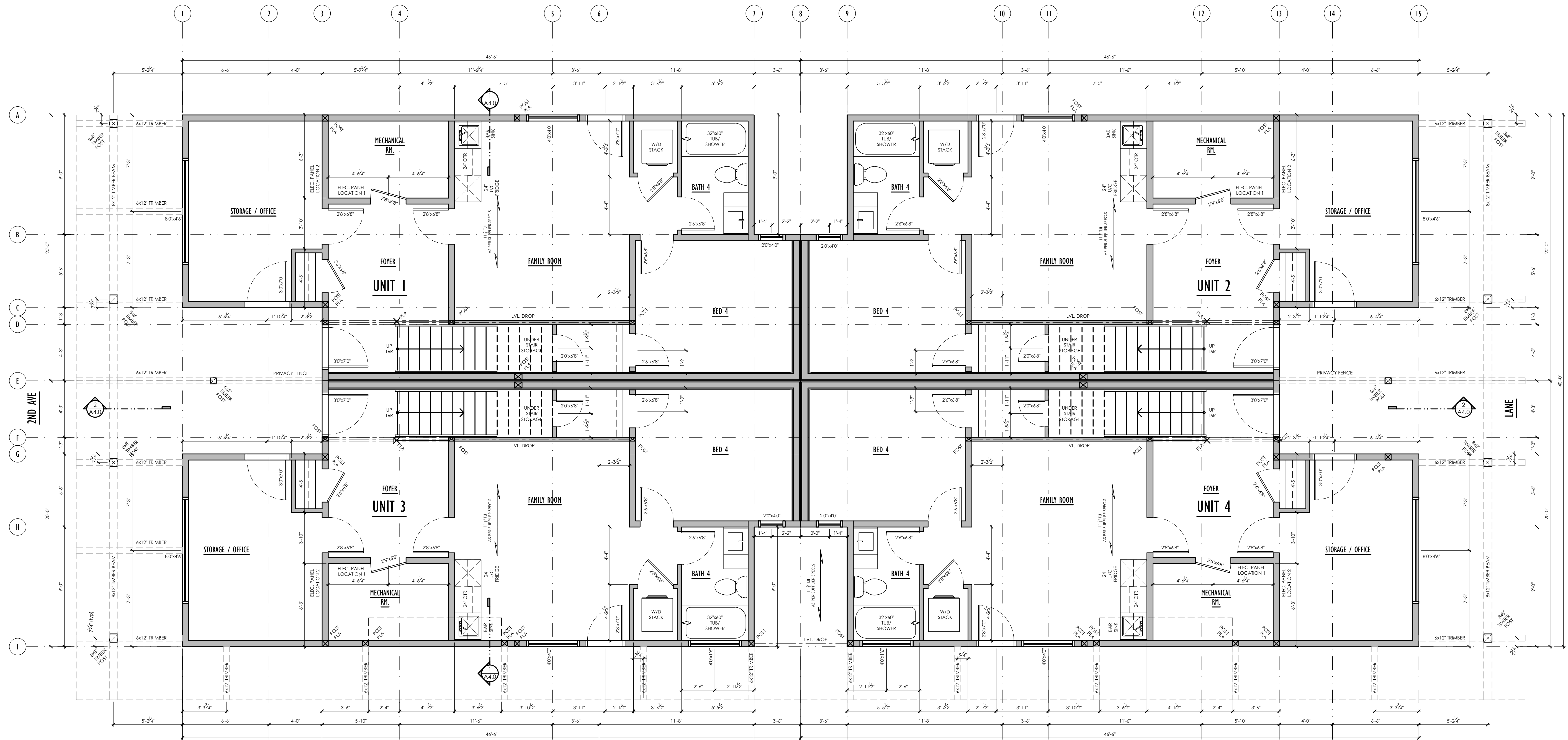
SCALE: AS NOTED

DRAWN BY: CHASE MULLEN

DRAWING TITLE:  
**LOWER FLOOR PLAN**

SHEET NO.

A2.1



1 LOWER FLOOR PLAN  
A2.1 1/4" = 1'-0"

13TH STREET

**SQUARE FOOTAGES**

	UNITS 1 & 2	UNITS 3 & 4	
TOTAL -	2320 ft. <sup>2</sup>	TOTAL -	2300 ft. <sup>2</sup>
LOWER FLOOR -	840 ft. <sup>2</sup>	LOWER FLOOR -	840 ft. <sup>2</sup>
MIDDLE FLOOR -	840 ft. <sup>2</sup>	MIDDLE FLOOR -	820 ft. <sup>2</sup>
UPPER FLOOR -	640 ft. <sup>2</sup>	UPPER FLOOR -	640 ft. <sup>2</sup>

FLOOR PLANS AND SQ.FT.'S ARE SUBJECT TO CHANGE AT THE DEVELOPER'S DISCRETION

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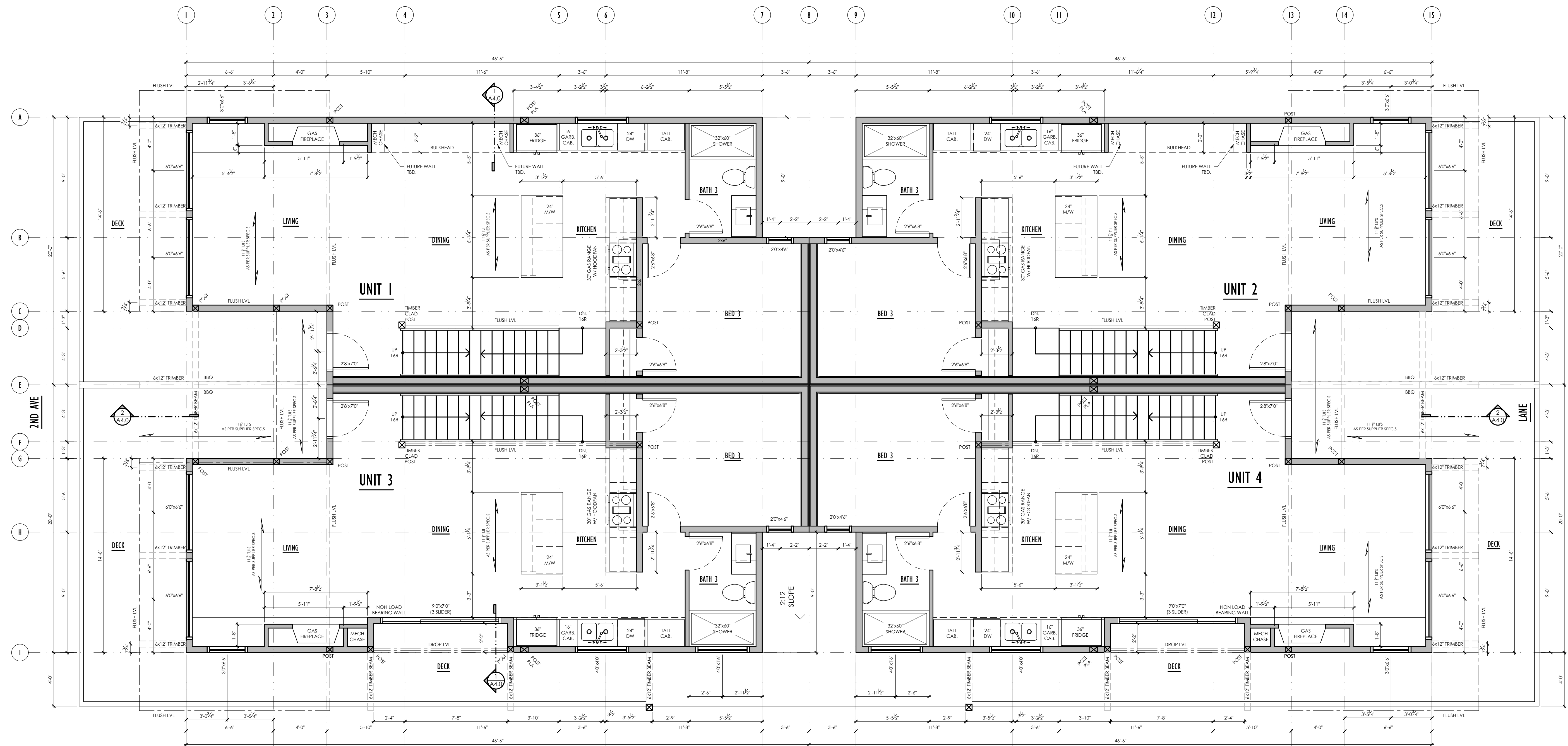
SCALE: AS NOTED

DRAWN BY: CHASE MULLEN

DRAWING TITLE:  
**MIDDLE FLOOR PLAN**

SHEET NO.

**A2.2**



**1 MIDDLE FLOOR PLAN**  
A2.2 1/4" = 1'-0"

SQUARE FOOTAGES			
UNITS 1 & 2		UNITS 3 & 4	
TOTAL -	2320 ft. <sup>2</sup>	TOTAL -	2300 ft. <sup>2</sup>
LOWER FLOOR -	840 ft. <sup>2</sup>	LOWER FLOOR -	840 ft. <sup>2</sup>
MIDDLE FLOOR -	840 ft. <sup>2</sup>	MIDDLE FLOOR -	820 ft. <sup>2</sup>
UPPER FLOOR -	640 ft. <sup>2</sup>	UPPER FLOOR -	640 ft. <sup>2</sup>

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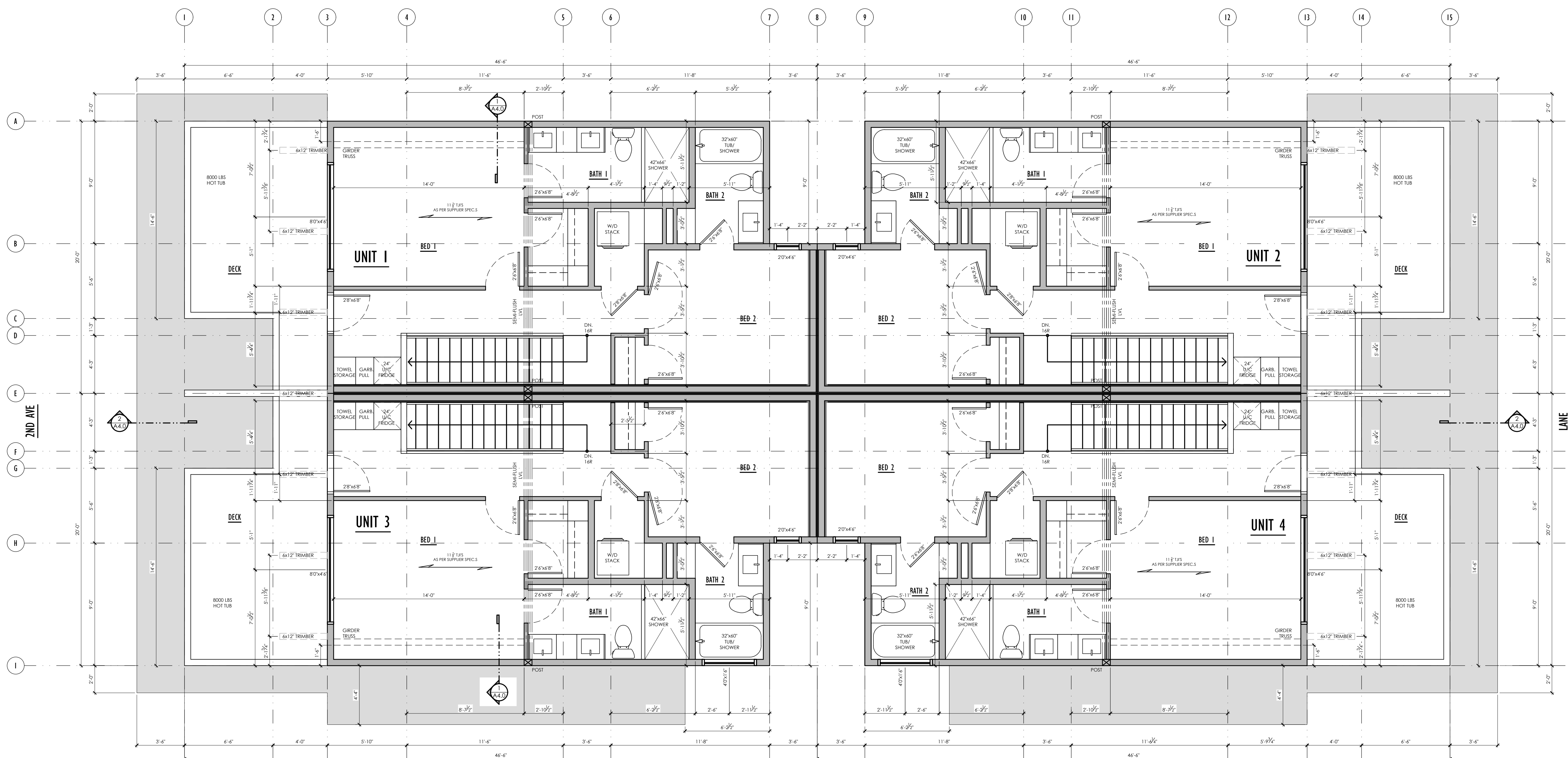
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UPPER FLOOR PLAN  
A2.3 1/4" = 1'-0"

SQUARE FOOTAGES			
UNITS 1 & 2		UNITS 3 & 4	
TOTAL -	2320 ft. <sup>2</sup>	TOTAL -	2300 ft. <sup>2</sup>
LOWER FLOOR -	840 ft. <sup>2</sup>	LOWER FLOOR -	840 ft. <sup>2</sup>
MIDDLE FLOOR -	840 ft. <sup>2</sup>	MIDDLE FLOOR -	820 ft. <sup>2</sup>
UPPER FLOOR -	640 ft. <sup>2</sup>	UPPER FLOOR -	640 ft. <sup>2</sup>

FLOOR PLANS AND SQ.FT.'S ARE SUBJECT TO CHANGE AT THE DEVELOPER'S DISCRETION

REVISION:

R2

DATE: 2023.04.25

SCALE: AS NOTED

DRAWN BY: CHASE MULLEN

DRAWING TITLE:  
UPPER FLOOR PLAN

SHEET NO.

A2.3

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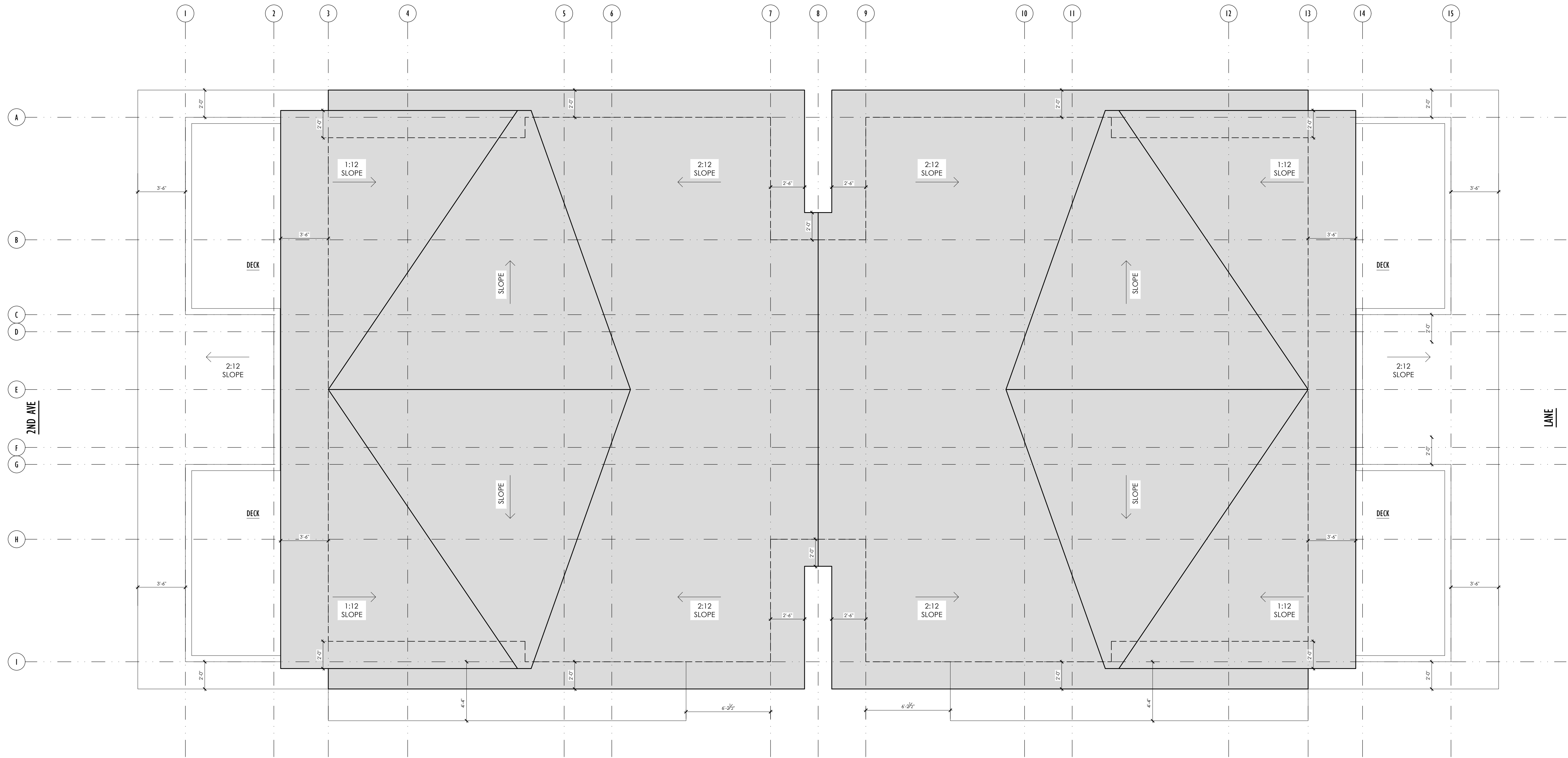
SCALE: AS NOTED

DRAWN BY: CHASE MULLEN

DRAWING TITLE:  
ROOF PLAN

SHEET NO.

A2.4



TORCH ON ROOFING

1 ROOF PLAN  
A2.4 1/4" = 1'-0"

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1 WEST ELEVATION  
A3.0 1/4" = 1'-0"



2 SOUTH ELEVATION  
A3.0 1/4" = 1'-0"

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R2

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DRAWN BY: CHASE MULLEN

DRAWING TITLE:  
WEST ELEVATION  
SOUTH ELEVATION

SHEET NO.

A3.0

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DATE: 2023.04.25

SCALE: AS NOTED

DRAWN BY: CHASE MULLEN

DRAWING TITLE:  
**EAST ELEVATION  
NORTH ELEVATION**

SHEET NO.

**A3.1**



1 EAST ELEVATION  
A3.1 1/4" = 1'-0"



2 NORTH ELEVATION  
A3.1 1/4" = 1'-0"

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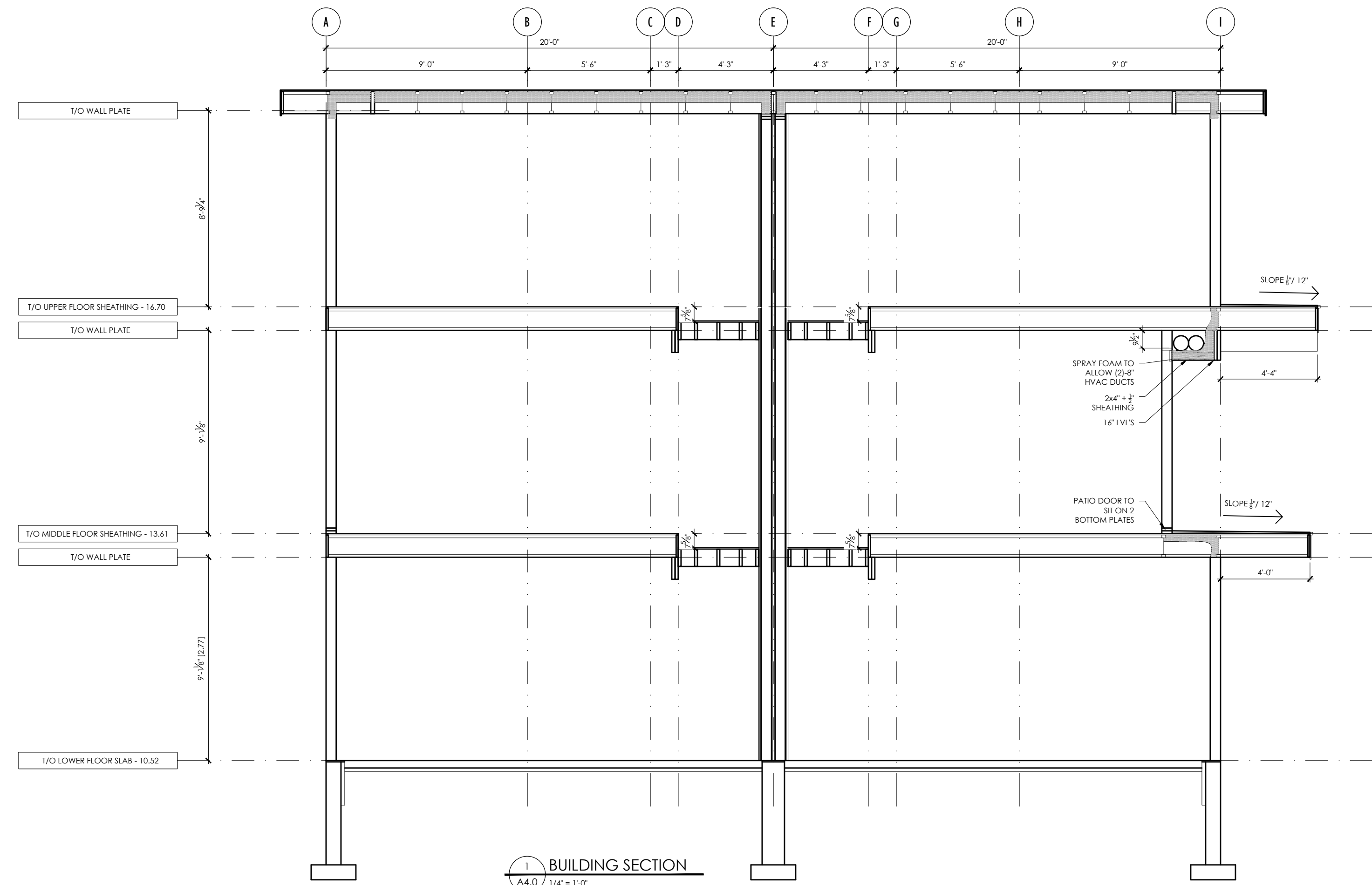
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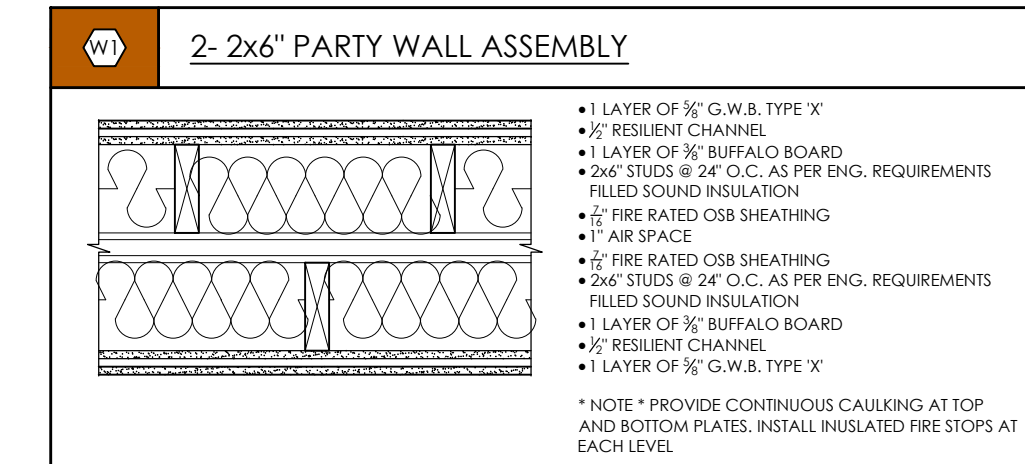
DRAWING TITLE:  
BUILDING SECTIONS

SHEET NO.

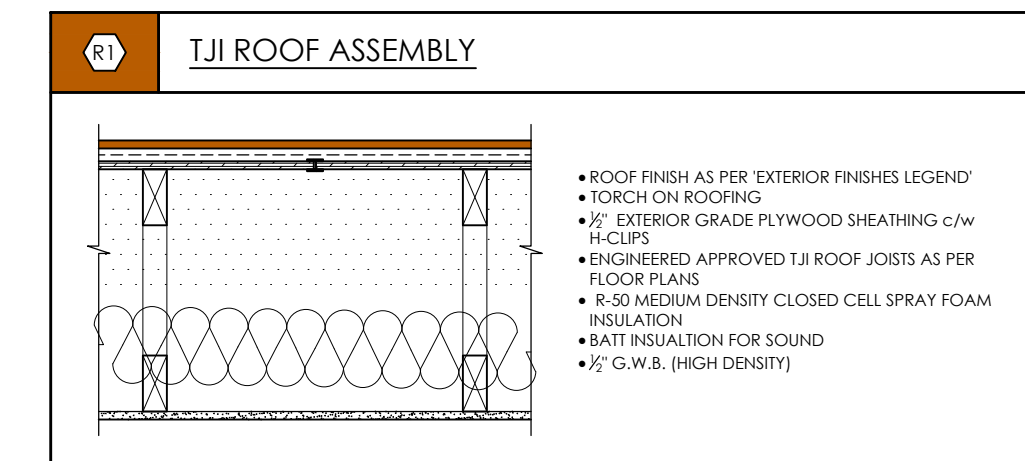
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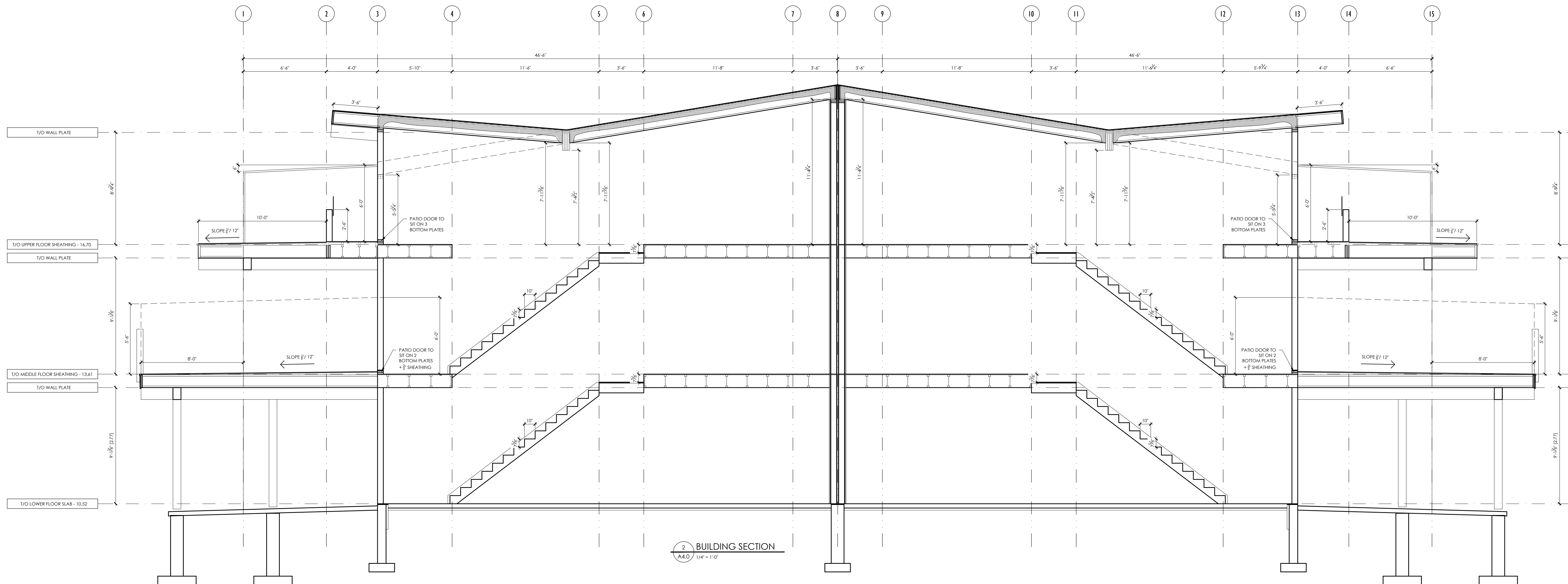
PARTY WALLS (W)



ROOFS (R)



1 BUILDING SECTION  
A4.0 / 1/4" = 1'-0"



2 BUILDING SECTION  
A4.0 / 1/4" = 1'-0"