

1st Floor

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
481 Pevero Place
Rivershore
PID 002-456-125

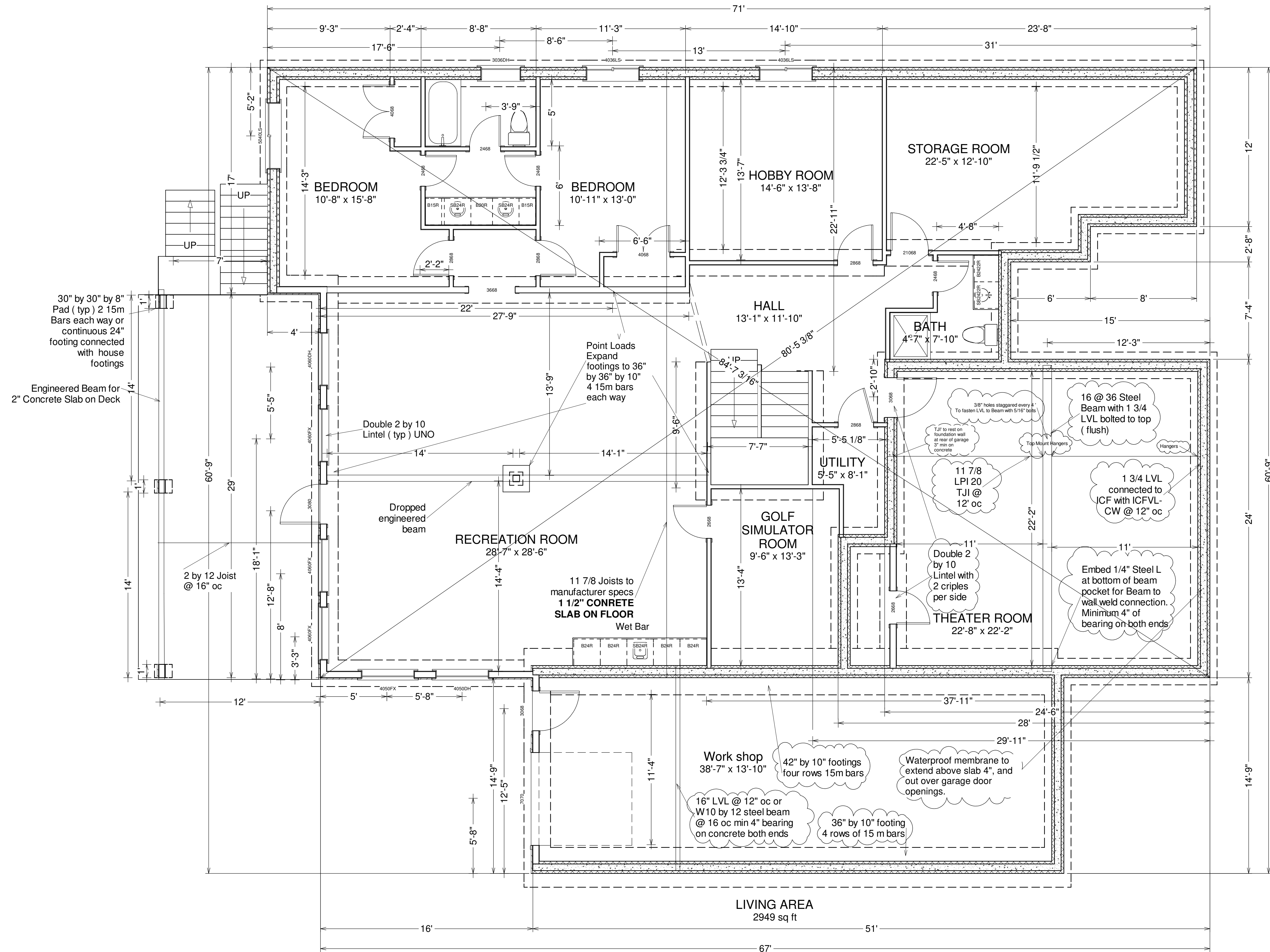
PROJECT DESCRIPTION:
Martens

DRAWINGS PROVIDED BY:
Prominent Homes
 2450 21 Street NE
 Salmon Arm, BC V1E 3Y3
 250 804 6760

DATE:
 2021-03-23

SCALE:
 1/4" = 1' UNO

SHEET:
A-1



Foundation

NO.	DESCRIPTION	BY	DATE

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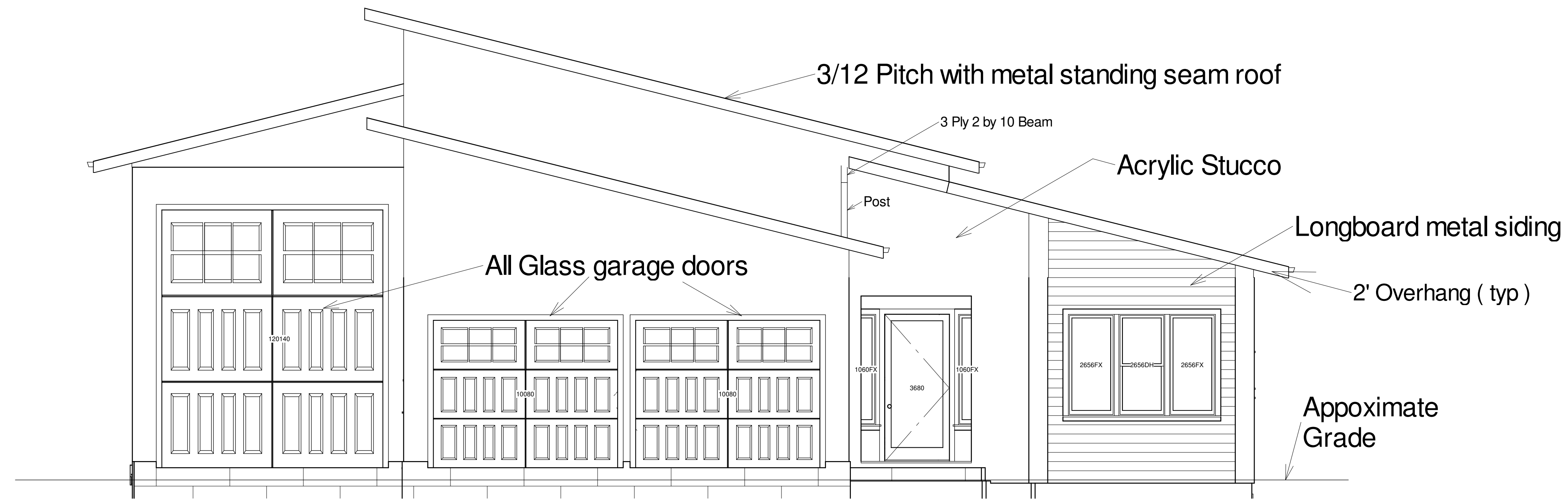
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EAST ELEVATION



Elevation 2

WEST ELEVATION



Elevation 8

Frost Walls not shown

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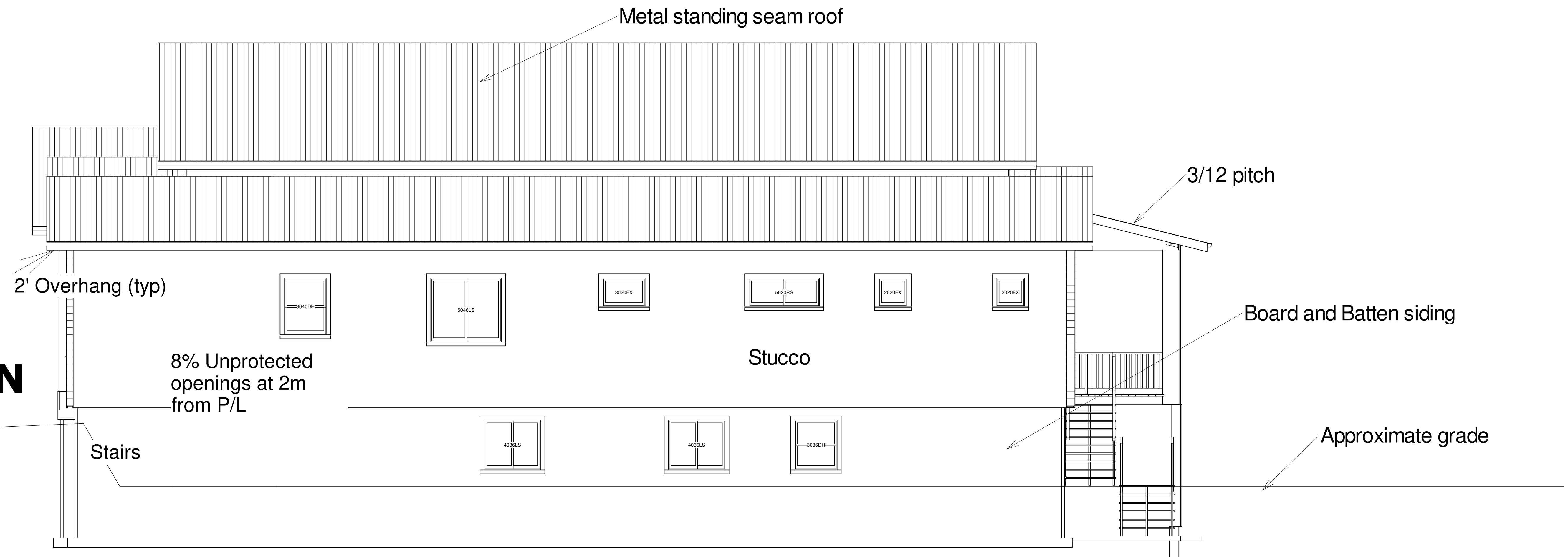
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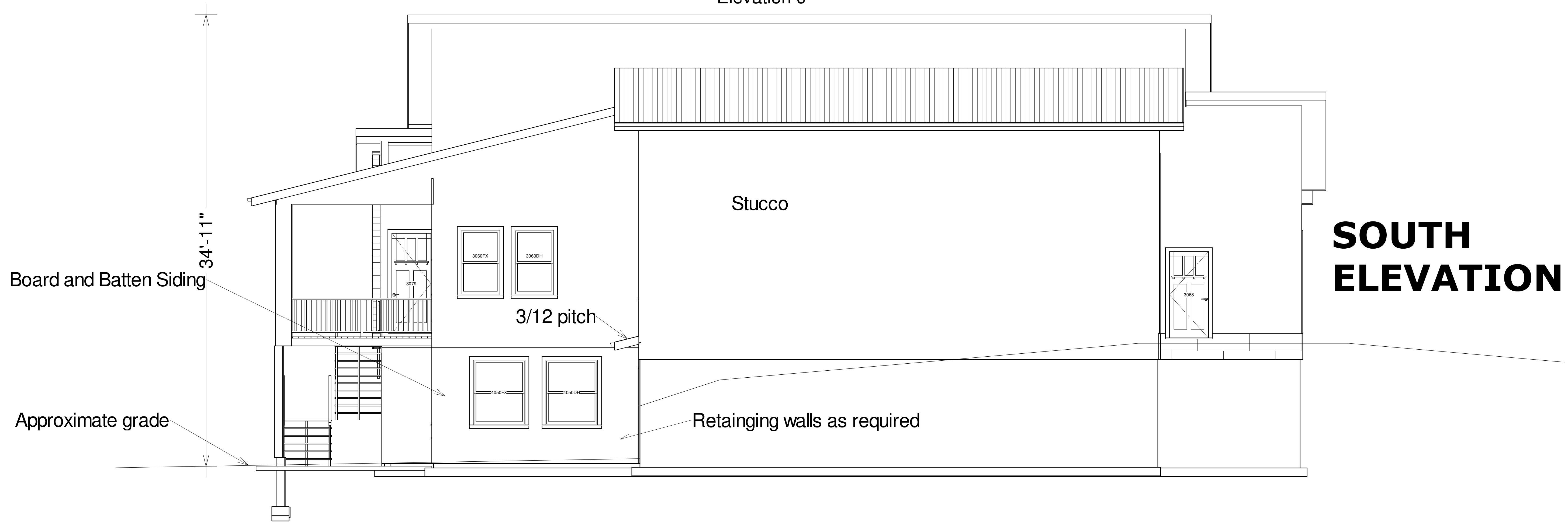
SHEET:

A-3

NORTH ELEVATION



Elevation 9



SOUTH ELEVATION

Elevation 13

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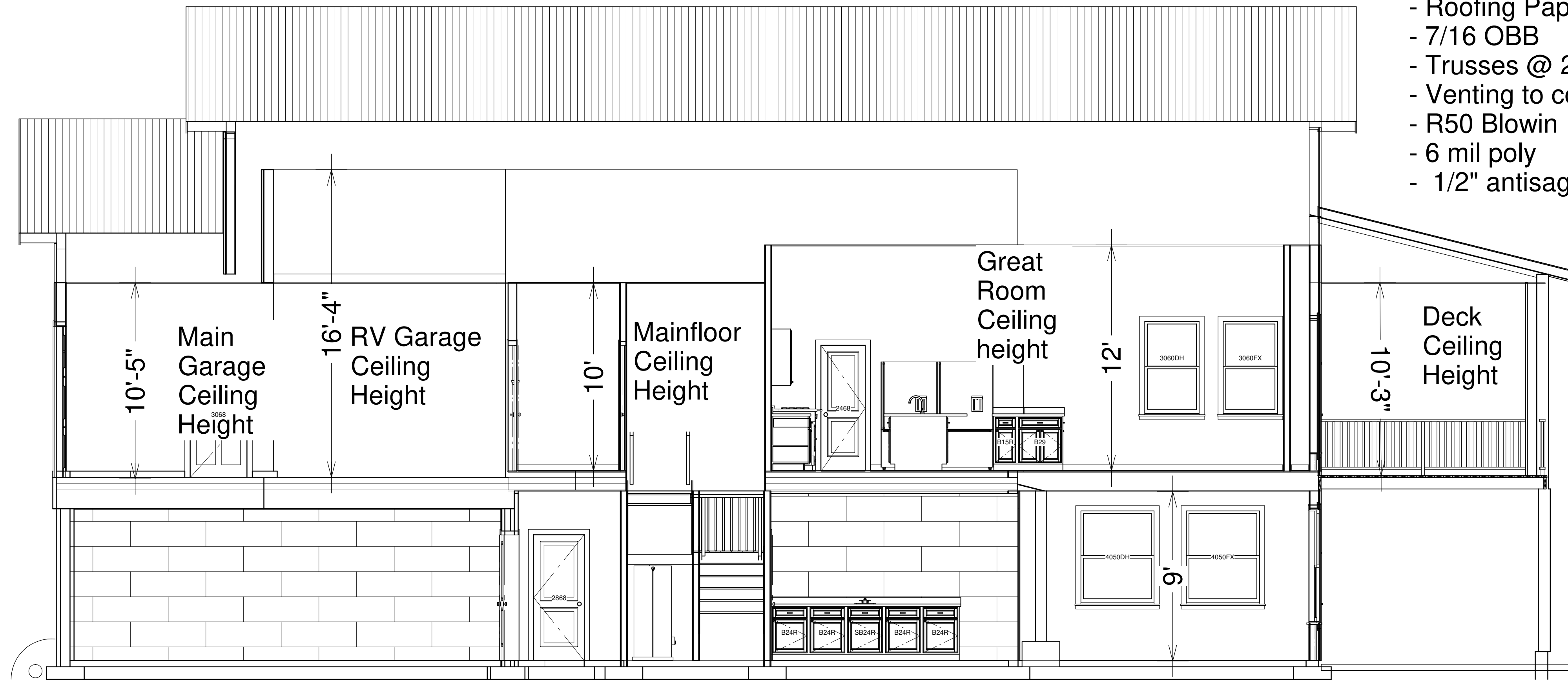
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SHEET:
A-4

CROSS SECTIONS

Roof Section

- Metal Standing Seam Roof
- Roofing Paper
- 7/16 OBB
- Trusses @ 24" oc
- Venting to code
- R50 Blowin Insuation
- 6 mil poly
- 1/2" antisag Drywall



Drainage Section

- 4" CSA Perf Pipe
- Minmum 6" drain rock
- Landscape fabric
- Compacted fill

Basement Slab Section

- Flooring as per owner spec
- 4" 28MPA concrete
- 3.5" Styrofoam insulation (r14)
- minimum 6" radon rock vented to exterior
- clean compacted fill or native

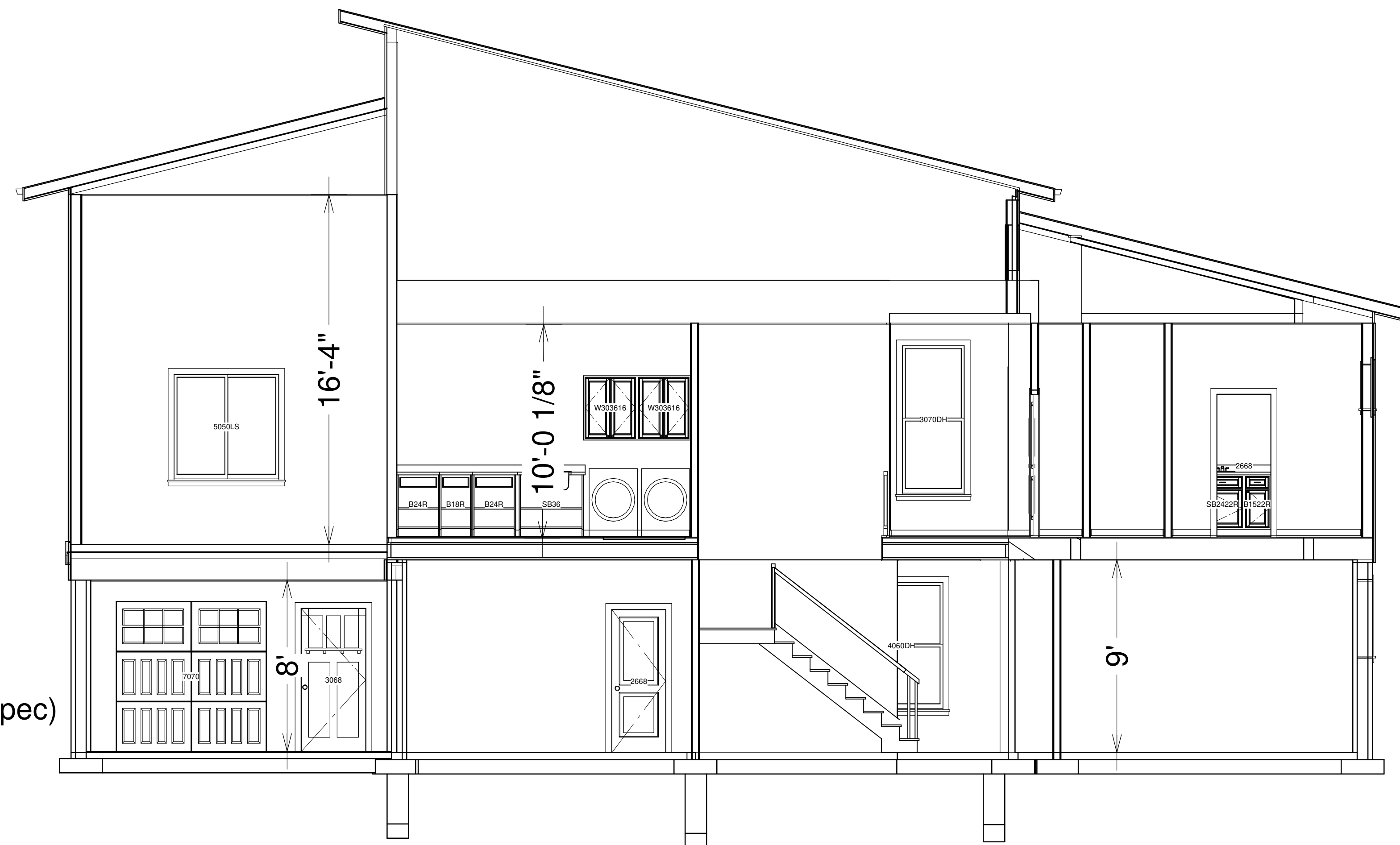
Garage Slab Section

- 4" 32 MPA concrete slab
- 24" 10mm rebar grid
- Waterproof membrane
- 3/4" Plywood Sheathing
- 11 7/8" TJI @12 0c
- 16" LVL for RV garage @ 12 oc
- Various supporting Details to Engineers Spec
- R 28 sprayfoam insulation
- 1/2" GWB

Elevation 16

Foundation Section

- 12" by 24" 32 MPA Footings on approved soils
- 15mm bars continuous
- expanded footings for point loads as shown in different areas
- minimum 4' frost protection (not shown)
- 1' Amvic R22 ICF Blocks
- rebar to BCBC (max backfill height 9'6)
- 8" concrete walls (rebar to owners spec)
- 3 MPA concrete
- urethane Peel and stick
- above grade ICF's covered with Siding
- compacted backfill



Elevation 19

Floor Section

- Flooring as per owner spec
- 1 1/2" concrete slab
- 3/4" OSB Sheathing
- 11 7/8 TJI to manufacturer spec
- 1/2' GWB

Exterior Wall Section

- Stucco/Longboard/Board and Batten Cladding
- Approved Building Paper
- 7/16" OSB
- 2 by 6 Studs @ 24" oc
- R 24 Batt insulation
- 6 Mil Poly
- 1/2" GWB

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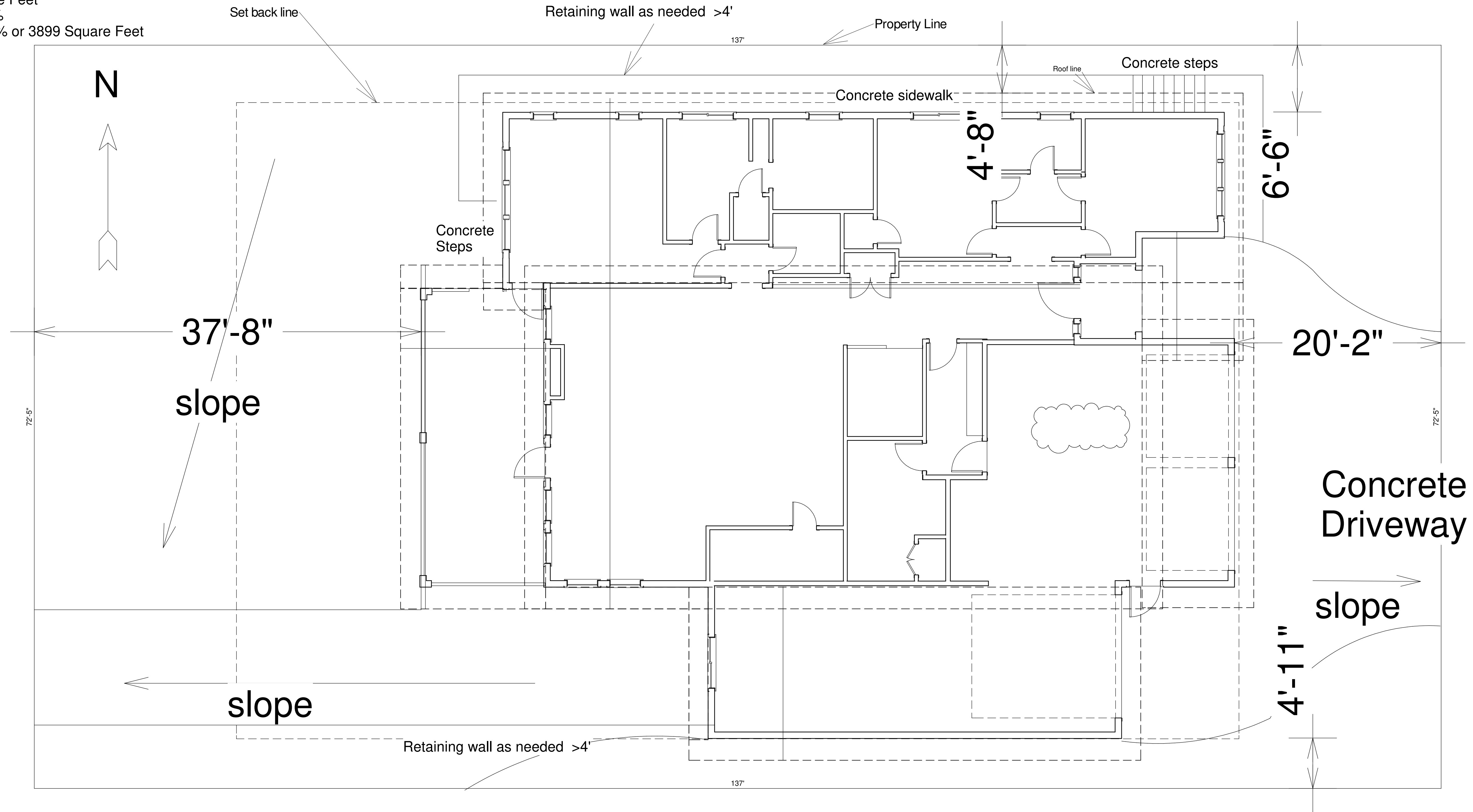
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Area Of Lot = 9898 Square Feet
 Coverage permitted = 40%
 Coverage proposed = 39.4% or 3899 Square Feet



Scale = 3/16" = 1'

SITE PLAN

1st Floor

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A-6