

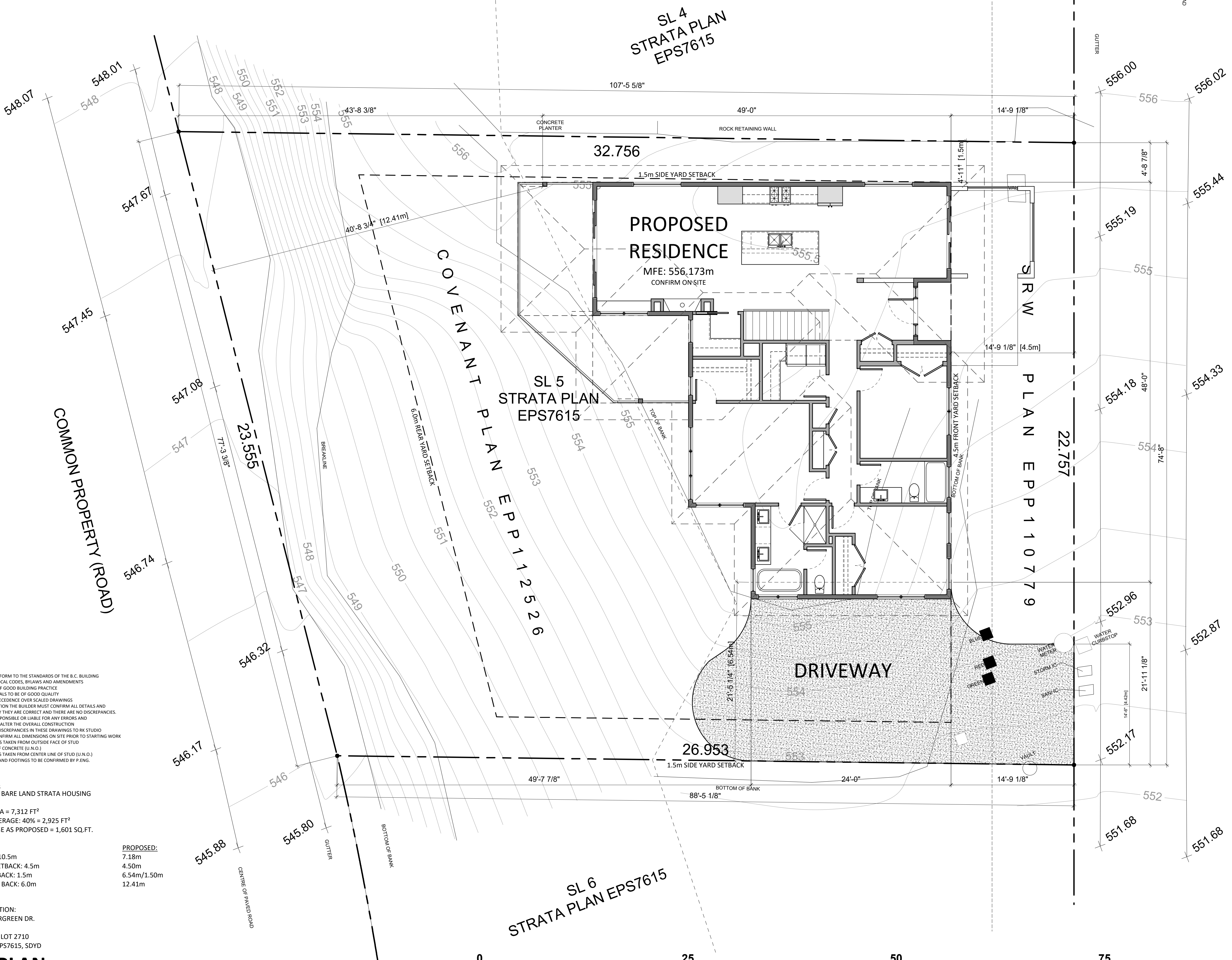
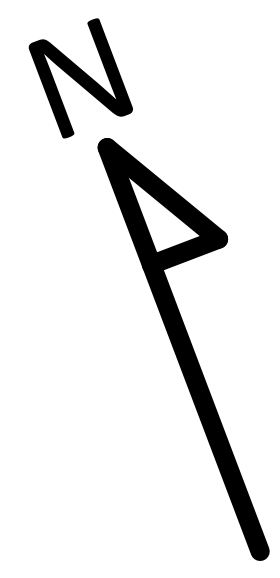
**RK | STUDIO**  
 RESIDENTIAL DESIGN AND DRAFTING  
 1760 KLOPPENBURG RD., KELOWNA, BC  
 (250)-317-6875 ryan.rkstudio@gmail.com

PROJECT NAME:  
**THE BLUFFS AT SKAHA**  
**SL 5 - RITCHIE CUSTOM HOMES**  
 DRAWN BY:  
**RK**  
 NOTES:  
**COMPLIANCE REPORT BUILDING ASSEMBLIES**

SHEET TITLE:  
**COVER PAGE**  
 SCALE:  
**1/4" = 1'-0"**  
 DATE: YYYY-MM-DD  
**2024-06-21**  
 ISSUED FOR:  
**WORKING DRAWINGS**  
 LEGAL DESCRIPTION:  
**#105 3331 EVERGREEN DR. PENTICTON, BC.**  
**LOT 11, DISTRICT LOT 2710 STRATA PLAN EPS7615 SDYD**

**A0**

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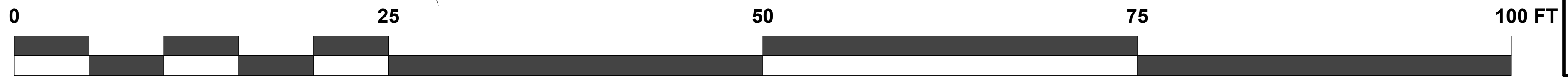
**GENERAL NOTES:**  
 -ALL WORK SHALL CONFORM TO THE STANDARDS OF THE B.C. BUILDING CODE 2024 AND ALL LOCAL CODES, BYLAWS AND AMENDMENTS  
 -ALL WORK SHALL BE OF GOOD BUILDING PRACTICE  
 -ALL BUILDING MATERIALS TO BE OF GOOD QUALITY  
 -DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS  
 -PRIOR TO CONSTRUCTION THE BUILDER MUST CONFIRM ALL DETAILS AND DIMENSIONS TO VERIFY THEY ARE CORRECT AND THERE ARE NO DISCREPANCIES.  
 -PLEASE REPORT ANY DISCREPANCIES IN THESE DRAWINGS TO RK STUDIO  
 -ALL TRADES SHALL CONFIRM ALL DIMENSIONS ON SITE PRIOR TO STARTING WORK  
 -EXTERIOR DIMENSIONS TAKEN FROM OUTSIDE FACE OF STUD AND EXTERIOR FACE OF CONCRETE (U.N.O.)  
 -INTERIOR DIMENSIONS TAKEN FROM CENTER LINE OF STUD (U.N.O.)  
 -FOUNDATION WALLS AND FOOTINGS TO BE CONFIRMED BY P.ENG.

**SITE STATISTICS**  
 ZONING: RM1 - BARE LAND STRATA HOUSING  
 TOTAL LOT AREA = 7,312 FT<sup>2</sup>  
 MAX. SITE COVERAGE: 40% = 2,925 FT<sup>2</sup>  
 SITE COVERAGE AS PROPOSED = 1,601 SQ.FT.

**REQUIRED:**  
 MAX. HEIGHT: 10.5m  
 FRONT YARD SETBACK: 4.5m  
 SIDE YARD SETBACK: 1.5m  
 REAR YARD SETBACK: 6.0m

**LEGAL DESCRIPTION:**  
 #105 3331 EVERGREEN DR.  
 PENTICTON, BC  
 LOT 5 DISTRICT LOT 2710  
 STRATA PLAN EPS7615, SDYD

**SITE PLAN**  
 SCALE: 3/16" = 1'-0"



PROJECT NAME: <b>THE BLUFFS AT SKAHA SL 5 - RITCHIE CUSTOM HOMES</b>	PROJECT NUMBER: <b>110779</b>
DRAWN BY: <b>RK</b>	DATE: <b>2024-06-21</b>
NOTES: <b>COMPLIANCE REPORT BUILDING ASSEMBLIES</b>	ISSUED FOR: <b>WORKING DRAWINGS</b>

SHEET TITLE: <b>SITE PLAN</b>	SCALE: <b>1/8" = 1'-0"</b>
LEGAL DESCRIPTION: <b>#105 3331 EVERGREEN DR. PENTICTON, BC. LOT 11, DISTRICT LOT 2710 STRATA PLAN EPS7615 SDYD</b>	DATE: <b>2024-06-21</b>

**A1**

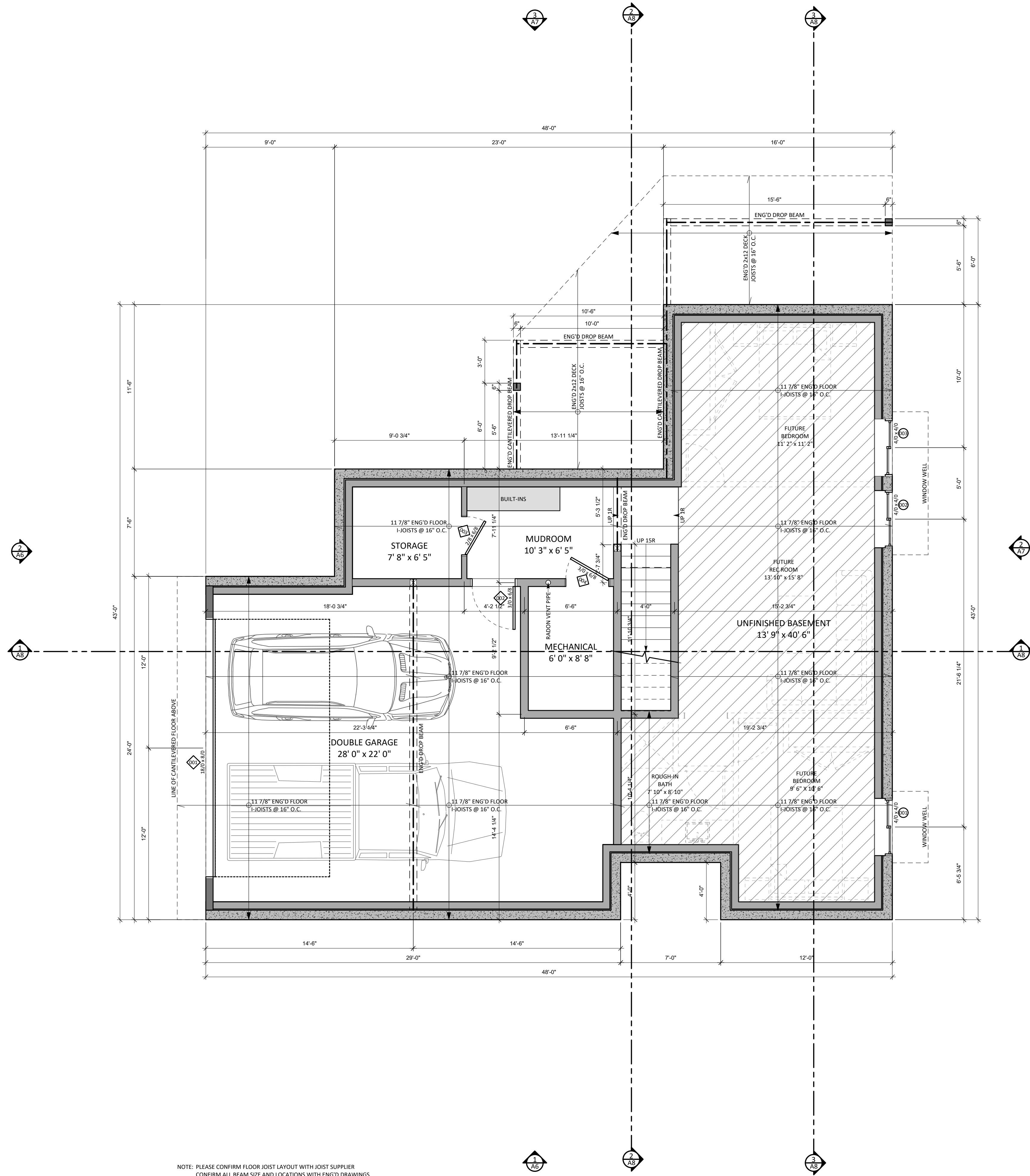
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WINDOW SCHEDULE				
NO.	SIZE	HEAD HT.	SILL HT.	TYPE
001	4/0 x 0/0	8'-0"	4'-0"	SINGLE SLIDING
002	4/0 x 0/0	8'-0"	4'-0"	SINGLE SLIDING
003	4/0 x 0/0	8'-0"	4'-0"	SINGLE SLIDING

DOOR SCHEDULE		
NO.	SIZE	TYPE
001	3/0 x 8/0	OVERHEAD
002	3/0 x 6/6	INT. GARAGE ENTRY
003	2/8 x 6/8	SINGLE INTERIOR
004	3/0 x 6/6	SINGLE INTERIOR

NOTE:  
 -ALL DOORS TO BE MIN. 2 STUDS FROM CORNERS TO ALLOW FOR TRIM  
 -ALL DOORS TO BE CENTERED IN CORRIDORS AND CLOSET  
 -ALL OTHER INSTANCES WILL BE NOTED AND DIMENSIONED  
 CONFIRM ALL DOOR AND WINDOW DIMENSIONS PRIOR TO ORDERING TO ENSURE PROPER EGRESS AND NO DISCREPANCIES

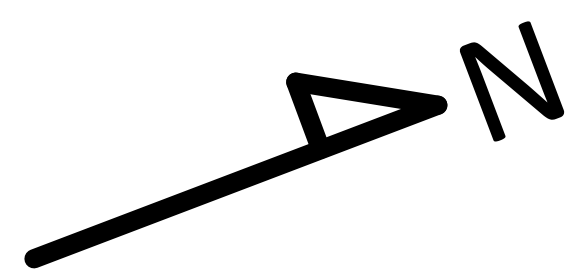


NOTE: PLEASE CONFIRM FLOOR JOIST LAYOUT WITH JOIST SUPPLIER  
 CONFIRM ALL BEAM SIZE AND LOCATIONS WITH ENG'D DRAWINGS

FINISHED FLOOR AREA: 115 SQ.FT.  
 UNFINISHED FLOOR AREA: 693 FT<sup>2</sup>  
 MECH./STORAGE AREA: 139 FT<sup>2</sup>  
 TOTAL LOWER FLOOR AREA: 946 FT<sup>2</sup>  
 GARAGE AREA: 621 FT<sup>2</sup>

## LOWER FLOOR PLAN

SCALE: 1/4" = 1'-0"



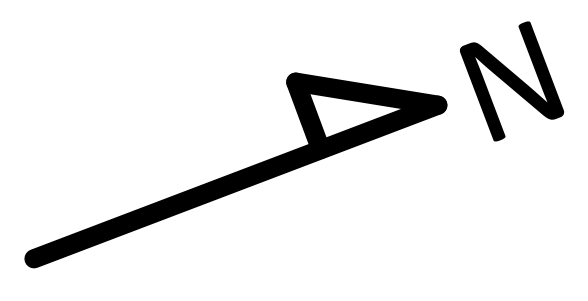
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PROJECT NAME:  
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 SL 5 - RITCHIE CUSTOM HOMES**  
 DRAWN BY:  
**RK**  
 NOTES:  
**COMPLIANCE REPORT BUILDING ASSEMBLIES**

SHEET TITLE:  
**LOWER FLOOR PLAN**  
 SCALE:  
**1/4" = 1'-0"**  
 DATE: YYYY-MM-DD  
**2024-06-21**  
 ISSUED FOR:  
**WORKING DRAWINGS**  
 LEGAL DESCRIPTION:  
**#105 3331 EVERGREEN DR. PENTICTON, BC.  
 LOT 11, DISTRICT LOT 2710 STRATA PLAN EPS7615 SDYD**

**A3**

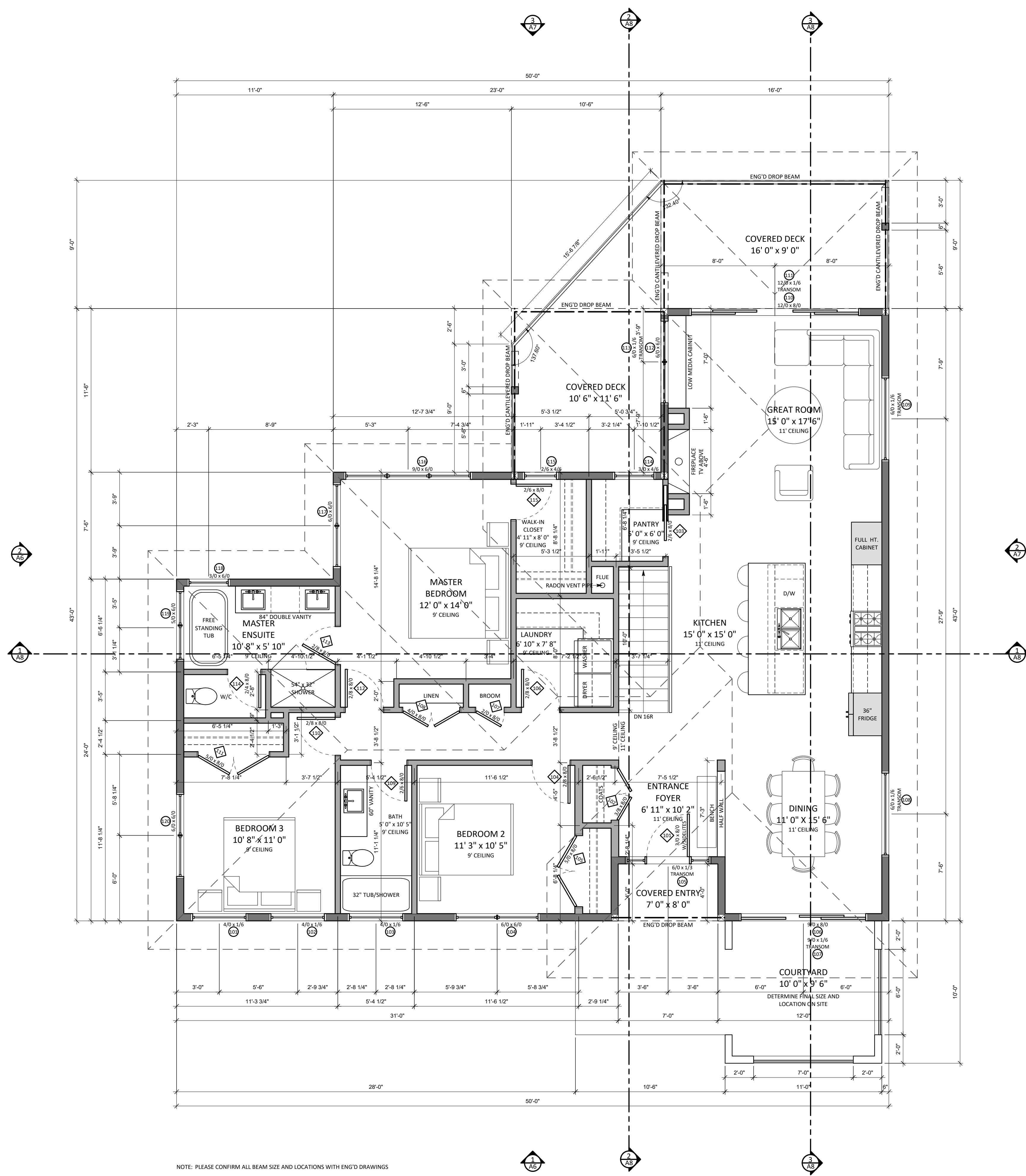
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WINDOW SCHEDULE					
NO.	SIZE	HEAD HT	SILL HT	TYPE	
101	4/0 x 2/6	8'-0"	6'-6"	FIXED	
102	4/0 x 2/6	8'-0"	6'-6"	FIXED	
103	4/0 x 2/6	8'-0"	6'-6"	FIXED	
104	6/0 x 6/0	8'-0"	7'-0"	FIXED/CASEMENT	
105	7/0 x 2/6	10'-0"	8'-9"	FIXED	
106	9/0 x 8/0	8'-0"	7'-0"	PATIO SLIDER	
107	9/0 x 2/6	10'-0"	8'-9"	FIXED	
108	6/0 x 2/6	10'-0"	8'-9"	FIXED	
109	6/0 x 2/6	10'-0"	8'-9"	FIXED	
110	12/0 x 8/0	8'-0"	7'-0"	PATIO SLIDER	
111	12/0 x 1/6	10'-0"	8'-6"	FIXED	
112	6/0 x 6/0	8'-0"	7'-0"	FIXED	
113	6/0 x 2/6	10'-0"	8'-9"	FIXED	
114	3/0 x 4/6	8'-0"	3'-6"	CASEMENT	
115	2/6 x 4/6	8'-0"	3'-6"	CASEMENT	
116	9/0 x 6/0	8'-0"	7'-0"	FIXED/CASEMENT	
117	6/0 x 6/0	8'-0"	7'-0"	FIXED/CASEMENT	
118	3/0 x 6/0	8'-0"	7'-0"	CASEMENT	
119	5/0 x 6/0	8'-0"	7'-0"	FIXED/CASEMENT	
120	6/0 x 6/0	8'-0"	7'-0"	FIXED/CASEMENT	

DOOR SCHEDULE		
NO.	SIZE	TYPE
101	3/0 x 8/0	SINGLE EXTERIOR
102	2/2 W.	W/SHIELDS
103	3/8 x 8/0	DOUBLE INTERIOR
104	2/6 x 8/0	SINGLE POCKET
105	2/6 x 8/0	SINGLE INTERIOR
106	5/0 x 9/0	DOUBLE INTERIOR
107	2/8 x 8/0	SINGLE INTERIOR
108	2/8 x 8/0	SINGLE INTERIOR
109	2/6 x 8/0	SINGLE INTERIOR
110	2/8 x 8/0	SINGLE INTERIOR
111	5/0 x 9/0	DOUBLE INTERIOR
112	2/8 x 8/0	SINGLE INTERIOR
113	2/8 x 8/0	SINGLE INTERIOR
114	2/4 x 8/0	SINGLE INTERIOR
115	2/6 x 8/0	SINGLE INTERIOR

NOTE:  
 -ALL DOORS TO BE MIN. 2 STUDS FROM CORNERS TO ALLOW FOR TRIM  
 -ALL DOORS TO BE CENTERED IN CORRIDORS AND CLOSET  
 -ALL OTHER INSTANCES WILL BE NOTED AND DIMENSIONED  
 CONFIRM ALL DOOR AND WINDOW DIMENSIONS PRIOR TO ORDERING TO ENSURE PROPER EGRESS AND NO DISCREPANCIES



NOTE: PLEASE CONFIRM ALL BEAM SIZE AND LOCATIONS WITH ENG'D DRAWINGS

MAIN FLOOR AREA: 1,649 FT<sup>2</sup>

# MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"



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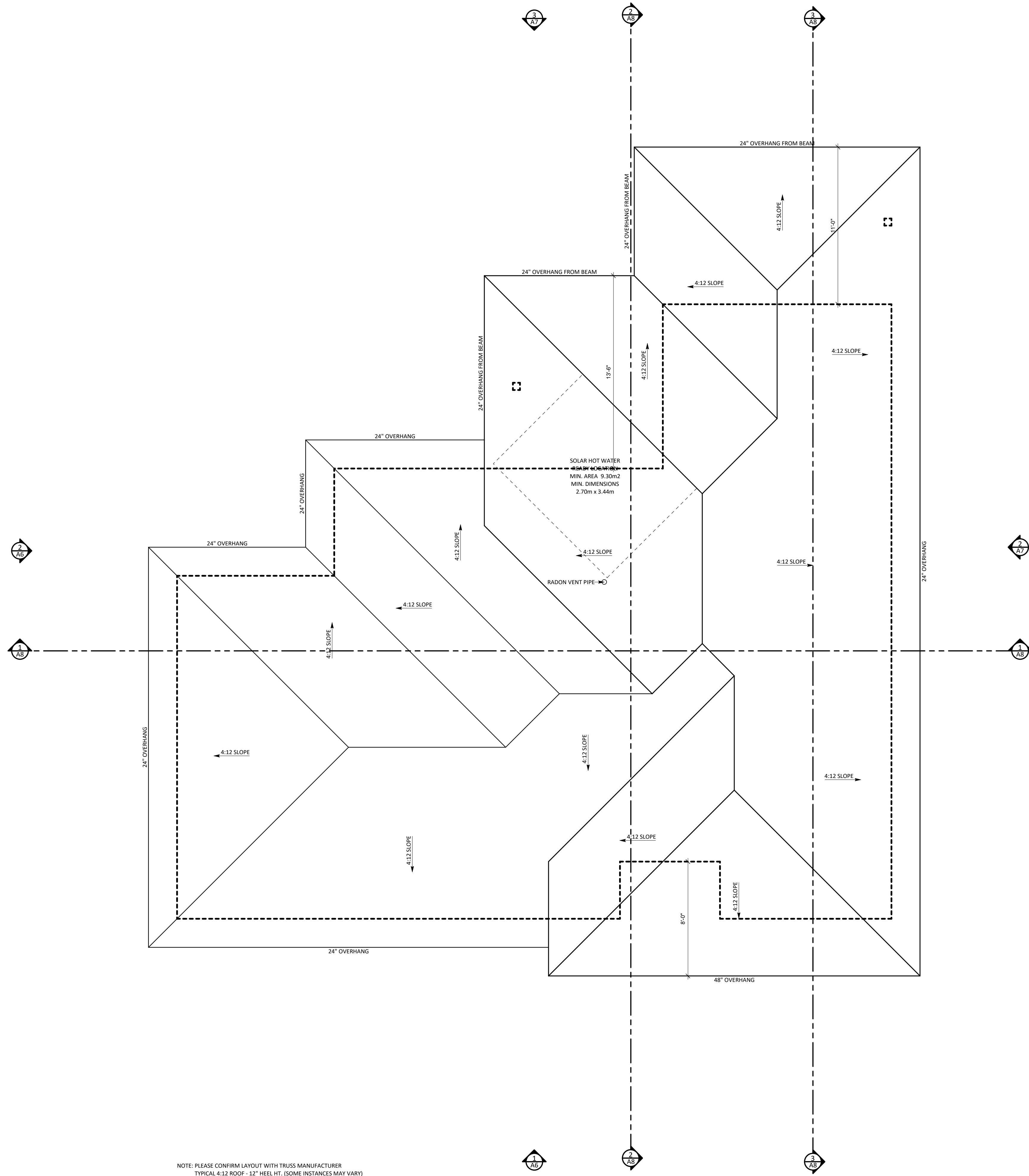
PROJECT NAME:  
**THE BLUFFS AT SKAHA**  
**SL 5 - RITCHIE CUSTOM HOMES**  
 DRAWN BY:  
**RK**  
 NOTES:  
**COMPLIANCE REPORT BUILDING ASSEMBLIES**

SHEET TITLE:  
**MAIN FLOOR PLAN**  
 SCALE:  
**1/4" = 1'-0"**  
 DATE: YYYY-MM-DD  
**2024-06-21**  
 ISSUED FOR:  
**WORKING DRAWINGS**  
 LEGAL DESCRIPTION:  
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**LOT 11, DISTRICT LOT 2710 STRATA PLAN EPS7615 SDYD**  
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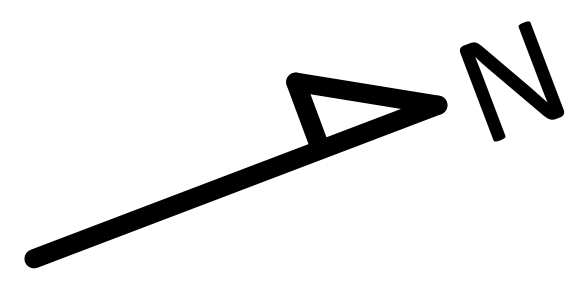
**A4**

# ROOF PLAN

SCALE: 1/4" = 1'-0"



NOTE: PLEASE CONFIRM LAYOUT WITH TRUSS MANUFACTURER  
TYPICAL 4:12 ROOF - 12" HEEL HT. (SOME INSTANCES MAY VARY)



SHEET TITLE: **ROOF PLAN**

PROJECT NAME:  
**THE BLUFFS AT SKAHA  
SL 5 - RITCHIE CUSTOM HOMES**

SCALE: **1/4" = 1'-0"**

DRAWN BY:  
**RK**

DATE: YYYY-MM-DD  
**2024-06-21**

ISSUED FOR:  
**WORKING DRAWINGS**

LEGAL DESCRIPTION:  
**#105 3331 EVERGREEN DR. PENTICTON, BC.  
LOT 11, DISTRICT LOT 2710 STRATA PLAN EPS7615 SDYD**

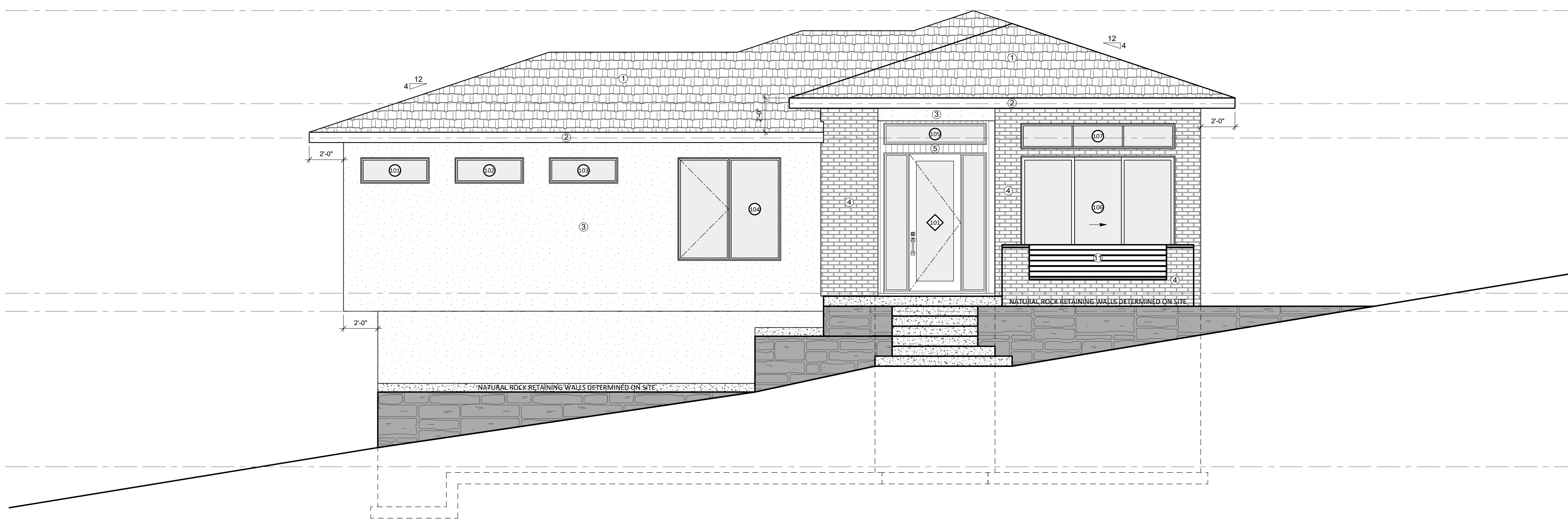
NOTES:  
**COMPLIANCE REPORT BUILDING ASSEMBLIES**

**A5**

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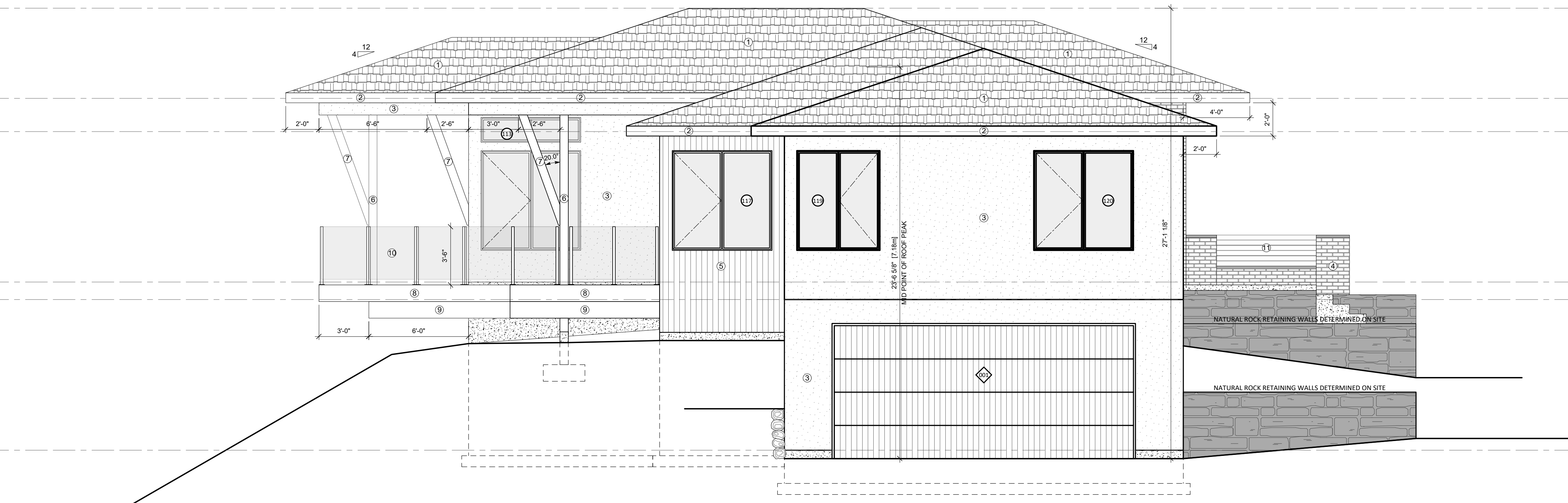
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TOP OF ROOF PEAK  
 16'-5 3/4"  
 U/S OF RAISED ROOF TRUSSES  
 11'-0 3/4"  
 U/S OF ROOF TRUSSES  
 9'-0 3/4"  
 26'-7 1/8"  
 9'-0 3/4"  
 TOP OF MAIN FLOOR SUBFLOOR  
 0'-0" (556.173m)  
 U/S OF MAIN FLOOR JOISTS  
 -1'-0 5/8"  
 9'-0 3/4"  
 TOP OF BASEMENT SLAB  
 -10'-1 3/8" (553.090m)



**FRONT ELEVATION**  
 SCALE: 1/4" = 1'-0"

TOP OF ROOF PEAK  
 16'-5 3/4"  
 U/S OF RAISED ROOF TRUSSES  
 11'-0 3/4"  
 U/S OF ROOF TRUSSES  
 9'-0 3/4"  
 26'-7 1/8"  
 9'-0 3/4"  
 TOP OF MAIN FLOOR SUBFLOOR  
 0'-0" (556.173m)  
 U/S OF MAIN FLOOR JOISTS  
 -1'-0 5/8"  
 9'-0 3/4"  
 TOP OF BASEMENT SLAB  
 -10'-1 3/8" (553.090m)



**LEFT ELEVATION**  
 SCALE: 1/4" = 1'-0"

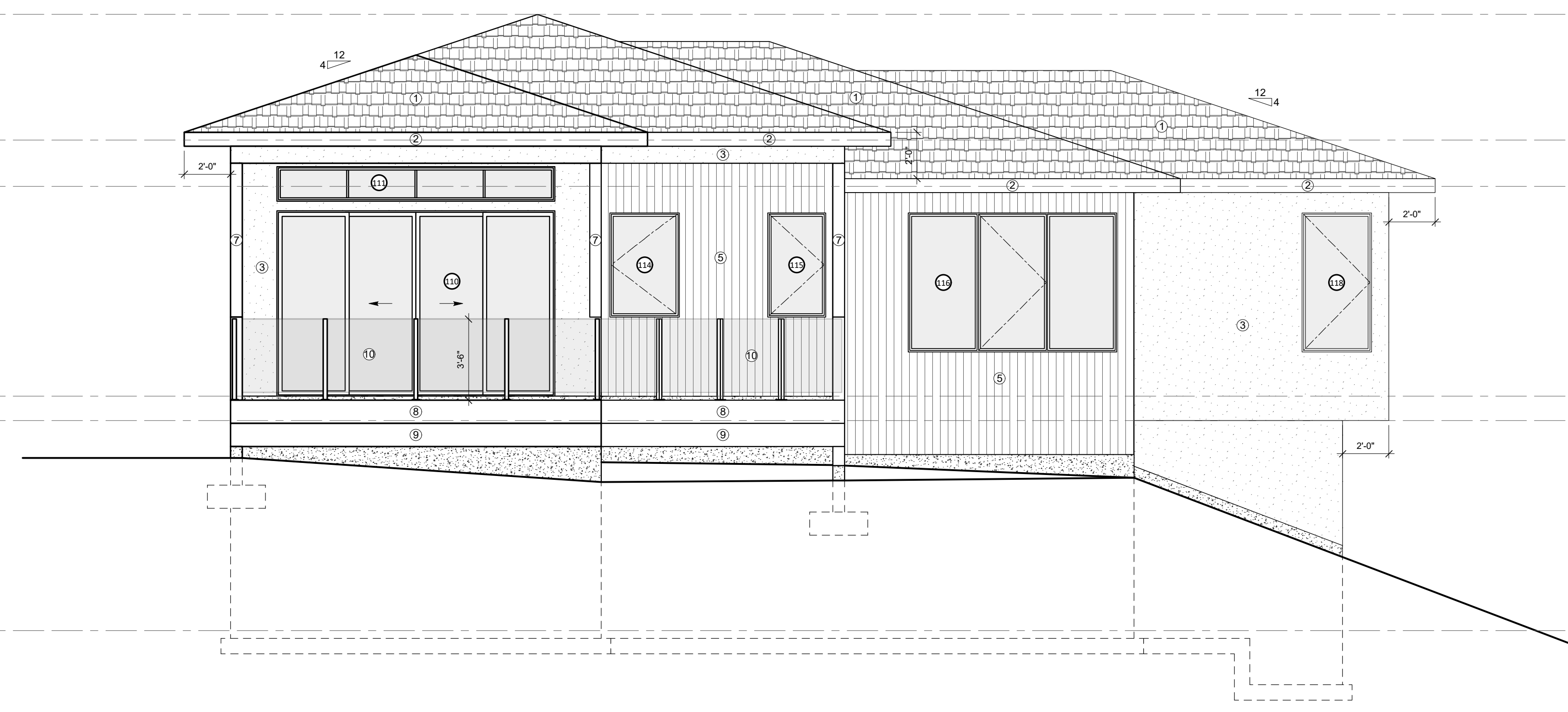
SPATIAL SEPARATION CALCULATION:  
 7.5m LIMITING DISTANCE  
 TOTAL EXPOSED BUILDING FACE TO BE CALCULATED: 473 ft² (43.9m²)  
 MAX. AREA OF UNPROTECTED OPENINGS  
 <50m² MAX BUILDING FACE @ 6.0m LIMITING DISTANCE = 57% = 269.6 ft²  
 PROPOSED AREA OF UNPROTECTED OPENINGS: 66 ft²

- EXTERIOR FINISHES**
- ① ASPHALT ROOFING SINGLES
  - ② ALUMINUM GUTTER ON 8" SMART BOARD FASCIA
  - ③ ACRYLIC STUCCO
  - ④ BRICK VENEER
  - ⑤ VERTICAL T&G WOOD SIDING (OR METAL ALTERNATIVE)
  - ⑥ 6x6 WOOD POST
  - ⑦ 6x6 ANGLED WOOD BRACKET SUPPORT
  - ⑧ 12" SMART BOARD DECK FASCIA
  - ⑨ 6x12 WOOD BEAM
  - ⑩ 42" GLASS RAILING W/ SQUARE POST
  - ⑪ DECORATIVE WOOD PRIVACY SLATS

PROJECT NAME: <b>THE BLUFFS AT SKAHA</b>	ISSUED FOR: <b>WORKING DRAWINGS</b>
CLIENT: <b>SL 5 - RITCHIE CUSTOM HOMES</b>	DATE: YYYY-MM-DD <b>2024-06-21</b>
DRAWN BY: <b>RK</b>	SCALE: <b>1/4" = 1'-0"</b>
NOTES: <b>COMPLIANCE REPORT BUILDING ASSEMBLIES</b>	LEGAL DESCRIPTION: <b>#105 3331 EVERGREEN DR. PENTICTON, BC. LOT 11, DISTRICT LOT 2710 STRATA PLAN EPS7615 SDYD</b>

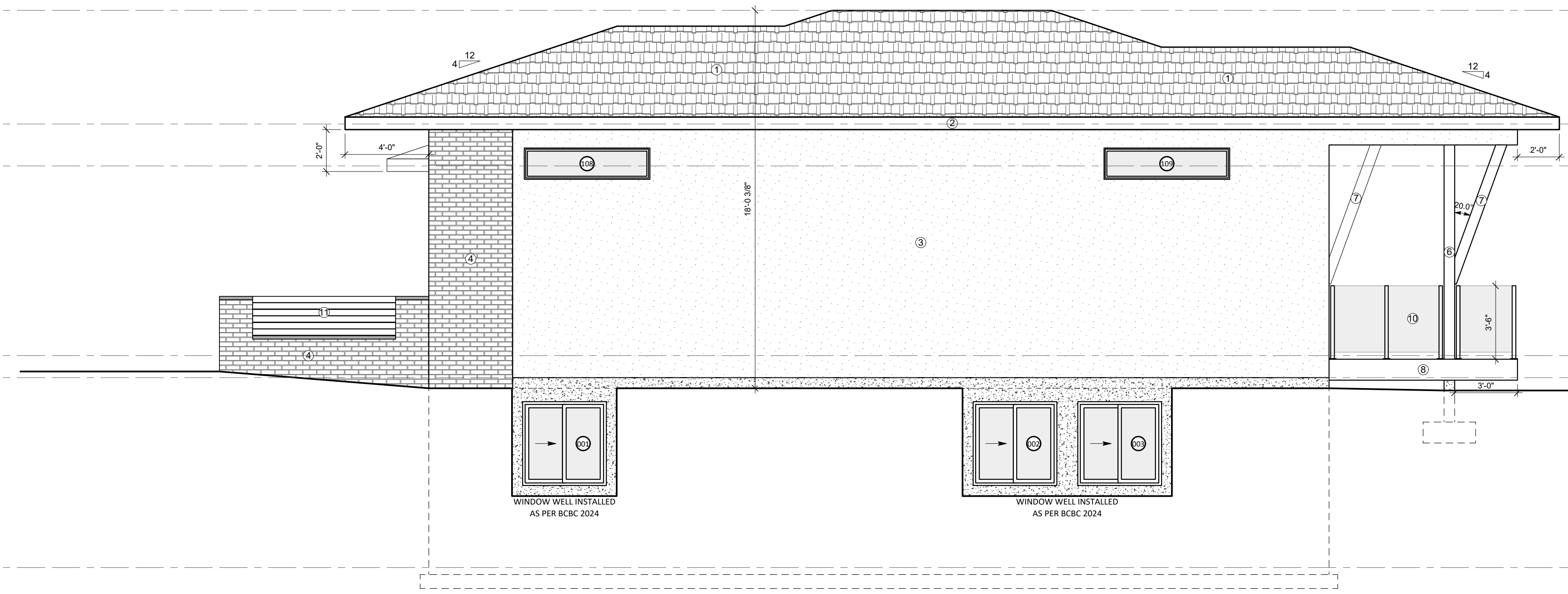
SHEET TITLE:  
**ELEVATIONS**  
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TOP OF ROOF PEAK  
 16'-5 3/4"  
 U/S OF RAISED ROOF TRUSSES  
 11'-0 3/4"  
 U/S OF ROOF TRUSSES  
 9'-0 3/4"  
 26'-7 1/8"  
 9'-0 3/4"  
 TOP OF MAIN FLOOR SUBFLOOR  
 0'-0" (556.173m)  
 U/S OF MAIN FLOOR JOISTS  
 -1'-0 5/8"  
 9'-0 3/4"  
 TOP OF BASEMENT SLAB  
 -10'-1 3/8" (553.090m)



**REAR ELEVATION**  
 SCALE: 1/4" = 1'-0"

TOP OF ROOF PEAK  
 16'-5 3/4"  
 U/S OF RAISED ROOF TRUSSES  
 11'-0 3/4"  
 U/S OF ROOF TRUSSES  
 9'-0 3/4"  
 26'-7 1/8"  
 9'-0 3/4"  
 TOP OF MAIN FLOOR SUBFLOOR  
 0'-0" (556.173m)  
 U/S OF MAIN FLOOR JOISTS  
 -1'-0 5/8"  
 9'-0 3/4"  
 TOP OF BASEMENT SLAB  
 -10'-1 3/8" (553.090m)

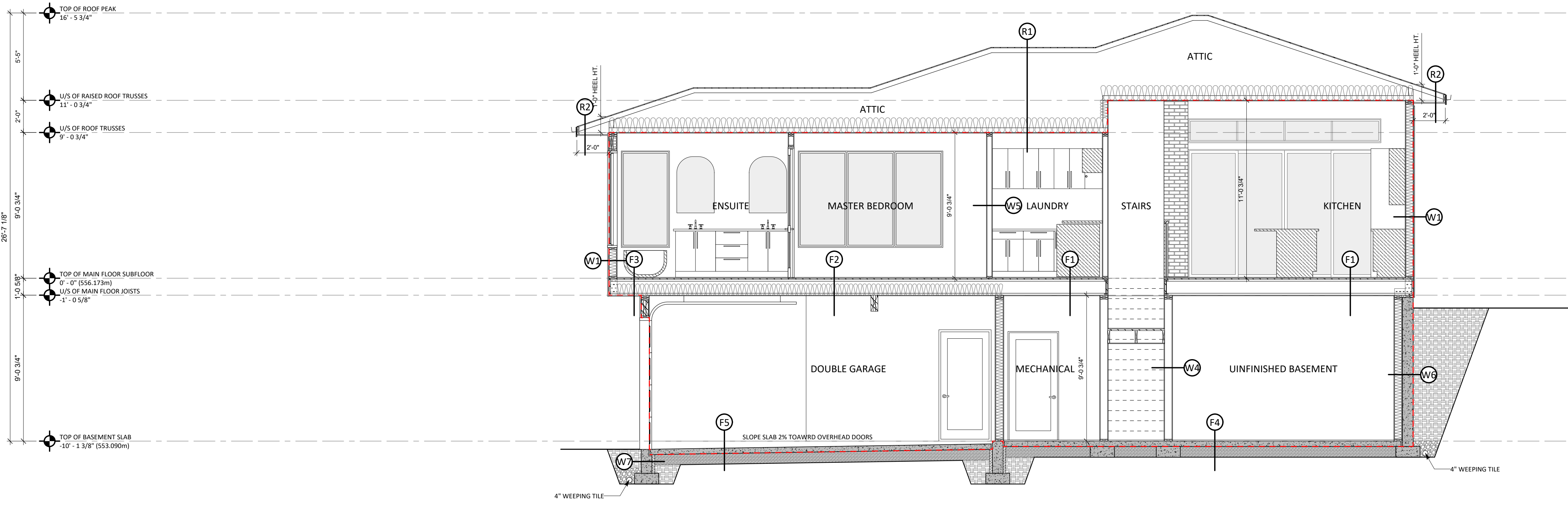


SPATIAL SEPARATION CALCULATION:  
 1.5m LIMITING DISTANCE  
 TOTAL EXPOSED BUILDING FACE TO BE CALCULATED: 542 ft² (50.4m²)  
 MAX. AREA OF UNPROTECTED OPENINGS:  
 <100m² MAX BUILDING FACE @ 1.5m LIMITING DISTANCE = 8% = 43.4 ft²  
 PROPOSED AREA OF UNPROTECTED OPENINGS: 18 ft²

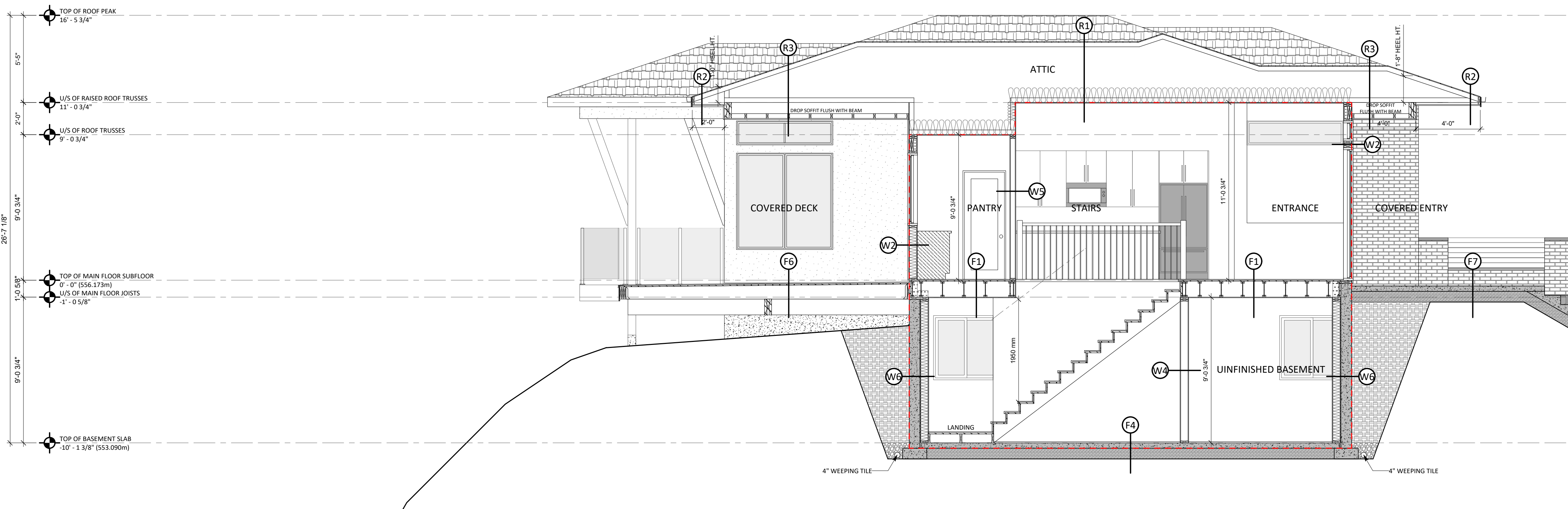
**RIGHT ELEVATION**  
 SCALE: 1/4" = 1'-0"

- EXTERIOR FINISHES**
- ① ASPHALT ROOFING SINGLES
  - ② ALUMINUM GUTTER ON 8" SMART BOARD FASCIA
  - ③ ACRYLIC STUCCO
  - ④ BRICK VENEER
  - ⑤ VERTICAL T&G WOOD SIDING (OR METAL ALTERNATIVE)
  - ⑥ 6x6 WOOD POST
  - ⑦ 6x6 ANGLED WOOD BRACKET SUPPORT
  - ⑧ 12" SMART BOARD DECK FASCIA
  - ⑨ 6x12 WOOD BEAM
  - ⑩ 42" GLASS RAILING W/ SQUARE POST
  - ⑪ DECORATIVE WOOD PRIVACY SLATS





**CROSS SECTION**  
SCALE: 1/4" = 1'-0"



**CROSS SECTION**  
SCALE: 1/4" = 1'-0"

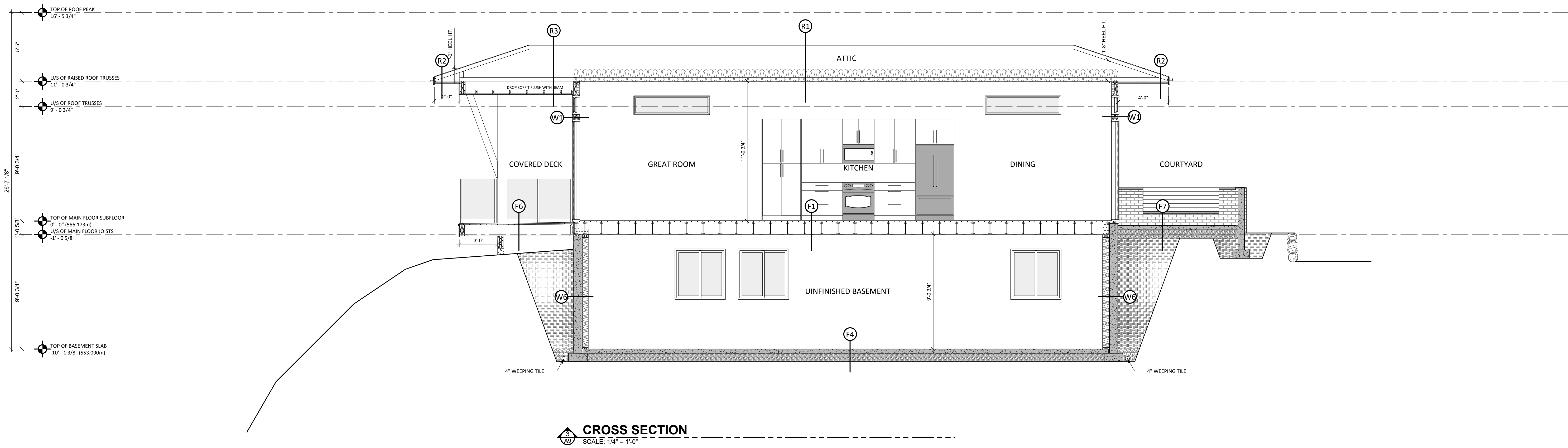
BUILDING ASSEMBLIES	
HEATING DAYS >3000, <4000, ZONE 5	MINIMUM RSI VALUES REQUIRED (WITH HRV):
CEILING BELOW ATTICS:	6.91
CATHEDRAL CEILINGS/FLAT ROOFS:	4.67
WALLS:	2.97
FLOORS OVER UNHEATED SPACES:	4.67
BASEMENT WALLS:	2.98
UNHEATED FLOORS BELOW FROST LINE:	1.96
UNHEATED FLOORS ABOVE FROST LINE:	2.32
HEATED FLOORS:	2.32
<b>(W1) EXTERIOR WALL CONSTRUCTION (STUCCO):</b>	EFFECTIVE RSI VALUE: 3.17
RSI: .03 EXTERIOR AIR FILM	
RSI: .02 STUCCO SIDING (SEE ELEV.)	
RSI: .01 BUILDING PAPER	
RSI: .11 7/16" OSB WALL SHEATHING	
RSI: 2.80 R-24 BATT INSULATION (80%)	
6 MIL POLY. VAPOUR BARRIER	
RSI: .08 1/2" GYPSUM WALLBOARD, PAINTED	
RSI: .12 INTERIOR AIR FILM	
<b>(W2) EXTERIOR WALL CONSTRUCTION (WOOD):</b>	EFFECTIVE RSI VALUE: 3.28
RSI: .03 EXTERIOR AIR FILM	
RSI: .13 3/4" PREFINISHED T&G WOOD SIDING (SEE ELEV.)	
RSI: .01 BUILDING PAPER	
RSI: .11 7/16" WALL SHEATHING	
RSI: 2.80 R-24 BATT INSULATION (80%)	
6 MIL POLY. VAPOUR BARRIER	
RSI: .08 1/2" GYPSUM WALLBOARD, PAINTED	
RSI: .12 INTERIOR AIR FILM	
<b>(W3) EXTERIOR WALL CONSTRUCTION (BRICK VENEER):</b>	EFFECTIVE RSI VALUE: 3.18
RSI: .03 EXTERIOR AIR FILM	
RSI: .01 1/2" BRICK VENEER (SEE ELEV.)	
RSI: .03 MORTAR	
RSI: .01 BUILDING PAPER	
RSI: - METAL LATH AND FASTENERS	
RSI: .11 7/16" WALL SHEATHING	
RSI: 2.80 R-24 BATT INSULATION (80%)	
6 MIL POLY. VAPOUR BARRIER	
RSI: .08 1/2" GYPSUM WALLBOARD, PAINTED	
RSI: .12 INTERIOR AIR FILM	
<b>(W4) INTERIOR PARTITION WALL CONSTRUCTION:</b>	1/2" GYPSUM WALLBOARD, PAINTED
(PRIMER & TWO FINISH PAINT COATS)	
2 x 4 STUDS @ 16" O.C.	
1/2" GYPSUM WALLBOARD, PAINTED	
<b>(W5) INTERIOR PARTITION WALL CONSTRUCTION:</b>	1/2" GYPSUM WALLBOARD, PAINTED
(PRIMER & TWO FINISH PAINT COATS)	
2 x 4 STUDS @ 16" O.C.	
1/2" GYPSUM WALLBOARD, PAINTED	
<b>(W6) CONCRETE FOUNDATION WALL CONSTRUCTION:</b>	EFFECTIVE RSI VALUE: 3.16
RSI: .08 8" CONCRETE FOUNDATION WALL	
ON 18" CONTINUOUS STRIP FOOTING	
REINFORCING AS PER ENGINEER'S REQUIREMENTS,	
WHERE REQUIRED FOR FINISHING	
(BUILDING PAPER ABOVE GRADE)	
RSI: .03 DAMP-PROOFING BELOW GRADE	
STUCCO PARING ABOVE GRADE	
RSI: .18 1" AIR GAP	
2 x 4 STUDS @ 24" O.C. (23%)	
RSI: 2.67 R-22 BATT INSULATION (77%)	
6 MIL POLY. VAPOUR BARRIER	
RSI: .08 1/2" GYPSUM WALLBOARD	
RSI: .12 INTERIOR AIR FILM	
<b>(W7) CONCRETE FROST WALL CONSTRUCTION:</b>	8" CONCRETE FOUNDATION WALL REINFORCED W/ 2-15M CONTINUOUS AT TOP
ON 18" CONTINUOUS STRIP FOOTING REINFORCED W/ 2-15M CONTINUOUS	
FOUNDATION WALL TIED INTO FOOTING W/ 10M VERTICAL WED DOWELS @ 48" O.C.	
DAMP-PROOFING ON EXTERIOR FACE	
2" EXTRUDED POLYSTYRENE BOARD (EPS TYPE 2) GLUED TO INTERIOR FACE	
<b>(F1) FLOOR CONSTRUCTION:</b>	OWNER SPECIFIED FLOOR FINISH
3/4" T. & G. SUBFLOORING, SCREWED & GLUED	
13/78" JOISTS @ 16" O.C. (ENGINEERED BY SUPPLIER)	
1/2" GYPSUM CEILING BOARD	
NOTE: SPRAY FOAM RIM JOIST TO ACHIEVE SAME RSI VALUE AS WALL	
<b>(F2) FLOOR CONSTRUCTION (INSULATED):</b>	EFFECTIVE RSI VALUE: 5.06
OWNER SPECIFIED FLOOR FINISH	
RSI: .16 INTERIOR AIR FILM	
RSI: .16 3/4" T. & G. SUBFLOORING, SCREWED & GLUED	
13/78" JOISTS @ 16" O.C. (ENGINEERED BY SUPPLIER) (9%)	
RSI: - 6 MIL POLY. VAPOUR BARRIER	
RSI: .08 1/2" GYPSUM CEILING BOARD	
RSI: .11 INTERIOR AIR FILM	
NOTE: SPRAY FOAM RIM JOIST TO ACHIEVE SAME RSI VALUE AS WALL	
<b>(F3) FLOOR CONSTRUCTION (CANTILEVERED):</b>	EFFECTIVE RSI VALUE: 4.90
OWNER SPECIFIED FLOOR FINISH	
RSI: .16 INTERIOR AIR FILM	
RSI: .16 3/4" T. & G. SUBFLOORING, SCREWED & GLUED	
13/78" JOISTS @ 16" O.C. (ENGINEERED BY SUPPLIER) (9%)	
RSI: 4.55 MIN. R-28 BATT INSULATION (93%)	
- ALUMINUM SOFFIT	
NOTE: SPRAY FOAM RIM JOIST TO ACHIEVE SAME RSI VALUE AS WALL	
<b>(F4) SLAB CONSTRUCTION:</b>	EFFECTIVE RSI VALUE: 1.98
RSI: .16 INTERIOR AIR FILM	
RSI: .04 4" CONCRETE SLAB, TROWEL FINISH	
REINFORCED W/ 10M GRID @ 24" O.C. EACH WAY	
4" RADON VENT PIPING (TO EXTEND THROUGH ROOF)	
RSI: 1.78 2" EXTRUDED POLYSTYRENE BOARD (EPS TYPE 2)	
MIN. 48" AROUND BUILDING PERIMETER ABOVE FROST LINE	
1" EXTRUDED POLYSTYRENE BOARD AROUND SLAB EDGE PERIMETER	
6 MIL POLY	
3/4" CRUSH COMPACTED FILL (STRUCTURALLY COMPACT)	
<b>(F5) GARAGE FLOOR SLAB CONSTRUCTION:</b>	EFFECTIVE RSI VALUE: 1.98
4" CONCRETE SLAB, TROWEL FINISH	
REINFORCED W/ 10M GRID @ 24" O.C. EACH WAY	
SLOPE MINIMUM 2% TOWARDS OVERHEAD DOORS	
1" EXTRUDED POLYSTYRENE BOARD AROUND SLAB EDGE PERIMETER	
6 MIL POLY	
3/4" CRUSH COMPACTED FILL (STRUCTURALLY COMPACT)	
<b>(F6) DECK CONSTRUCTION:</b>	OWNER SPECIFIED DECK FINISH
WATERPROOFING MEMBRANE	
3/4" T. & G. SUBFLOORING, SCREWED & GLUED	
2 x 12 JOISTS @ 16" O.C. CUT DOWN TO CREATE SLOPE	
ALUMINUM SOFFITS	
<b>(F7) WALKWAY OR PATIO SLAB CONSTRUCTION:</b>	4" EXPOSED AGGREGATE CONCRETE SLAB
REINFORCED W/ 10M GRID @ 24" O.C. EACH WAY	
3/4" CRUSH COMPACTED FILL (STRUCTURALLY COMPACT)	
<b>(R1) TRUSS ROOF CONSTRUCTION:</b>	EFFECTIVE RSI VALUE: 8.87
RSI: .03 EXTERIOR AIR FILM	
RSI: .08 ASPHALT ROOF SHINGLES	
RSI: .01 BUILDING PAPER	
RSI: .11 7/16" ROOF SHEATHING	
ENGINEERED ROOF TRUSSES @ 24" O.C. (11%)	
RSI: 8.45 R-50 BATT INSULATION (89%)	
6 MIL POLY. VAPOUR BARRIER	
RSI: .08 1/2" GYPSUM CEILING BOARD, PAINTED	
RSI: .11 INTERIOR AIR FILM	
<b>(R2) TRUSS ROOF CONSTRUCTION: (SOFFIT)</b>	ASPHALT ROOF SHINGLES
BUILDING PAPER	
7/16" ROOF SHEATHING	
ENGINEERED VALUED ROOF TRUSSES @ 24" O.C.	
ALUMINUM SOFFIT	
<b>(R3) TRUSS ROOF CONSTRUCTION: (WOOD SOFFIT)</b>	ASPHALT ROOF SHINGLES
BUILDING PAPER	
7/16" ROOF SHEATHING	
ENGINEERED ROOF TRUSSES @ 24" O.C.	
DROPPED SOFFIT LINE TO BE FLUSH W/ BEAM	
3/4" PREFINISHED T&G WOOD SOFFITS	

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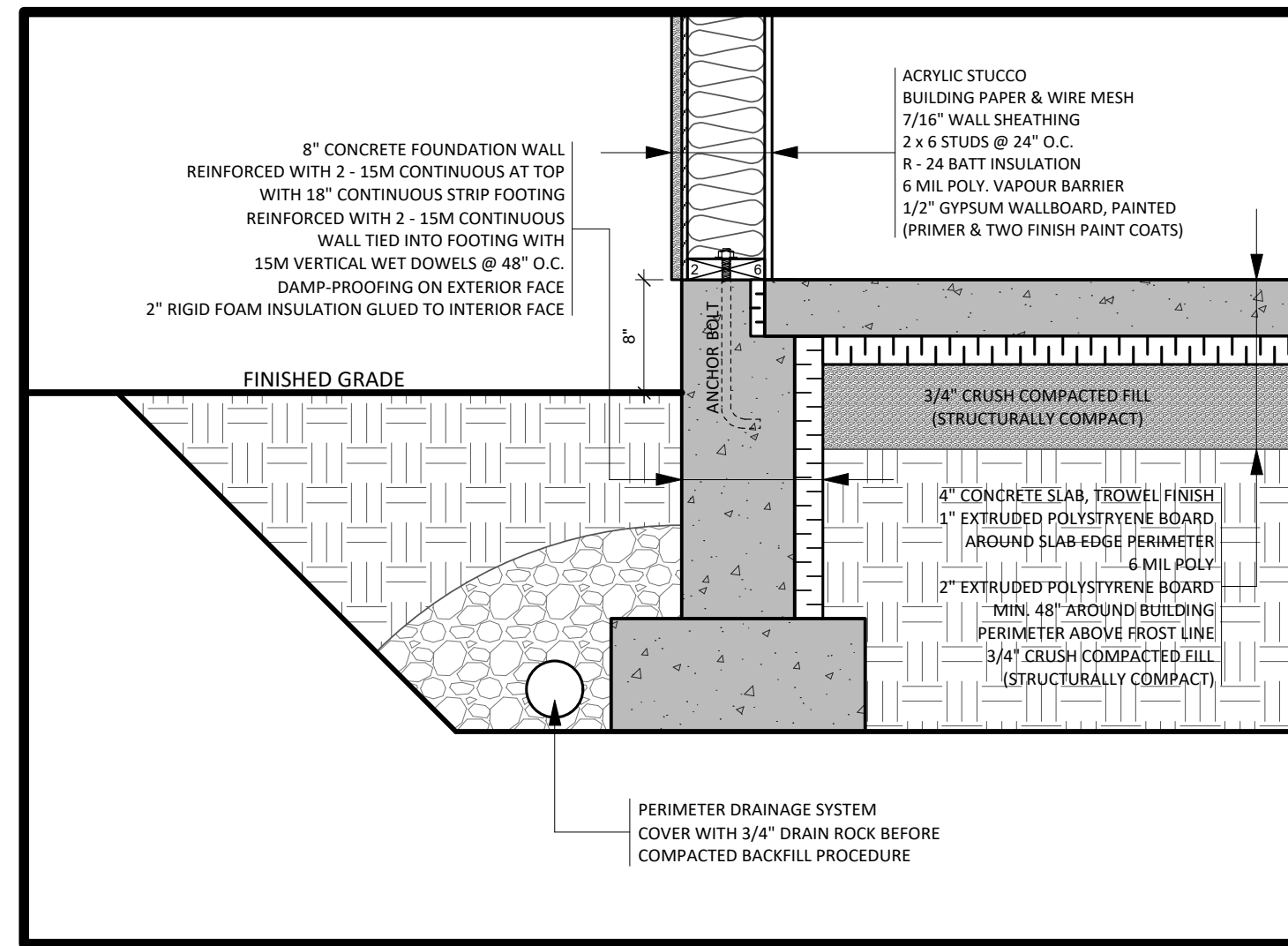
PROJECT NAME:  
**THE BLUFFS AT SKAHA**  
**SL 5 - RITCHIE CUSTOM HOMES**  
DRAWN BY:  
**RK**  
DATE: YYYY-MM-DD  
**2024-06-21**  
ISSUED FOR:  
**WORKING DRAWINGS**  
LEGAL DESCRIPTION:  
**#105 3331 EVERGREEN DR. PENTICTON, BC.**  
**LOT 11, DISTRICT LOT 2710 STRATA PLAN EPS7615 SDYD**  
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SHEET TITLE:  
**CROSS SECTIONS**  
SCALE:  
**1/4" = 1'-0"**  
DATE: YYYY-MM-DD  
**2024-06-21**  
ISSUED FOR:  
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**A8**

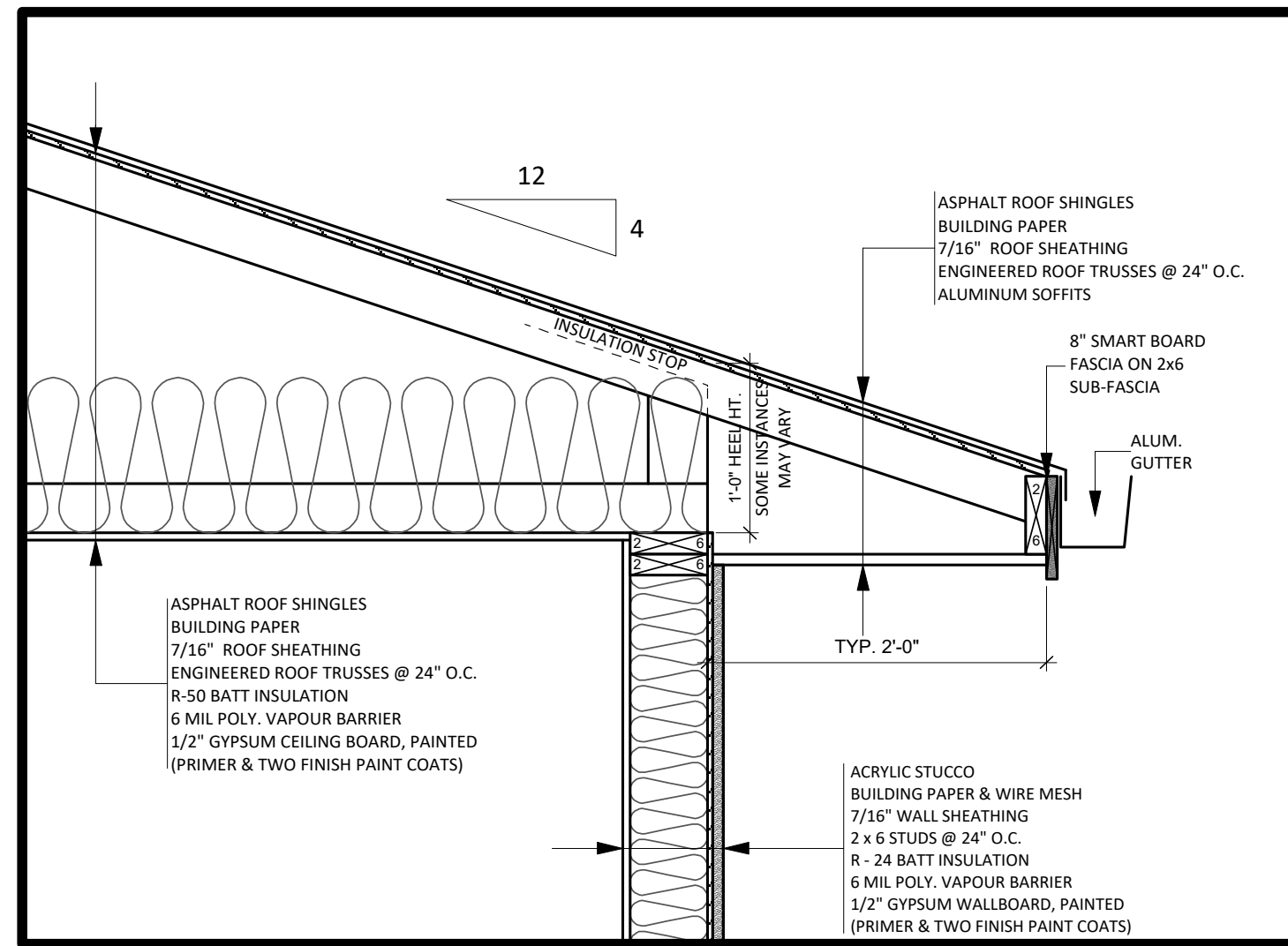


**CROSS SECTION**  
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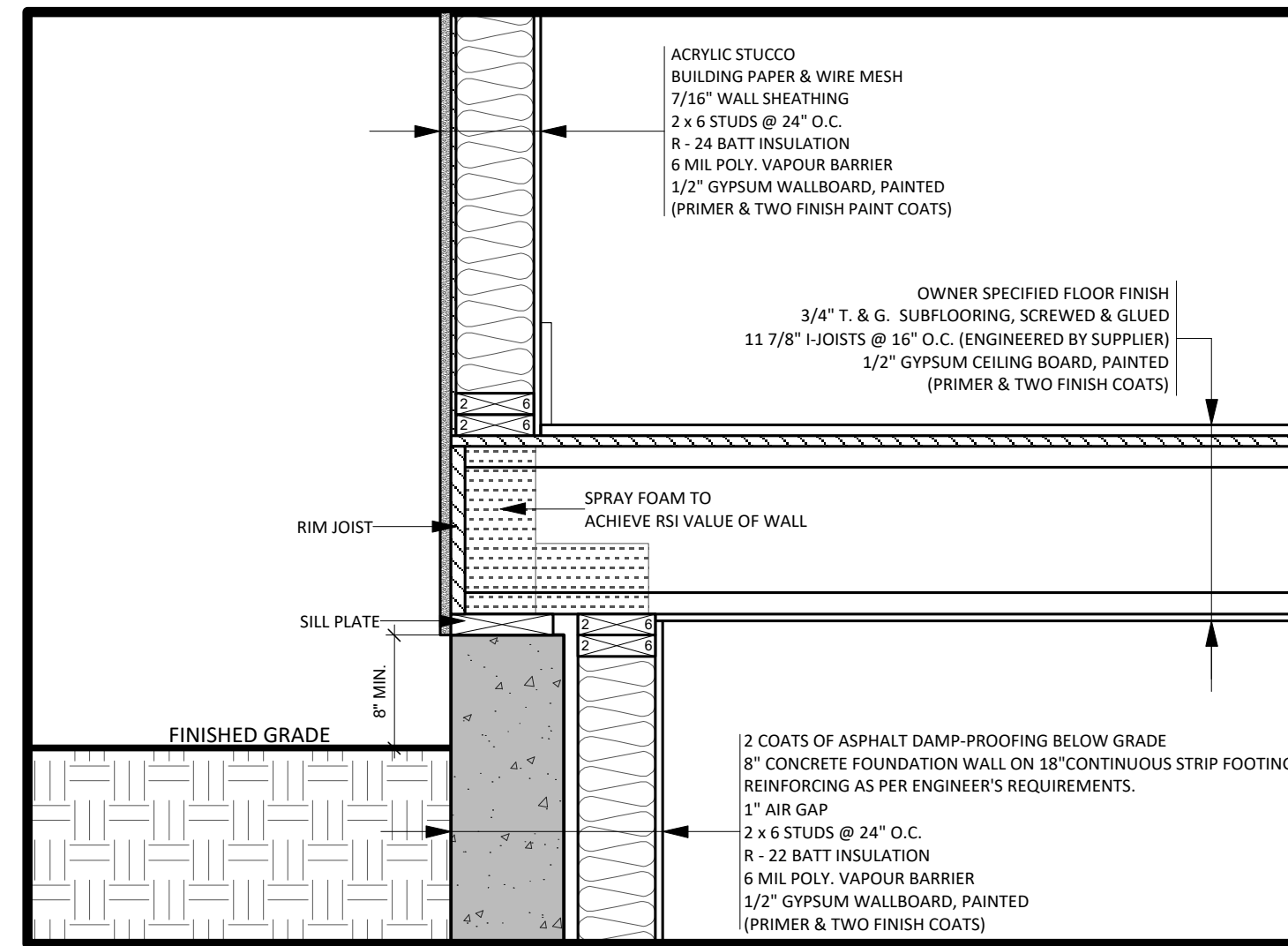
**TYP. FOOTING DETAIL**

SCALE: 1" = 1'-0"



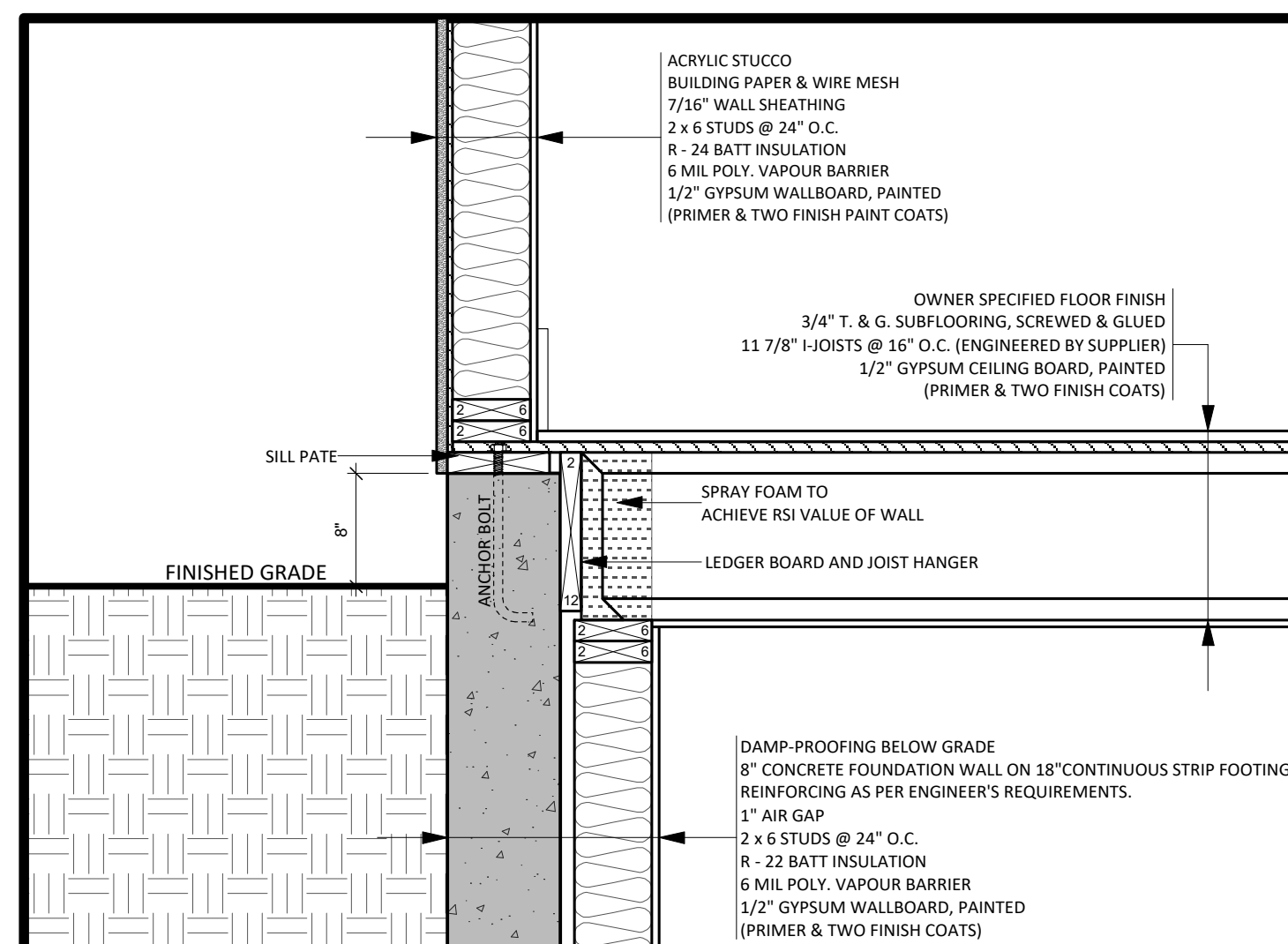
**TYP. OVERHANG DETAIL**

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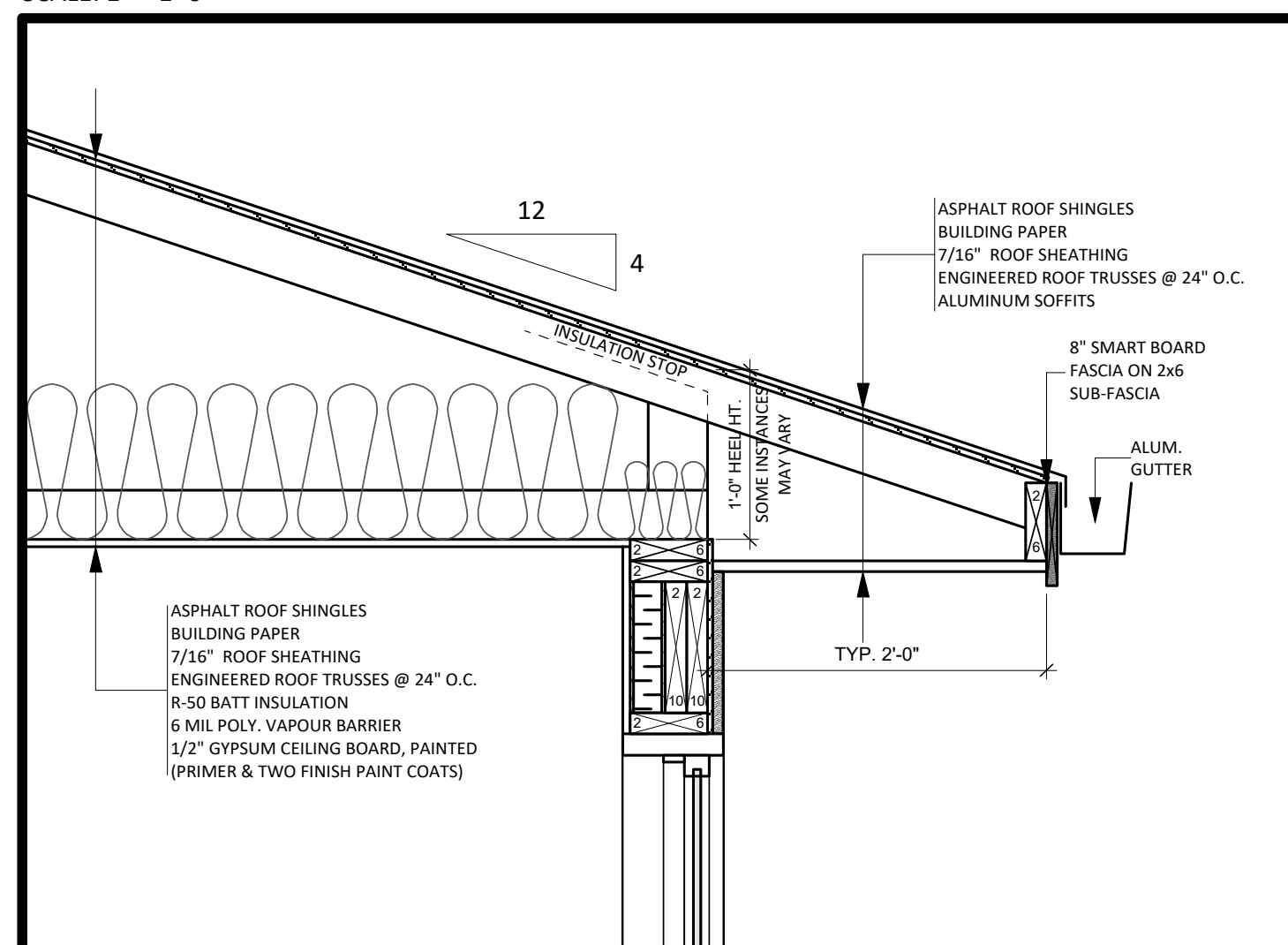
**TYP. JOIST BEARING DETAIL**

SCALE: 1" = 1'-0"



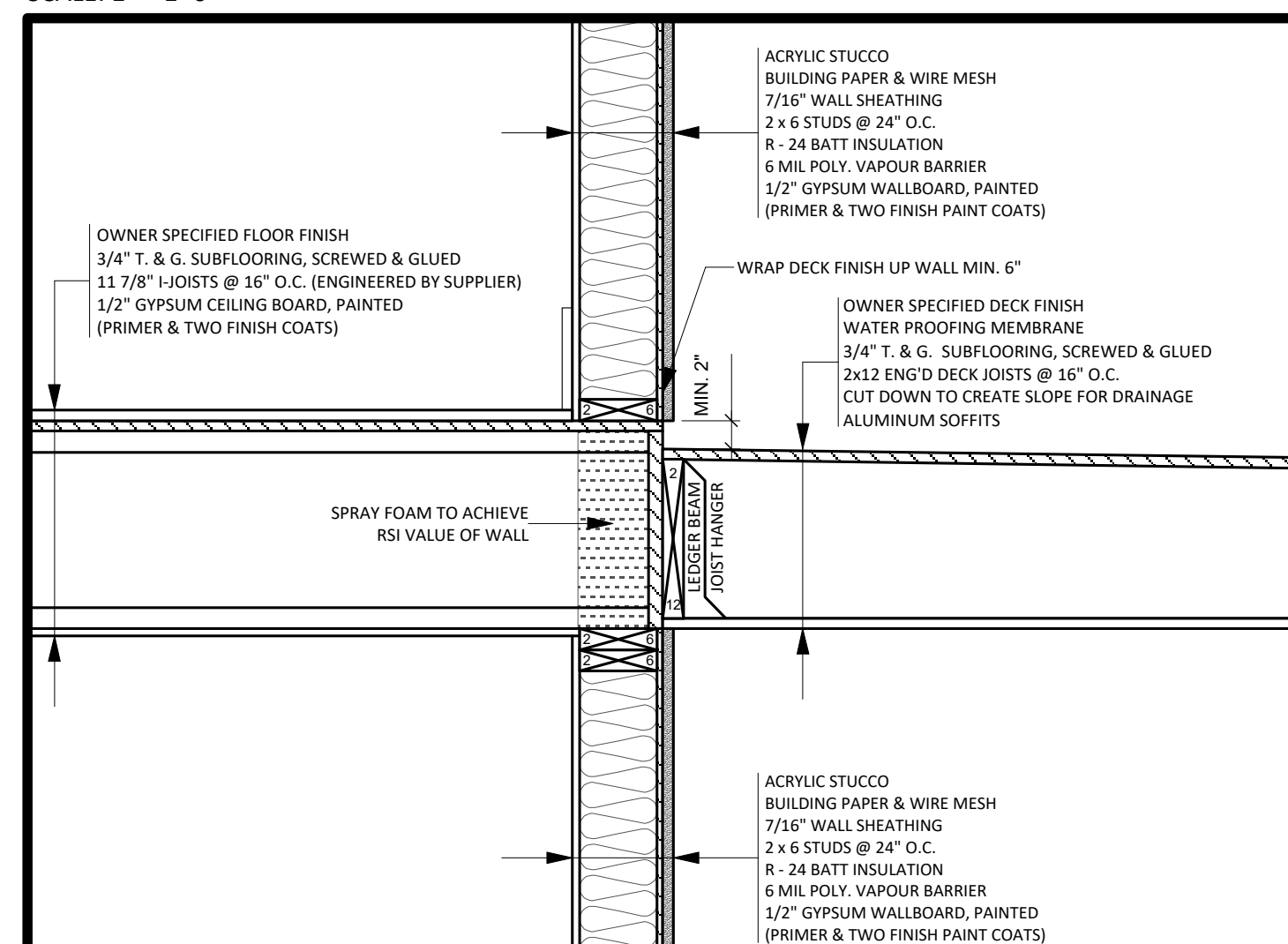
**TYP. JOIST HANGING DETAIL**

SCALE: 1" = 1'-0"



**TYP. HEADER DETAIL**

SCALE: 1" = 1'-0"



**TYP. 2 STOREY DETAIL**

SCALE: 1" = 1'-0"